

DAVID C. GOODE

RECEIVED



GLEN A. UENO, P.E., P.L.S.
Development Services Administration

RECEIVED

2018 AUG 20 AM 10:56

2018 AUG 16 PM 2:49

OFFICE OF THE
COUNTY COUNCIL

COUNTY OF MAUI
DEPARTMENT OF PUBLIC WORKS

OFFICE OF THE MAYOR

DEVELOPMENT SERVICES ADMINISTRATION

250 SOUTH HIGH STREET
WAILUKU, MAUI, HAWAII 96793

August 15, 2018

Honorable Alan M. Arakawa
Mayor, County of Maui
200 South High Street
Wailuku, Hawaii 96793

APPROVED FOR TRANSMITTAL
Alan Arakawa 8/20/18
Mayor

For Transmittal to:

Honorable Elle Cochran, Chair
Infrastructure and Environmental Management Committee
Maui County Council
200 South High Street
Wailuku, Hawaii 96793

Dear Chair Cochran:

**SUBJECT: TRAFFIC SAFETY AND ENVIRONMENTAL CONCERNS
RESULTING FROM DEVELOPMENT IN MAKENA (IEM-80)**

This is in response to your letter dated August 9, 2018, in which you requested:

1. *A copy of all permits for tax map keys within the Mo'omuku Development project area, including (2) 2-1-005:026 and (2) 2-1-005:129 through (2) 2-1-005:139.*
2. *A copy of all grading plans for the above referenced tax map keys.*

Per your request, we have attached the following:

- TMK (2) 2-1-005:135

Building Permit B2014/1582
Building Permit B2015/0920
Building Permit B2016/1355
Driveway Permit D2015/0072
Electrical Permit E2017/1600

Honorable Alan M. Arakawa
For Transmittal to:
Honorable Elle Cochran, Chair
August 15, 2018
Page 2

Plumbing Permit P2017/0863
Grading Permit G2014/0187 w/ plans
Grading Permit G2015/0117 w/ plans
Grading Permit 2016/0205 w/ plans
Grading Permit 2017/0149 w/ plans

- TMK (2) 2-1-005:026

Building Permit B80/0898
Building Permit B80/0899
Building Permit B80/0899

- TMK (2) 2-1-005:129, 131 and 132

Grading Permit G2015/0117 w/ plans (previously provided w/ parcel 135)

- TMK (2) 2-1-005:130, 133-139

No recent permits on record.

If you have any questions, please feel free to contact me at Ext. 7845.

Sincerely,



DAVID C. GOODE
Director of Public Works

Attachments


LLO

S:\DSA\Engr\LLO\County Council\Sand Mining\traffic safety and environmental concerns resulting from development in Makena IEM-80 - response.doc

COUNTY OF MAUI
DEVELOPMENT SERVICES ADMINISTRATION
 DEPARTMENT OF PUBLIC WORKS
 250 SOUTH HIGH STREET - WAILUKU, HAWAII 96793
 (808) 270-7250

PERMIT NUMBER
 2014/1582
 DATE ISSUED
 12-4-14


Application for Building Permit

INITIAL



I claim an exemption under HRS § 444-2(7) and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within one year after completion, and have read and understand the Disclosure Statement required by HRS § 444-2(7)(f).

Falsely claiming an exemption is a violation of § 444-2(7) and carries a fine of forty percent (40%) of the total contract price, or other amounts as stipulated in § 444-23(c).

I claim an exemption from the provisions of HRS Chapter 464, requiring certification and stamping of plans by a registered architect or structural engineer as permitted under § 464-13(b). I further certify that I will record this exemption with the Bureau of Conveyances as required by § 464-13.

 Approval is granted subject to compliance with the use regulations set forth in HRS Chapter 205 and the Land Use Commission's Rules & Regulations. The owner will provide notice of these use regulations to future owners, heirs and assigns. I acknowledge that I have received from the County of Maui a copy of HRS § 205-4.5.



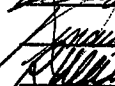
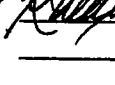

Applicant certifies that he/she has determined if there are any restrictive covenants applicable to the proposed construction on subject property and if so, that the structure herein applied for conforms with said covenants. Applicant acknowledges that County has no responsibility to determine conformance with covenants and hereby agrees to defend and hold County harmless from any and all claims arising out of any alleged breach thereof.


 10/24/14
 SIGNATURE OF OWNER **MARK JOHNSON** DATE

I hereby certify that I am a bona fide contractor in the State of Hawaii.

 SIGNATURE OF CONTRACTOR DATE

DEVELOPMENT SERVICES ADMINISTRATION USE ONLY

AGENCY	SIGNATURE	DATE
<input type="checkbox"/> WATER DEPT		
<input checked="" type="checkbox"/> HEALTH DEPT		10/20/14
<input checked="" type="checkbox"/> FIRE PREV BUREAU		11/14/14
<input checked="" type="checkbox"/> DSA ENGR		10/20/14
<input checked="" type="checkbox"/> DSA BUILDING		11/20/14
<input checked="" type="checkbox"/> PLANNING DEPT		8/5/14
<input type="checkbox"/> WWRD		
<input type="checkbox"/> PARKS DEPT		
<input type="checkbox"/> DHHC		
<input type="checkbox"/> DOE		
<input type="checkbox"/> DLNR		

ISSUED BY:  ACCEPT. VAL \$ 220,000
 START DATE: 12/1/14 PERMIT FEE \$ 1675

REMARKS:

PROJECT NAME EVANS Holdings

CONSTRUCTION TYPE Y-B OCCUPANCY GROUP U(COC)

OWNERSHIP 1 ZONE AG, PUB SMA FLOOD ZONE X

APPLICATION NO. <u>T20140909</u>	T	ZONE <u>2</u>	SEC <u>1</u>	PLAT <u>005</u>	PAR <u>135</u>	LOT
DATE RECEIVED <u>6/18/14</u>	M					
	K					
	(S)					

APPLICANT: PLEASE FILL IN AREA BELOW (PLEASE PRINT LEGIBLY!)

PROJECT ADDRESS (HOUSE NO., STREET, SUITE NO.)
Makena Road

PROJECT ADDRESS (CITY AND ZIP CODE)
Kihei HI 96753

LEGAL OWNER (FULL NAME)
Evans Holdings, Inc (100% owned)

MAILING ADDRESS (INCLUDE ZIP CODE)
1100 Alakea St, Suite 2100, Honolulu HI 96813

LESSEE/TENANT

MAILING ADDRESS (INCLUDE ZIP CODE)

ARCHITECT OR STRUCTURAL ENGINEER LICENSE NO.
Gregory S. Fickwitz 5126-C

MAILING ADDRESS (INCLUDE ZIP CODE)
560 N. Winitz Hwy, Honolulu HI 96817

ARCHITECT OR STRUCTURAL ENGINEER'S EMAIL ADDRESS


BUILDER LICENSE NO.
Owner-builder -

MAILING ADDRESS (INCLUDE ZIP CODE) TELEPHONE NO.

APPLICANT NAME TELEPHONE NO.
David Ward

MAILING ADDRESS (HOUSE NO., STREET, SUITE NO.)
2035 Waiolu St, Wailuku HI 96793

MAILING ADDRESS (INCLUDE ZIP CODE)
Wailuku HI 96793

SIGNATURE OF APPLICANT DATE
 5/30/14

APPLICANT'S EMAIL ADDRESS
dave@fwmaui.com

NATURE OF WORK (CHECK ALL THAT APPLY)

<input type="checkbox"/> NEW BUILDING	<input type="checkbox"/> RELOCATION	<input type="checkbox"/> FOUNDATION ONLY
<input type="checkbox"/> RET. WALL/FENCE	<input type="checkbox"/> SHELL ONLY	<input type="checkbox"/> SWIMMING POOL
<input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATION	<input type="checkbox"/> RECONSTRUCTION
<input checked="" type="checkbox"/> MISC. STRUCTURE	<input type="checkbox"/> REPAIR	<input type="checkbox"/> DEMOLITION

NOW OCCUPIED AS VACANT TO BE OCCUPIED AS water tank

DIMENSIONS WALLS

PARTITIONS FOUNDATION

FLOORS ROOF

CEILING BASEMENT FLOOR

COUNTY SEWER ROOF OVER-HANG ESTIMATED VALUE OF WORK \$ 320,000
 PRIVATE SEWER, SEPTIC, WOR CESSPOOL

NO. OF UNITS/NO. OF STORIES FLOOR AREA LOT AREA

DISTANCE TO NEAREST INTERIOR LOT BOUNDARY (FEET) NEAREST BLDG.

RIGHT: LEFT: REAR: FRONT:

REMARKS:
water tanks for residence
100,000 gallons
irrigation

COUNTY OF MAUI

DEVELOPMENT SERVICES ADMINISTRATION

DEPARTMENT OF PUBLIC WORKS
250 SOUTH HIGH STREET - WAILUKU, HAWAII 96793
(808) 270-7250

PERMIT NUMBER

B2015 0920

DATE ISSUED

6-30-15

ORIGINAL

Kihei Application for Building Permit

<p>INITIAL <i>[Signature]</i></p> <p>I claim an exemption under HRS § 444-2(7) and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within one year after completion, and have read and understand the Disclosure Statement required by HRS § 444-2(7).</p> <p>Falsely claiming an exemption is a violation of § 444-2(7) and carries a fine of forty percent (40%) of the total contract price, or other amounts as stipulated in § 444-23(c).</p> <p><input type="checkbox"/> I claim an exemption from the provisions of HRS Chapter 464, requiring certification and stamping of plans by a registered architect or structural engineer as permitted under § 464-13(b). I further certify that I will record this exemption with the Bureau of Conveyances as required by § 464-13</p> <p><input checked="" type="checkbox"/> Approval is granted subject to compliance with the use regulations set forth in HRS Chapter 205 and the Land Use Commission's Rules & Regulations. The owner will provide notice of these use regulations to future owners, heirs and assigns. I acknowledge that I have received from the County of Maui a copy of HRS § 205-4.5.</p> <p>Applicant certifies that he/she has determined if there are any restrictive covenants applicable to the proposed construction on subject property and if so, that the structure herein applied for conforms with said covenants. Applicant acknowledges that County has no responsibility to determine conformance with covenants and hereby agrees to defend and hold County harmless from any and all claims arising out of any alleged breach thereof.</p> <p><i>[Signature]</i> 6/25/15 SIGNATURE OF OWNER DATE</p> <p>I hereby certify that I am a bona fide contractor in the State of Hawaii.</p> <p>_____ SIGNATURE OF CONTRACTOR DATE</p>	<p>DEVELOPMENT SERVICES ADMINISTRATION USE ONLY</p> <table border="1"> <thead> <tr> <th>AGENCY</th> <th>SIGNATURE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> WATER DEPT</td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> HEALTH DEPT</td> <td><i>[Signature]</i></td> <td>12/24/14</td> </tr> <tr> <td><input checked="" type="checkbox"/> FIRE PREV BUREAU</td> <td><i>[Signature]</i></td> <td>8/15/16</td> </tr> <tr> <td><input checked="" type="checkbox"/> DSA ENGR</td> <td><i>[Signature]</i></td> <td>6/17/15</td> </tr> <tr> <td><input checked="" type="checkbox"/> DSA BUILDING</td> <td><i>[Signature]</i></td> <td>9/9/15</td> </tr> <tr> <td><input checked="" type="checkbox"/> PLANNING DEPT</td> <td><i>[Signature]</i></td> <td>4/27/15</td> </tr> <tr> <td><input type="checkbox"/> WWRD</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> PARKS DEPT</td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> DHHC</td> <td>NA</td> <td>12/8/14</td> </tr> <tr> <td><input checked="" type="checkbox"/> DOE</td> <td><i>[Signature]</i></td> <td>3/27/15</td> </tr> <tr> <td><input type="checkbox"/> DLNR</td> <td></td> <td></td> </tr> </tbody> </table> <p>ISSUED BY: <i>[Signature]</i> ACCEPT. VAL \$ 1,800,000. - START DATE: Aug 1, 2015 PERMIT FEE \$ 9,695. -</p> <p>REMARKS:</p> <p>PROJECT NAME Evans Holdings, Inc.</p> <p>CONSTRUCTION TYPE: <i>VE</i> OCCUPANCY GROUP: <i>RS</i></p> <p>OWNERSHIP: <i>1</i> ZONE: <i>Ag</i> FLOOD ZONE: <i>X</i></p>			AGENCY	SIGNATURE	DATE	<input type="checkbox"/> WATER DEPT			<input checked="" type="checkbox"/> HEALTH DEPT	<i>[Signature]</i>	12/24/14	<input checked="" type="checkbox"/> FIRE PREV BUREAU	<i>[Signature]</i>	8/15/16	<input checked="" type="checkbox"/> DSA ENGR	<i>[Signature]</i>	6/17/15	<input checked="" type="checkbox"/> DSA BUILDING	<i>[Signature]</i>	9/9/15	<input checked="" type="checkbox"/> PLANNING DEPT	<i>[Signature]</i>	4/27/15	<input type="checkbox"/> WWRD			<input type="checkbox"/> PARKS DEPT			<input checked="" type="checkbox"/> DHHC	NA	12/8/14	<input checked="" type="checkbox"/> DOE	<i>[Signature]</i>	3/27/15	<input type="checkbox"/> DLNR		
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<input type="checkbox"/> DLNR																																							
<p>APPLICATION NO. <i>12014/1691</i></p> <p>DATE RECEIVED <i>12-4-14</i></p> <p>T M K (S)</p> <p>ZONE <i>2</i> SEC <i>1</i> PLAT <i>005</i> PAR <i>135</i> LOT</p>																																							

APPLICANT: PLEASE FILL IN AREA BELOW (PLEASE PRINT LEGIBLY!)

PROJECT ADDRESS (HOUSE NO., STREET, SUITE NO.) <i>1191 Maheka Road</i>	NATURE OF WORK (CHECK ALL THAT APPLY)		
PROJECT ADDRESS (CITY AND ZIP CODE) Kihei, 96753	<input checked="" type="checkbox"/> NEW BUILDING <input type="checkbox"/> RELOCATION <input type="checkbox"/> FOUNDATION ONLY <input type="checkbox"/> RET. WALL/FENCE <input type="checkbox"/> SHELL ONLY <input type="checkbox"/> SWIMMING POOL <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> RECONSTRUCTION <input type="checkbox"/> MISC. STRUCTURE <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLITION		
LEGAL OWNER (FULL NAME) Evans Holdings, Inc.	NOW OCCUPIED AS <i>Vacant</i>	TO BE OCCUPIED AS <i>Residence main farm dwelling</i>	
MAILING ADDRESS (INCLUDE ZIP CODE) 1100 Alakea St, Suite 2200 Honolulu HI 96813	DIMENSIONS	WALLS <i>floors</i>	
LESSEE/TENANT	PARTITIONS <i>2x</i>	FOUNDATION <i>concrete</i>	
ARCHITECT OR STRUCTURAL ENGINEER Dee Felesky G. Bell	FLOORS <i>conc</i>	ROOF <i>conc. tile</i>	
LICENSE NO. <i>AK #7533</i>	CEILING <i>Gyp.</i>	BASEMENT FLOOR <i>N/A</i>	
MAILING ADDRESS (INCLUDE ZIP CODE) P.O. Box 2115 Kihei, HI 96753	ARCHITECT OR STRUCTURAL ENGINEER'S EMAIL ADDRESS	<input type="checkbox"/> COUNTY SEWER ROOF OVERHANG	ESTIMATED VALUE OF WORK \$1,800,000.00
BUILDER <i>owner/builder</i>	LICENSE NO. <i>X1</i>	<input checked="" type="checkbox"/> PRIVATE SEWER, SEPTIC, OR CESSPOOL	
MAILING ADDRESS (INCLUDE ZIP CODE)	TELEPHONE NO.	NO. OF UNITS/NO. OF STORIES <i>1</i>	FLOOR AREA <i>5460 sq. ft</i>
		LOT AREA <i>29.251 acres</i>	
APPLICANT NAME David Ward	TELEPHONE NO. 249.2224	DISTANCE TO NEAREST INTERIOR LOT BOUNDARY (FEET)	
MAILING ADDRESS (HOUSE NO., STREET, SUITE NO.) 2035 Main Street, Suite 1		RIGHT: <i>15'</i> LEFT: <i>40'</i> REAR: <i>100'</i> FRONT: <i>25'</i>	
MAILING ADDRESS (INCLUDE ZIP CODE) Wailuku, HI 96793		NEAREST BLDG.	
SIGNATURE OF APPLICANT <i>[Signature]</i>	DATE <i>12/4/14</i>	REMARKS: <i>4 Bedrms, 4 Bath, 2 Powder Rms, Exercise rm, media rm, storage, garage, utility rm, couch lanais.</i>	
APPLICANT'S EMAIL ADDRESS <i>dave@fwmaui.com</i>			

COUNTY OF MAUI
DEVELOPMENT SERVICES ADMINISTRATION
 DEPARTMENT OF PUBLIC WORKS
 250 SOUTH HIGH STREET - WAILUKU, HAWAII 96793
 (808) 270-7250

PERMIT NUMBER
 82016-1355
 DATE ISSUED
 12-2-16

Application for Building Permit

INITIAL <input type="checkbox"/> I claim an exemption under HRS § 444-2(7) and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within one year after completion, and have read and understand the Disclosure Statement required by HRS § 444-2(7). Falsely claiming an exemption is a violation of § 444-2(7) and carries a fine of forty percent (40%) of the total contract price, or other amounts as stipulated in § 444-23(c).		DEVELOPMENT SERVICES ADMINISTRATION USE ONLY AGENCY SIGNATURE DATE	
<input type="checkbox"/> I claim an exemption from the provisions of HRS Chapter 464, requiring certification and stamping of plans by a registered architect or structural engineer as permitted under § 464-13(b). I further certify that I will record this exemption with the Bureau of Conveyances as required by § 464-13		<input type="checkbox"/> WATER DEPT <input checked="" type="checkbox"/> HEALTH DEPT <input checked="" type="checkbox"/> FIRE PREV BUREAU <input checked="" type="checkbox"/> DSA ENGR <input checked="" type="checkbox"/> DSA BUILDING <input checked="" type="checkbox"/> PLANNING DEPT <input type="checkbox"/> WWRD <input type="checkbox"/> PARKS DEPT <input type="checkbox"/> DHHC <input type="checkbox"/> DOE <input type="checkbox"/> DLNR	
<input type="checkbox"/> Approval is granted subject to compliance with the use regulations set forth in HRS Chapter 205 and the Land Use Commission's Rules & Regulations. The owner will provide notice of these use regulations to future owners, heirs and assigns. I acknowledge that I have received from the County of Maui a copy of HRS § 205-4.5.		ISSUED BY: [Signature] ACCEPT. VAL \$ 1,300,000.00 START DATE: 9-1-17 PERMIT FEE \$ 6,695.00	
Applicant certifies that he/she has determined if there are any restrictive covenants applicable to the proposed construction on subject property and if so, that the structure herein applied for conforms with said covenants. Applicant acknowledges that County has no responsibility to determine conformance with covenants and hereby agrees to defend and hold County harmless from any and all claims arising out of any alleged breach thereof.		REMARKS: PRIVATE WATER County Road	
SIGNATURE OF OWNER _____ DATE _____		PROJECT NAME Evans Holdings Water System	
I hereby certify that I am a bona fide contractor in the State of Hawaii. SIGNATURE OF CONTRACTOR [Signature] DATE 12/1/16		CONSTRUCTION TYPE VB OCCUPANCY GROUP U(OC)	
APPLICATION NO. THO-1112	T M K (S)	ZONE 2 SEC 1 PLAT 005 PAR 135 LOT	OWNERSHIP 1 ZONE A-1 FLOOD ZONE X
DATE RECEIVED 8/15/16	PROJECT IN SMA		

PROJECT ADDRESS (HOUSE NO., STREET, SUITE NO.) 7191 Makena Rd.				NATURE OF WORK (CHECK ALL THAT APPLY)			
PROJECT ADDRESS (CITY AND ZIP CODE) Kihei, HI 96753				<input checked="" type="checkbox"/> NEW BUILDING <input type="checkbox"/> RELOCATION <input type="checkbox"/> FOUNDATION ONLY			
LEGAL OWNER (FULL NAME) Evans Holdings, Inc.				<input type="checkbox"/> RET. WALL/FENCE <input type="checkbox"/> SHELL ONLY <input type="checkbox"/> SWIMMING POOL			
MAILING ADDRESS (INCLUDE ZIP CODE) 1100 Alakea St. Suite 2100 Honolulu, HI 96813				<input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> RECONSTRUCTION			
LESSEE/TENANT				<input checked="" type="checkbox"/> MISC. STRUCTURE <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLITION			
MAILING ADDRESS (INCLUDE ZIP CODE)				NOW OCCUPIED AS vacant		TO BE OCCUPIED AS Misc. structure	
ARCHITECT OR STRUCTURAL ENGINEER Colin H. Scharfman LICENSE NO. 6001-0015				DIMENSIONS		WALLS	
MAILING ADDRESS (INCLUDE ZIP CODE) 1530 Nalani St. #250, Honolulu				PARTITIONS		FOUNDATION	
ARCHITECT OR STRUCTURAL ENGINEER'S EMAIL ADDRESS goodfellow@bdsj.com ABC-7046				FLOORS		ROOF	
BUILDER 520 E. Waiakohoa, Kihei, HI 96751 2575 S. A. Trudel 808-271-8586				CEILING		BASEMENT FLOOR	
MAILING ADDRESS (INCLUDE ZIP CODE) Nohelani Ulu 249.2224				<input type="checkbox"/> COUNTY SEWER <input checked="" type="checkbox"/> PRIVATE SEWER, SEPTIC, OR CESSPOOL		ROOF OVERHANG	
APPLICANT NAME Nohelani Ulu				ESTIMATED VALUE OF WORK \$1,300,000		NO. OF UNITS NO. OF STORIES FLOOR AREA LOT AREA 1 1 1,008 sf. 29.251 acres	
MAILING ADDRESS (HOUSE NO., STREET, SUITE NO.) 2035 Main St. Suite 1				DISTANCE TO NEAREST INTERIOR LOT BOUNDARY (FEET) RIGHT: LEFT: REAR: FRONT:			
MAILING ADDRESS (INCLUDE ZIP CODE) Wailuku, HI 96793				NEAREST BLDG.			
SIGNATURE OF APPLICANT Nohelani Ulu DATE August 12, 16				REMARKS: WATER SYSTEM BUILDING			
APPLICANT'S EMAIL ADDRESS				APPLICANT'S EMAIL ADDRESS			

COUNTY OF MAUI
Department of Public Works
Development Services Administration
Phone: 270-7242 FAX: 270-7972

APPLICATION AND PERMIT TO CONSTRUCT OR REPAIR A DRIVEWAY APRON

Project Name Evans Holdings TMK (2) 2-1-005:135
 Street Address of Property 7191 Makena Road Building Permit Appl. # (if applicable) DT 2014/1691
 Application is to (select one) Construct Reconstruct Repair
 The driveway apron will be 20 Feet wide by 10 Feet long
 The building is (select one) New Existing
 The driveway apron will be (select one) Reinforced Concrete Asphalt
 The property is a corner lot (select one) Yes No
 There is an existing driveway apron on the property (select one) Yes No
 If yes, the driveway apron is (select one) Paved Not paved

This permit will remain valid as long as the building permit is valid or will expire sixty (60) days from date of issuance.

I hereby certify that the information provided above is accurate to the best of my knowledge and that I will also fully comply with the provisions set forth in Chapter 12.08 of the Maui County Code and in accordance with the specifications and standards of the County of Maui. It is understood that no work is to be done without a driveway plan and a validated copy of this permit on the site.

Print Applicant Name David Ward Signature [Signature]
 Mailing Address 2035 Main Street, Suite 1 Waialuku, HI 96793 Phone No. 249.7224
 If the applicant is a contractor,
 Contractor Business Name and License Number _____

The permittee shall notify DSA at least two (2) days prior to commencing work by calling 270-7366.

The information below to be filled in by DSA

 Permit Fee: \$ 30.00 Received By [Signature] Date 6/30/15

Remarks and Attachments:

Approved by [Signature] 6/17/15
 Administrator, Development Services Administration

PERMIT NO. D2015-0072
 Date of Issuance 6/30/15
B20150920

07/10/17



ELECTRICAL PERMIT APPLICATION FOR COMMERCIAL PROJECTS COUNTY OF MAUI DEPARTMENT OF PUBLIC WORKS DEVELOPMENT SERVICES ADMINISTRATION 86 WEST KAMEHAMEHA AVENUE KAHULUI, HAWAII 96732 (808) 270-7255 (808) 270-5520 FAX

ADMINISTRATION USE ONLY ELECTRICAL PERMIT NO. E2017/1600 APPROVED JPS DATE 8/1/17

PROPERTY OWNER Evans Holdings, Inc. TENANT / BUSINESS NAME Evans Holdings Water System PROJECT ADDRESS 7191 Makena Rd, Kihei HI. 69753 BUILDING / UNIT NO. TMK 2 2 1 005 135 0000 DISTRICT Wailea TYPE OF BUSINESS Water Well/Chlorination Building OCCUPANCY OR USE Mechanical BUILDING PERMIT NO. B 20161355

APPLICATION IS HEREBY MADE FOR A PERMIT TO PERFORM WORK AS FOLLOWS:

SERVICE INSTALLATION table with columns for OVERHEAD, UNDERGROUND, 120/240 VOLT, 208Y/120 VOLT, 480Y/277 VOLT, 1 PH 3 WIRE, 3 PH 4 WIRE, AMPACITY, and FEE.

NOTE: PERMIT OR DEMAND LOADS OF 30 KVA OR MORE WILL REQUIRE PROJECT DRAWINGS STAMPED AND SIGNED BY A HAWAII LICENSED ELECTRICAL ENGINEER TO BE SUBMITTED WITH THIS APPLICATION. MAUI COUNTY CODE - CHAPTER 16.188, ARTICLE 104, SECTION 7.

FEEDER INSTALLATION table with columns for INDICATE QUANTITY TO BE INSTALLED, 100A & UNDER, OVER 100 TO 200A, OVER 200 TO 400A, OVER 400 TO 800A, OVER 800 TO 1200A, OVER 1200A, and FEE.

TRANSFORMERS / GENERATORS table with columns for INDICATE TYPE AND QUANTITY TO BE INSTALLED, 5 KVA/KW & UNDER, OVER 5 TO 15 KVA/KW, OVER 15 TO 50 KVA/KW, OVER 50 TO 100 KVA/KW, OVER 100 KVA/KW, TRANSFER SWITCH, and FEE.

MOTOR INSTALLATION table with columns for INDICATE QUANTITY TO BE INSTALLED, MOTORS 1 HP & UNDER, MOTORS OVER 1 TO 3 HP, MOTORS OVER 3 TO 8 HP, MOTORS OVER 8 TO 15 HP, MOTORS OVER 15 TO 50 HP, MOTORS OVER 50 TO 100 HP, MOTORS OVER 100 HP, CONTROL WIRING FOR A/C OR REFRIGERATION, ADDITIONAL A/C CONTROL DEVICES, WINDOW A/C UNIT, and FEE.

BRANCH CIRCUIT INSTALLATION table with columns for NO. CATE QUANTITY TO BE INSTALLED, LIGHTING BRANCH CIRCUITS, RECEPTACLE BRANCH CIRCUITS, OTHER BRANCH CIRCUITS, PANELBOARD RELOCATION, RANGE / OVEN, DRYER, WATER HEATER SINGLE-PHASE, WATER HEATER THREE-PHASE, DISPOSAL, RANGE HOOD, DISHWASHER, EXHAUST FAN, CEILING FAN, SPACE HEATER, COOKING APPLIANCE 12KW & UNDER, COOKING APPLIANCE OVER 12KW, and FEE.

SPECIAL SYSTEMS table with columns for INDICATE QUANTITY TO BE INSTALLED, RENEWABLE ENERGY SYSTEM, SOLAR WATER HEATER OR HEAT PUMP SYSTEM, FIRE ALARM SYSTEM, FIRE ALARM SYSTEM ADDITIONAL DEVICES, SECURITY SYSTEM, IRRIGATION SYSTEM, LANDSCAPE LIGHTING SYSTEM, SIGN / OUTLINE LIGHTING SYSTEM, LOW-VOLTAGE CONTROL WIRING SYSTEM, GATE OPERATOR SYSTEM, KITCHEN HOOD FIRE EXTINGUISHING SYSTEM, and FEE.

MISCELLANEOUS INSTALLATION table with columns for INDICATE TYPE AND QUANTITY TO BE INSTALLED, NON-UTILITY METER, STREET OR PARKING LOT LIGHTING POLE, PREFABRICATED TRAILER, and FEE.

SUBTOTAL 540 \$ 703

SUBTOTAL	<u>540</u>	<u>\$ 703</u>
ISSUING FEE	<u>220</u>	<u>\$ 23</u>
WORK STARTED WITHOUT A PERMIT PENALTY		
TRANSFER FEE		
TOTAL FEE		<u>\$ 726</u>

TRANSFER TO NEW CONTRACTOR
ELECTRICAL PERMIT NO.

WORK STARTED WITHOUT A PERMIT PENALTY

TRANSFER FEE

TOTAL FEE

SCOPE OF WORK / COMMENTS / NOTES

Install underground conduit and handhole groups.
 Install new service apparatus, Motor control center and SCADA/PLC.
 Electrical power and control terminations to pumps, MCC and scada.
 Install building lighting (interior and exterior).
 Install Automatic Transfer Switch and generator tap box for roll up generator or future generator.
 Install branch conduit and wiring from new panelboard.

CONTRACTOR & ELECTRICIAN ACKNOWLEDGEMENT

I hereby acknowledge that the information given on this application is correct and agree to comply with all Maui County Ordinances and Hawaii State Laws regulating Electrical Work.

Licensed Electrical Contractor

Signature Paul Hill Date 6/22/17
 Licensee or Responsible Managing Employee
 Paul Hill
 Printed Name
 Du-Watts Electric, Inc. C-14739
 Licensed Trade Name State Contractor License No.

Licensed Electrician
 Signature Derak K. Akiona Date 6/22/17
 Licensed Electrician
 Derak K. Akiona EJ-8648
 Printed Name State Electrician License No.

OWNER AUTHORIZATION TO PERFORM ELECTRICAL WORK

I hereby acknowledge that the Electrical Contractor noted on this application has my permission to perform the electrical work described on this permit application.

Legal Property Owner

Signature [Signature] Date 7/6/17
 Property Owner
 Mark Johnson - President
 Printed Name



PLUMBING PERMIT APPLICATION

COUNTY OF MAUI
 DEPARTMENT OF PUBLIC WORKS
 DEVELOPMENT SERVICES ADMINISTRATION
 86 WEST KAMEHAMEHA AVENUE
 KAHULUI, HAWAII 96732
 (808) 270-7368
 dsa.plumbing@mauicounty.gov

DEPARTMENT USE ONLY	
PERMIT #	2017/0863
APPROVED	11/4/17
DATE	8/7/17
TIMESTAMP	JUL 13 58

PROPERTY OWNER Evans Holding Inc.					LESSEE / TENANT (if applicable)									
PROJECT ADDRESS 7191 Makena Road, Kihei HI 96753														
TMK	2	2	1	005	035	<i>Incorrect TMK.</i>								
	DIVISION	ZONE	SECTION	PLAT	LOT	CPR	DISTRICT							
BUILDING PERMIT NO. B20170474 <i>Incorrect B.P. (2016/1355)</i>					<input type="checkbox"/> RESIDENTIAL					<input checked="" type="checkbox"/> NON-RESIDENTIAL				

TYPE OF WORK										
<input checked="" type="checkbox"/> PLUMBING					<input type="checkbox"/> GAS (including temporary)					
<input checked="" type="checkbox"/> NEW		<input type="checkbox"/> ADDITION			<input type="checkbox"/> ALTERATION			<input type="checkbox"/> REPAIR		
<input type="checkbox"/> AFTER-THE-FACT										
<input type="checkbox"/> POOL/SPA		<input type="checkbox"/> SOLAR			<input type="checkbox"/> IRRIGATION			<input type="checkbox"/> GREASE TRAP		
<input type="checkbox"/> BACKFLOW DEVICE		<input type="checkbox"/> WATER/SEWER			<input type="checkbox"/> SEWER CONNECTION			<input type="checkbox"/> GRAY WATER		

CONNECTED TO:

PUBLIC SEWER SEPTIC SYSTEM PRIVATE SEWER CESSPOOL

DESCRIPTION OF WORK
New Building Plumbing

READ CONDITIONS BELOW

PERMITTEE IS QUALIFIED TO DO THE WORK AND POSSESS A VALID LICENSE PURSUANT TO THE PROVISIONS OF THE HAWAII REVISED STATUTES CHAPTER 444-9.5 AND 448E. PERMITTEE IS HEREBY AUTHORIZED TO INSTALL THE PLUMBING AS SHOWN, IN ACCORDANCE WITH PROVISIONS OF THE MAUI COUNTY PLUMBING CODE AS AMENDED.

THIS PERMIT BECOMES NULL AND VOID IF WORK IS NOT COMMENCED WITHIN ONE YEAR FROM DATE OF ISSUANCE, OR IF WORK IS SUSPENDED AT ANY TIME DURING CONSTRUCTION FOR A PERIOD OF FIVE YEARS, OR IF ANY WORK IS DONE ON THE SAID BUILDING OR STRUCTURE IN VIOLATION OF THE MAUI COUNTY PLUMBING CODE OR HAWAII REVISED STATUTES GOVERNING THE SAME.

CONTRACTOR ACKNOWLEDGEMENT

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING PLUMBING.

LICENSED PLUMBING CONTRACTOR

SIGNATURE: DATE: 7/14/17

LICENSEE OR RESPONSIBLE MANAGING EMPLOYEE

Stephen Leis

PRINTED NAME

Dorvin D. Leis Co. C-4747

LICENSED TRADE NAME STATE CONTRACTOR LICENSE NO.

stephen@leisinc.com 808-877-3902

EMAIL PHONE

LICENSED PLUMBER

SIGNATURE: DATE: 7/14/17

LICENSED PLUMBER

Chris Ortogero PJ-7990

PRINTED NAME STATE PLUMBER LICENSE NO.

NOTE: SIGNATURES ARE REQUIRED TO BE ORIGINAL.

OWNER AUTHORIZATION TO PERFORM PLUMBING WORK

I HEREBY ACKNOWLEDGE THAT THE PLUMBING CONTRACTOR NOTED ON THIS APPLICATION HAS MY PERMISSION TO PERFORM THE PLUMBING WORK DESCRIBED ON THIS PERMIT APPLICATION.

LEGAL PROPERTY OWNER

FOR INDIVIDUAL USE ONLY:

LEGAL PROPERTY OWNER

SIGNATURE: DATE: 7/13/17

PROPERTY OWNER

Mark Johnson - Evans Holdings, Inc.

PRINTED NAME President

FOR BUSINESS OR TRUST USE ONLY:

SIGNATURE _____ DATE _____

BUSINESS OFFICER/AGENT OR TRUSTEE

PRINTED NAME _____

TITLE _____

OR ATTACH AUTHORIZATION LETTER FROM PROPERTY OWNER

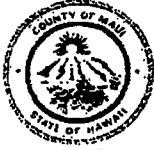
correct into 8/14/17 via email.

QTY		ITEM	FEE	TOTAL
NEW	ALT			
PLUMBING				
		WATER CLOSET	x \$18	
		BASIN/LAVATORY	x \$18	
		BATH TUB	x \$18	
		SHOWER	x \$18	
		LAUNDRY TRAY	x \$18	
2		FLOOR DRAIN	x \$18	\$36
		WASHING MACHINE	x \$18	
		KITCHEN SINK	x \$18	
		DISHWASHER	x \$18	
		GARBAGE DISPOSAL	x \$18	
		SINK & TRAY COMPARTMENT	x \$18	
		WASH SINK	x \$18	
2		FLOOR SINK	x \$18	\$36
		SERVICE SINK	x \$18	
		SERVICE SUMP	x \$18	
		GREASE TRAP/INTERCEPTOR	x \$18	
		BAR SINK	x \$18	
		COFFEE URN	x \$18	
		WATER HEATER-ELECTRIC	x \$18	
		WATER HEATER-SOLAR	x \$18	
		HEAT PUMP	x \$18	
		ROOF DRAIN	x \$18	
		LAWN SPRINKLER SYSTEM ON ANY ONE VALVE	x \$34	
		VACUUM BREAKER OR BACKFLOW PREVENTION DEVICE	x \$18	
		INSTALLATION, ALTERATION OR REPAIR OF WATER PIPING AND/OR WATER TREATING EQUIPMENT	x \$18	
		URINAL	x \$18	
		DRINKING FOUNTAIN	x \$18	
		SODA FOUNTAIN	x \$18	
		ICE MACHINE/MAKER	x \$18	
		DIRT CATCHER	x \$18	
		SLOP HOPPER	x \$18	
		FOOT THERAPY	x \$18	
		SITZ BATH	x \$18	
		BIDET	x \$18	
		DENTAL CUSPIDOR	x \$18	
		SWIMMING POOL	x \$18	
		SPA	x \$18	
		WATER FEATURE	x \$18	
		SUMP/EJECTOR	x \$18	
		BED PAN STERILIZER	x \$18	
		STEAM TABLE	x \$18	

QTY	ITEM	FEE	TOTAL
	BLDG. SEWER TO CESSPOOL, PRESENT SEWER, SEPTIC TANK, OR PRELOADER	x \$18	
	BLDG. SEWER TO LATERAL (100FT)	x \$34	
20	ADDITIONAL BLDG. SEWER TO LATERAL (OVER 100 FT)	x \$2/FT	\$40
	SEWER MAIN ON SITE (100 FT)	x \$34	
	ADDITIONAL SEWER MAIN ON-SITE (OVER 100 FT)	x \$2/FT	
	WATER MAIN ON SITE (100 FT)	x \$34	
	ADDITIONAL WATER MAIN ON-SITE (OVER 100 FT)	x \$2/FT	
	DEMOLISH PLUMBING, PIPING	x \$18	
	REPAIR OR ALTERATION OF DRAINAGE OR VENT PIPING (MANHOLE)	x \$18	
	GRAY WATER SYSTEM (SEWER)	x \$57	
	GRAY WATER SYSTEM (NON-SEWERED)	x \$18	
	A/C CONDENSATE DISCHARGE	x \$18	
PLUMBING SUBTOTAL			

GAS			
	GAS HEATER AND/OR VENT	x \$18	
	GAS ROOM HEATER	x \$12	
	GAS STOVE	x \$12	
	GAS TORCH	x \$12	
	GAS BARBECUE	x \$12	
	GAS DRYER	x \$12	
	GAS REFRIGERATOR	x \$12	
	GAS VALVE/COCK	x \$12	
	GAS FIREPLACE	x \$12	
	GAS POOL HEATER	x \$12	
	GAS PIPING SYSTEM (100 FT)	x \$18	
	ADDITIONAL FT OF GAS PIPING (OVER 100 FT)	x \$1/FT	
GAS SUBTOTAL			

PERMIT FEE TOTAL	
PLUMBING SUBTOTAL	\$ 112
GAS SUBTOTAL	\$
PENALTY FEE	
TRANSFER FEE RESIDENTIAL (\$23), NON-RESIDENTIAL (\$69)	
ISSUING FEE RESIDENTIAL (\$23), NON-RESIDENTIAL (\$69)	\$ 69
TOTAL	\$ 181

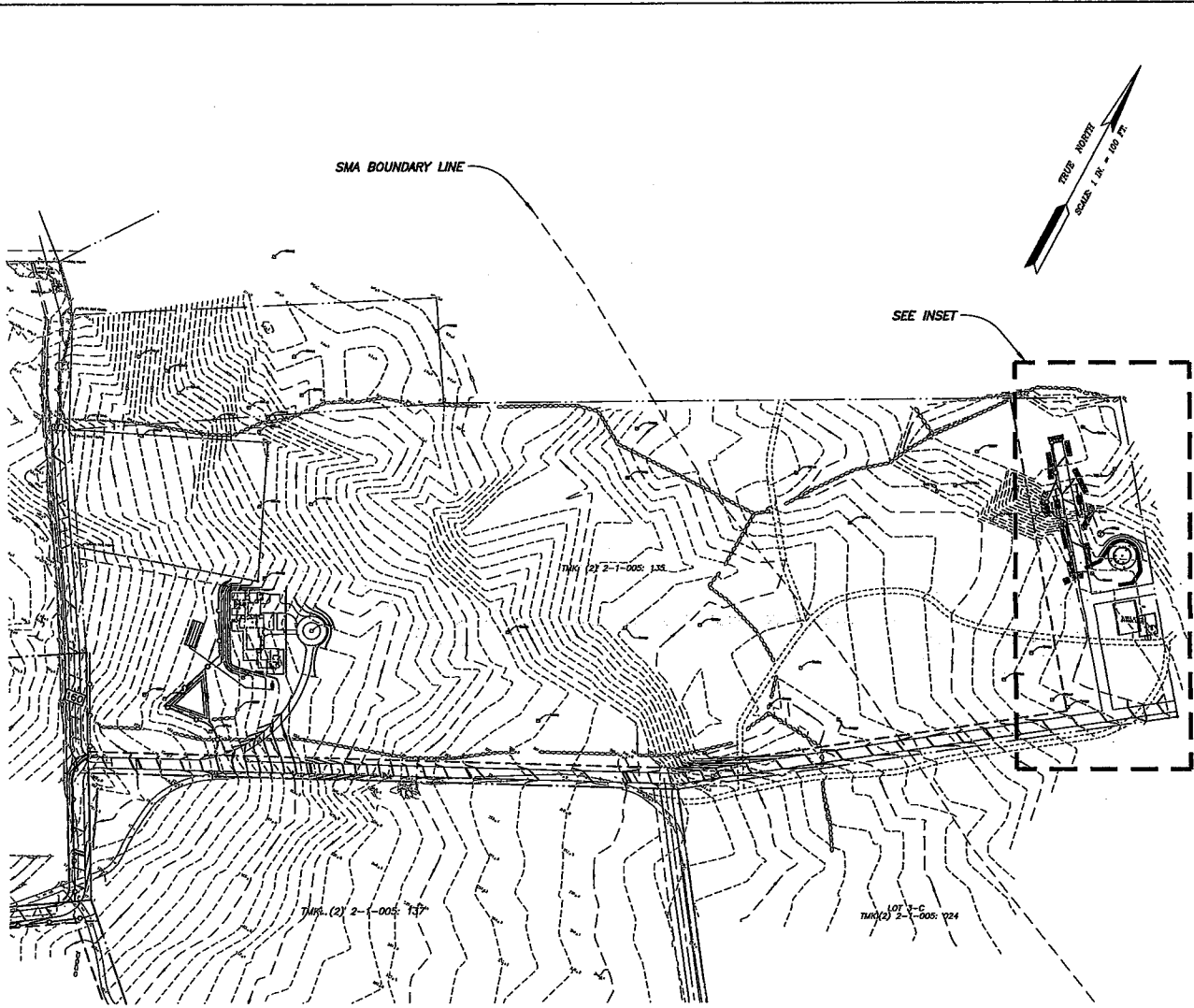
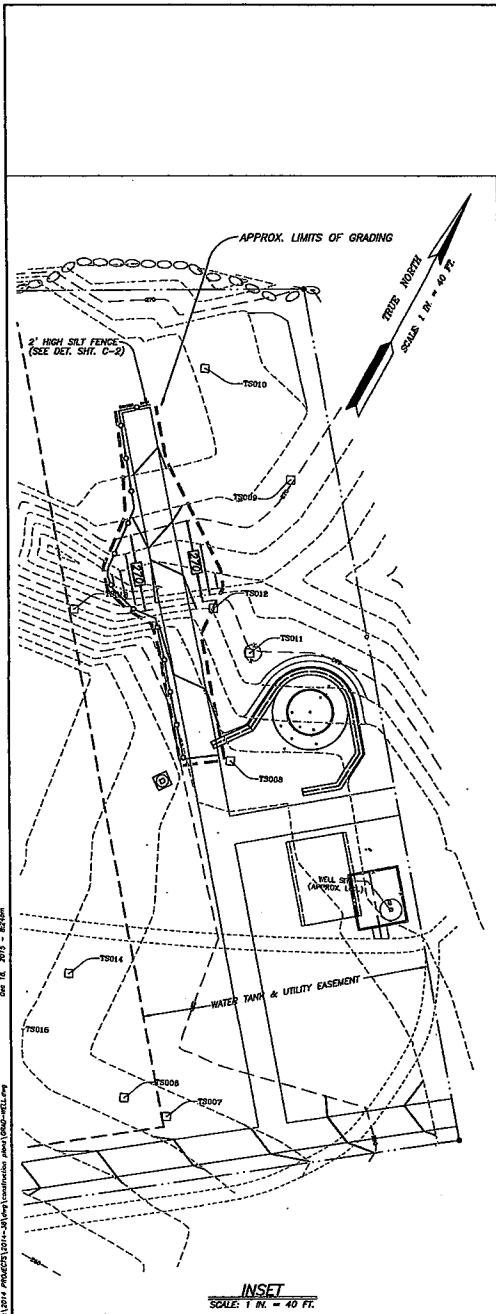


COUNTY OF MAUI
DEPARTMENT OF PUBLIC WORKS
DEVELOPMENT SERVICES ADMINISTRATION
250 SOUTH HIGH STREET
WAILUKU, HAWAII 96793
Ph: (808) 270-7242 Fax: (808) 270-7972

GRADING AND GRUBBING PERMIT APPLICATION

PROJECT/PROPERTY INFORMATION	
PROJECT NAME: <u>Evans Holding Irrigation System</u>	
TAX MAP KEY: <u>2-1-065:135 por.</u>	ADDRESS:
OWNER / PERMITTEE INFORMATION	DECLARATION: The undersigned accepts the permit subject to conditions described in the General Provisions, construction plans, County Code Section 20.08, and any other document associated with the permit.
OWNER NAME: <u>Evans Holdings, Inc.</u>	
ADDRESS: <u>1100 Alakea Street, Suite 2100</u>	
PHONE: <u>808-275-5755</u>	EMAIL: <u>markjohnson@hawaii.vv.com</u>
SIGNATURE:	PRINT NAME: <u>Mark Johnson</u>
If Permittee different from owner:	
PERMITTEE NAME: <u>David Ward</u>	
ADDRESS: <u>2035 Maun St, Suite 1, Wailuku, HI 96793</u>	
PHONE: <u>249-2224</u>	EMAIL: <u>dave@firmaui.com</u>
SIGNATURE:	PRINT NAME: <u>David Ward</u>
PERMIT INFORMATION	
<input type="checkbox"/> GRADING PERMIT	Fill: <u>73.7 = 69 + 4.7</u> (cubic yards)
	Excavate: <u>881 = 777 + 548</u> (cubic yards)
	Graded Area: <u>0.42 = 0.2 + 0.22</u> (<input checked="" type="checkbox"/> acres <input type="checkbox"/> sq. ft.)
	Maximum height/depth of excavation or fill: <u>10 = 6 + 4</u> (feet)
<input type="checkbox"/> GRUBBING PERMIT	Grubbed Area: (<input type="checkbox"/> acres <input type="checkbox"/> sq. ft.)
IDENTIFY CRITICAL AREAS LOCATED ON OR AFFECTING THE PROPERTY	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is any portion of the property located in the Special Management Area? <u>Important's outside of SMT</u>
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are there Special Flood Hazard Areas or drainageways on the property?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the property located along the shoreline?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Are there wetlands located on the property?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Are there known burials, cemeteries, or other historic sites on the property?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Will grading affect an existing slope with a height greater than 15 feet and with a grade steeper than 35% (10H:3.5V)?
Estimated Dates: Start:	Completion:
PERMIT APPROVAL (For county use only)	
Fee \$ <u>180.00</u>	Bond \$ <u>4384.00</u> Check # <u>1017</u>
SPECIAL CONDITIONS: <u>\$90 fee \$2664 bond - Evans Holdings Inc. - Travelers Casualty 10/14/2014</u>	
APPROVED BY:	PERMIT NUMBER: <u>62014/0187</u>
For: Department of Public Works	DATE OF ISSUANCE: <u>12-4-14</u>
GENERAL PROVISIONS are considered a part of this permit and are included herein by reference. Hard copy is available at Development Services Administration or can be viewed/downloaded online at County website: www.co.maui.hi.us	

B20141582



WELL GRADING PLAN
SCALE: 1 IN. = 100 FT.

- NOTES:**
1. IMPROVEMENTS OUTSIDE THE LIMITS OF GRADING UNDER SEPARATE PERMIT.
 2. PROPOSED WORK IS NOT WITHIN THE SMA.
 3. PROPOSED WORK WILL NOT IMPACT ANY ARCHAEOLOGICAL SITES.

APPROXIMATE EARTHWORK QUANTITIES
THE EARTHWORK QUANTITIES SHOWN HEREIN ARE FOR SECURING THE GRADING PERMIT ONLY. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND COMPLETE THE GRADING AS SHOWN ON THE PLAN.

CLEARING AND GRUBBING = 0.2 ACRES
EMBANKMENT = 69 C.Y.
EXCAVATION = 333 C.Y.

OTOMO
ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
505 N. WAIWAI DRIVE, 10TH FLOOR
HONOLULU, HAWAII 96817
PHONE: (808) 241-5501
FAX: (808) 241-5579

ARSELY N. M. OJOMO
LICENSED PROFESSIONAL ENGINEER
No. 10285-C
HAWAII, U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETION OF THE WORK. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETION OF THE WORK.

DATE: 12-17-15
SCALE: AS SHOWN

NOTES: THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND COMPLETE THE GRADING AS SHOWN ON THE PLAN.

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
WELL GRADING PLAN

REVISION	DATE	NOTE
▲		
▲		
▲		
▲		
▲		

DESIGNED BY: A.H.M.O.
DRAWN BY: L.C.C.
PROJECT NO.: 2014-38
DRAWING NAME: GRAD-WELL
DATE: 12-17-15

SHEET NO.
C-1
OF 2 SHEETS

GRADING

1. The Contractor shall obtain a "Grading Permit" from the Development Services Administration, Department of Public Works and Environmental Management, four (4) weeks prior to commencement of any clearing and grubbing. A satisfactory dust and erosion control plan and/or outlines shall be submitted by the Contractor.
2. The Contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action by the Chief Environmentalist shall be borne entirely by the Contractor.
3. The Contractor, at his sole expense, shall keep the project area and surrounding areas free from dust nuisance. The work shall be in conformance with the Air Pollution Control Standards and Regulations of the State Department of Health.
4. All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of the Public Health Regulations, State Department of Health and Chapter 20.08 of the Maui County Code.
5. Construction debris and wastes shall be deposited at appropriate sites. Solid sites shall also fulfill the requirements of Chapter 20.08 of the Maui County Code.
6. The Contractor shall be responsible for all construction siltout.

EXISTING GRADES

1. Existing grades shall be verified by the contractor before proceeding with grading work. Should any discrepancies be discovered in the existing grades or dimensions given on the plans, the Contractor shall immediately notify the Engineer before proceeding further with any work, otherwise he will be held responsible for any cost involved in correction of construction placed due to such discrepancies.

EXISTING UTILITIES

1. The location, depth and type of the various existing utility lines shown on the construction plans were determined to the best of the information available. The Contractor shall verify exact location, depth, and type prior to commencement of work.
2. Contractor shall notify the Engineer of any discrepancies between the existing utilities as shown on the construction plans and those located in ground, and not proceed with any further work until written notification is received from the Engineer. Any work done without written notification from the Engineer shall be the sole responsibility of the Contractor.
3. All existing utilities whether or not shown on the plans, if damaged during construction by the Contractor, shall be repaired solely at his expense.

STATE HISTORIC PRESERVATION DIVISION REQUIREMENTS

Should historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentrations of charcoal or shells be encountered during construction activities, work shall cease in the immediate vicinity of the find and the find shall be protected from further damage. The contractor and/or landowner shall immediately contact the State Historic Preservation Division (602-8015), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary.

EROSION CONTROL PLAN REQUIREMENTS

The erosion control plan shall employ Best Management Practices to the maximum extent practicable to prevent or reduce pollutants from water bodies, including sediment and other contaminants, in discharging from a construction site.

The following must be addressed if applicable:

1. Stabilization of denuded areas.
2. Protection/stabilization of soil stockpiles.
3. Permanent soil stabilization.
4. Establishment and maintenance of permanent vegetation.
5. Protection of adjacent properties and water bodies.
6. Sediment trapping measures.
7. Sediment basins.
8. Cut and fill slopes (terracing).
9. Stormwater management.
10. Sequence of construction operations, including phased and successive development projects.
11. Stabilization of waterways and outlets.
12. Storm sewer inlet protection.
13. Control of access and vehicular movement.
14. Vehicular control on residential lots during construction.
15. Working in or crossing watercourses.
16. Underground utility construction.
17. Timely installation of permanent erosion and sediment control.
18. Maintenance of erosion control facilities.
19. Protection of existing vegetation.
20. Dust control.

ENVIRONMENTAL PROTECTION

1. The contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action by the Chief Environmentalist shall be borne by the Contractor.
2. The Contractor shall keep the project area and surrounding areas free from dust nuisance, all in accordance with the Air Pollution Control Standards and Regulations of the State Department of Health. All costs shall be borne by the Contractor.
3. All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of the Public Health Regulations of the State Department of Health and the County's Grading Ordinance.
4. All cut and fill slopes shall be seeded or planted immediately after grading work has been completed.
5. Construction debris and wastes shall be deposited at appropriate sites. The Contractor shall inform the Engineer of the location of the disposal sites. The disposal sites shall also fulfill the requirements of the Grading Ordinance.
6. The Contractor shall not demolish or clear any structure, site, or vacant lot without first ascertaining the presence or absence of rodents which may endanger the public health by dispersal from such premises. Should such inspection reveal the presence of such rodents, the Contractor shall eradicate such rodents before demolishing or clearing said structure, site or vacant lot.

SECTION 3.44.015(C)-MAUI COUNTY CODE

NOTE: Pursuant to Maui County Code Section 3.44.015(C), the County of Maui is not responsible for any park, roadway, easement (including but not limited to drainage, sewer, access, reclaimed water, or aviation easement), or any other interest in real property shown on this map or shown these plans, unless the Maui County Council has accepted its dedication by a resolution approved by a majority of Council's members at a regular or special meeting of the Maui County Council.

EROSION CONTROL

The following measures shall be taken to control erosion during the site development period:

1. Minimize the time of construction.
2. Retain existing ground cover until latest date to complete construction.
3. Early construction of drainage control features.
4. Use temporary area sprinklers in non-active construction areas when ground cover is removed.
5. Station water truck on site during construction period to provide for immediate sprinkling, as needed in active construction zones (weekends and holidays included).
6. Use temporary berms and cut-off ditches, where needed, for control of erosion.
7. Graded areas shall be thoroughly watered after construction activity has ceased for the day and on weekends.
8. All cut and fill slopes shall be seeded immediately after grading work has been completed.

MINIMUM BEST MANAGEMENT PRACTICES

Drainage. Handle drainage to control erosion, prevent damage to downstream properties and return waters to the natural drainage course in a manner which minimizes sedimentation or other pollution to the maximum extent practicable.

Dust Control. Control dust emissions to the maximum extent practicable through BMP's such as water sprinkling, dust fences, limiting area of disturbance and timely grassing of finish areas.

Vegetation. Retain natural vegetation, especially grasses, wherever feasible. Avoid storage of grubbed material near watercourses.

Erosion Controls. Stabilize all disturbed areas with erosion control measures such as vegetation, runoff diversion, check dams, mulching, blankets, bonded fiber matrices, and wheat wash facilities.

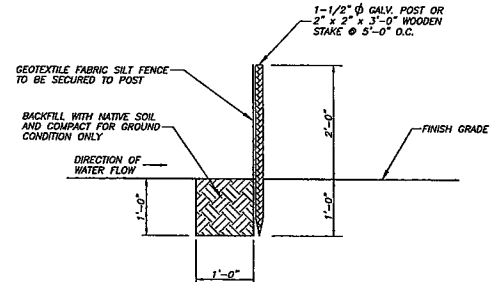
Sediment Control. Capture sediment transported in runoff to minimize the sediment from leaving the site with methods such as sediment basins, sediment traps, silt fences, sand bags, and vegetated filter strips.

Material and Waste Management. Properly store toxic material and prevent the discharge of pollutants associated with construction material.

Timing of Control Measure Implementation. Timing of control measures shall be in accordance with the approved erosion control plan. Disturbed areas of construction sites that will not be re-disturbed for twenty-one days or more will be stabilized (grassed or gravelled) by no later than the fourteenth day after the last disturbance.

Shoreline Area. Use of soil as fill is prohibited within any shoreline area, except for sand.

Coastal Dune. Grading or mining of a coastal dune is prohibited.



DETAIL - SILT FENCE INSTALLATION
SCALE: 1 IN. = 1 FT.

OTOMO ENGINEERING, INC.
LICENSED CIVIL ENGINEER
305 S. HOV. STREET, 1ST FLOOR
HONOLULU, HAWAII 96813
PHONE: (808) 441-0007
FAX: (808) 441-0778

MAUI COUNTY REGISTERED PROFESSIONAL ENGINEER
No. 10284
HAWAII, U.S.A.

4-30-18
I HAVE BEEN ADVISED BY ME OR BY MEASUREMENT OR BY OTHER MEANS THAT THE INFORMATION CONTAINED ON THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT PROVIDING ANY WARRANTY, EXPRESSED OR IMPLIED, FOR THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THE INFORMATION CONTAINED ON THESE PLANS.
DATE: 12-17-18
SIGNATURE: [Signature]
WITH THE CONTRACTOR'S PROFESSIONAL SEAL AND EXPIRE: 12-17-18

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
MISCELLANEOUS DETAILS AND CONSTRUCTION NOTES

REVISION	DATE	NOTE

DESIGNED BY: A.H.M.O.
DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: NOTES-WELL
DATE: 12-17-18

SHEET NO.
C-2
OF 2 SHEETS

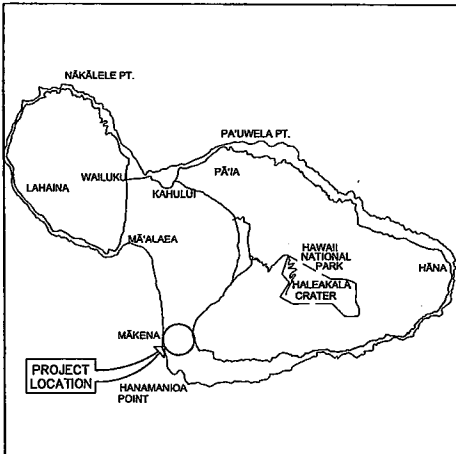
CONSTRUCTION PLANS FOR

EVANS HOLDINGS

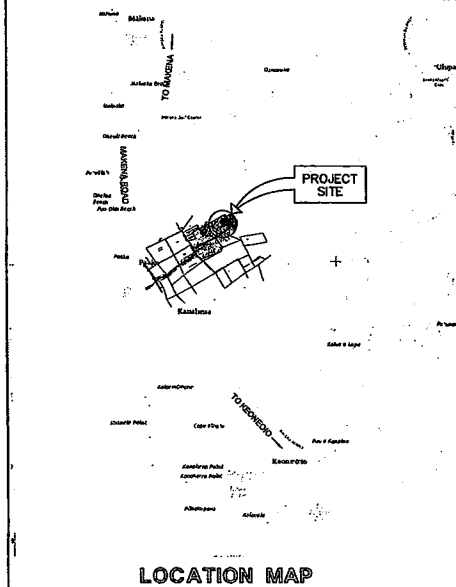
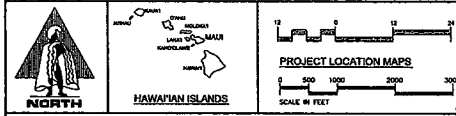
IRRIGATION SYSTEM

B2014/1582
2014/0187

LOCATED AT
MOOMUKU, MAUI, HAWAII
TMK: (2)2-1-005: POR. 135



ISLAND OF MAUI



LOCATION MAP

PREPARED FOR:
EVANS HOLDINGS, INC.
1100 ALAKEA STREET, SUITE 2100
HONOLULU, HAWAII 96813

OWNER:
EVANS HOLDINGS, INC.

DRAWING INDEX:

Sheet Number	Sheet Title
T-1	TITLE SHEET
C-1	GENERAL SITE PLAN
C-2	CONSTRUCTION NOTES
C-3	WATER SYSTEM SCHEMATIC
C-4	SITE PLAN
C-5	GRADING PLAN
C-6	610 MG TANK - ROOF PLAN & DETAILS
C-7	EROSION CONTROL PLAN
C-8	PROFILES - 1
C-9	PROFILES - 2
C-10	WELL PUMP - PLAN, SECTION & DETAILS
C-11	WELL PUMP - SECTIONS & DETAILS
C-12	MISCELLANEOUS DETAILS
E-1	ELECTRICAL SYMBOLS AND GENERAL NOTES
E-2	ELECTRICAL SITE PLAN
E-3	DUCT SECTION DETAILS AND REQUIREMENTS
E-4	ELECTRICAL POWER PLAN
E-5	ELECTRICAL EQUIPMENT ELEVATION
E-6	ONE-LINE DIAGRAM
E-7	IRRIGATION WELL PUMP CONTROL DIAGRAM
E-8	MISCELLANEOUS SCHEMATIC DIAGRAMS
E-9	MISCELLANEOUS ELECTRICAL DETAILS

PREPARED BY:



Tom Nance Water Resource Engineering
680 ALA MOANA BOULEVARD, SUITE 406
HONOLULU, HAWAII 96813
TELEPHONE: (808)937-1141, FACSIMILE: (808)938-7757

APPROVALS:

_____	DATE
_____	Building Inspector Copy
_____	DATE
_____	Building Inspector Copy
_____	DATE
_____	Building Inspector Copy
_____	DATE
_____	Building Inspector Copy

CONSTRUCTION OR INSTALLATION
APPROVED BY: COUNTY OF MAUI
DEPARTMENT OF FIRE CONTROL
FIRE PREVENTION BUREAU
For: _____
Date: _____

Should Historic Sites such as walls, pavilions, pavements, or monuments, or structures such as bridges, basins, concrete abutment of spill or check dam be encountered during construction activities, work shall cease immediately in the immediate vicinity of the find and the find shall be protected from further damage. The contractor shall immediately shut down work to contact the State Historic Preservation Division (SHPD), which will assess the significance of the find and recommend and appropriate mitigation measure, if necessary.

NOTE: Pursuant to Maui County Code Section 2-44-015(C), the County of Maui is not responsible for any PUA, liability, assessment, (including but not limited to drainage, sewer, electric, fire or fire retardant, or irrigation equipment), or any other risk not in real property shown on the maps or shown on these plans, unless the State County Council has accepted its jurisdiction in a resolution approved by a majority of the County Council's members at a regular or special meeting of the Maui County Council.

CODE DATA:

Required for building code compliance.
Approved as noted.
By: _____ Date: 4/29/14
for planning official

- REQUIRED INSPECTIONS:
1. FOUNDATION
 2. FRAMING
 3. LATH & GYPSUM (FIRE RATED PARTITIONS)
 4. FINAL & CERTIFICATE OF OCCUPANCY

201410909



Gregory S. Fumagalli
Professional Engineer

Consultant:

PROFESSIONAL ENGINEER
 LICENSE NO. 51280
 GENERAL U.S.A.

Archie A. Chiles
 Licensed Professional Engineer
 No. 51280
 State of Hawaii
 Registered Professional Engineer, License No. 51280
 State of Hawaii

NORTH

LAYOUT CONTROL

Graphic Scale: 200' 100' 0' 200' 400'
 1" = 200'

Client:
EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

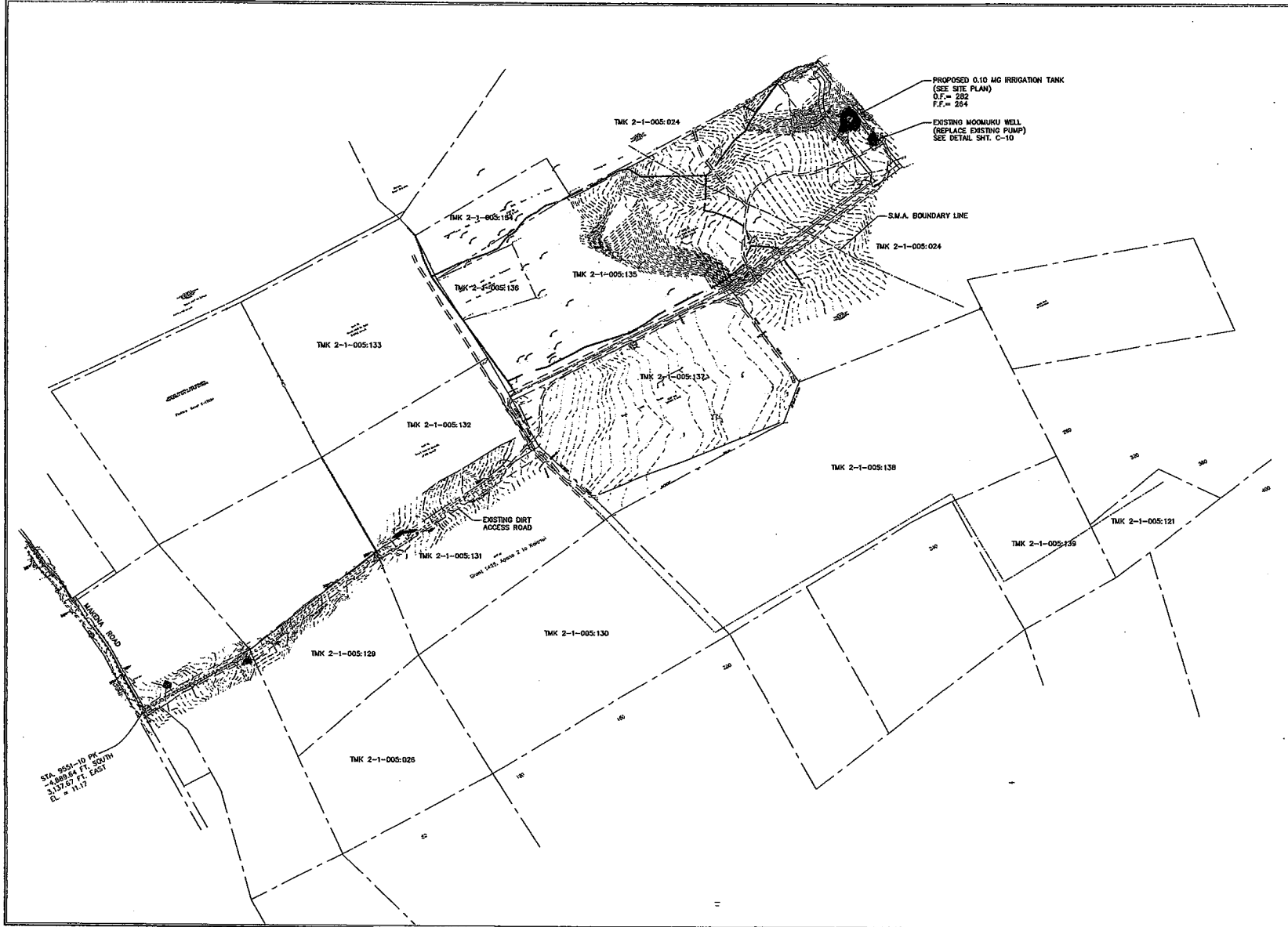
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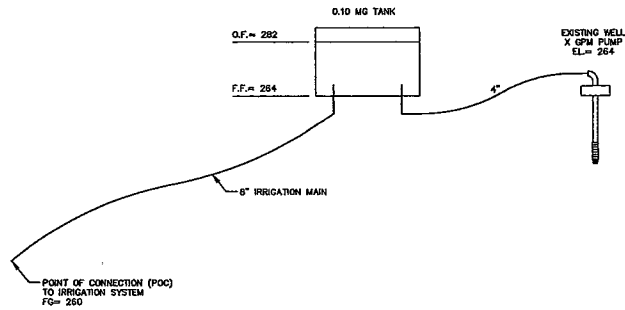
Rev	Date	Description	Eng	App

Designed by: _____
 Drawn by: **CS**
 Date: **MAY 2014**
 Project No. **14-08**

Approved by: _____

SHEET C-1
 SHEET C-1 OF 1 SHEETS





Tom Nance Water Resource Engineering
 200 W. NORTH HONOLULU, HAWAII 96813
 HONOLULU, HAWAII 96813
 TELEPHONE: (808) 731-1141, FAX: (808) 731-1177

Consultant:

W. TOM NANCE & FELLOW ENGINEERS
 LICENSED PROFESSIONAL ENGINEER
 No. 5126-C
 HAWAII, U.S.A.

Tom Nance
 Licensed Professional Engineer
 No. 5126-C
 State of Hawaii, Department of Commerce, Division of Professional Regulation, Board of Professional Engineers, Architects, Planners and Land Surveyors, Licensee Registration Office of Honolulu, Hawaii

GRAPHIC SCALE

1" = 100'

NORTH

Graphic Scale:

Client:
EVANS HOLDINGS, INC.
 1100 ALANEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

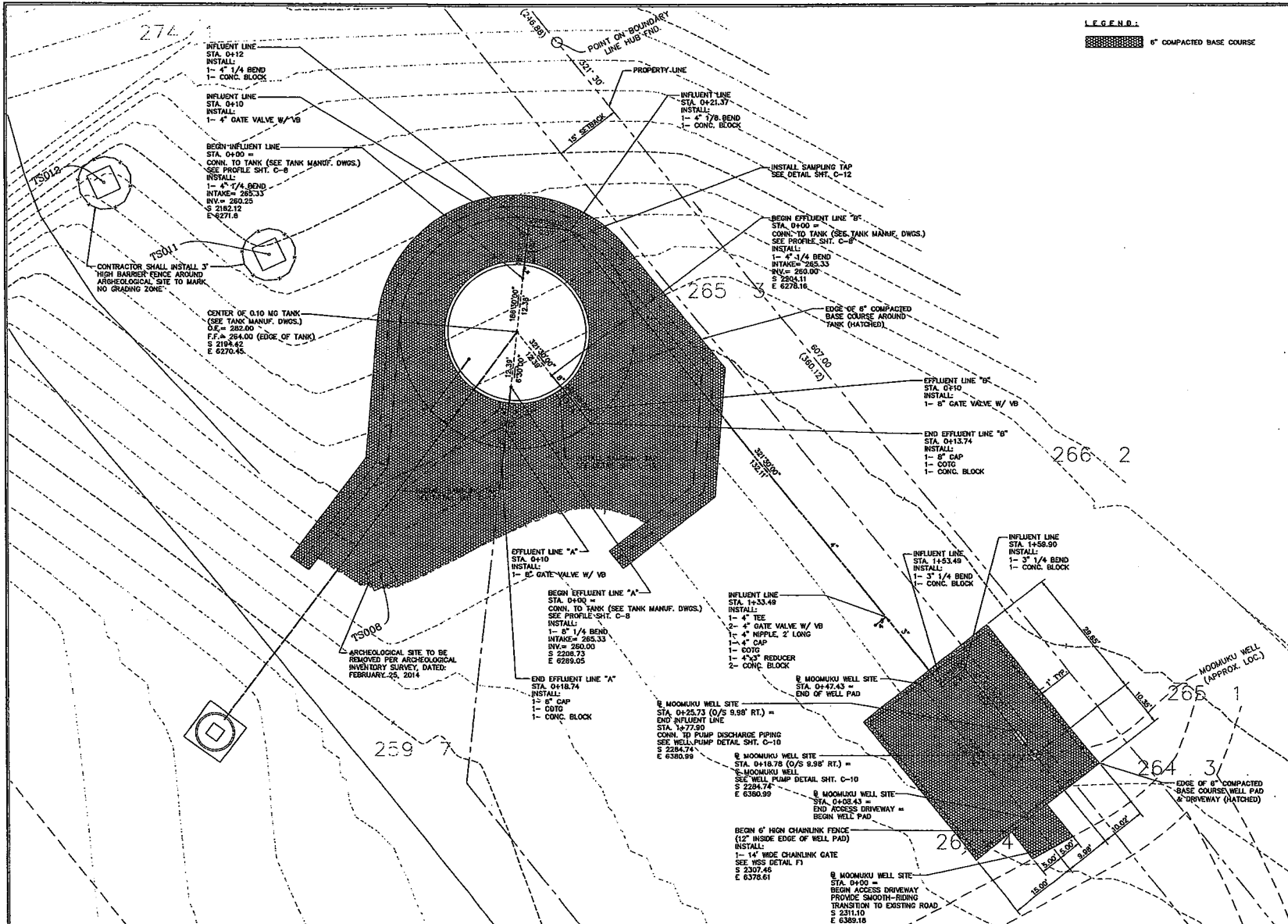
Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
WATER SYSTEM SCHEMATIC

Rev	Date	Description	Eng	App

Designed by: _____
 Drawn by: **GS**
 Date: **MAY 2014**
 Project No. **14-08**
 Approved by: _____

SHEET
C-3
 SHEET **C-3** OF **3** SHEETS



LEGEND:
 6" COMPACTED BASE COURSE

Tom Nance Water Resource Engineering
 800 S. BRIDGE ROADWAY - SUITE 110
 HONOLULU, HAWAII 96813
 TELEPHONE 808/571-1141 FACSIMILE 808/574-7710

Consultant:

PROFESSIONAL ENGINEER
 LICENSE NO. 8786-C
 HAWAII, U.S.A.

Angelo A. Nance
 Licensed Professional Engineer
 No. 8786-C
 State of Hawaii
 Registration is valid only for the project and site for which it was issued. No other use, reproduction or distribution is allowed by Tom Nance Engineering without the prior written consent of Tom Nance Engineering. The State of Hawaii Department of Commerce, Industrial Affairs and Consumer Protection, Division of Professional Fundamentals, Licensee Registration Unit, 100 South King Street, Honolulu, Hawaii 96813.

NORTH
 LAYER CONTROL

Graphic Scale:
 1" = 10'

Sheet Title:
SITE PLAN

Rev	Date	Description	Eng	App

Designed by: GS
 Drawn by: GS
 Date: MAY 2014
 Project No. 14-08

Approved by:

SHEET
 C-4
 SHEET C-4 OF 4 SHEETS

Tom Nance Water Resource Engineering
 480 N. HARTS ROAD, SUITE 110
 TULSA, OKLAHOMA 74114
 (918) 438-7777

Professional Engineer
 License No. 8195-C
 State of Oklahoma
 My Comm. Expires 12/31/2014

Alison D. Christy
 Project Engineer

Project: **EVANS HOLDINGS, INC.**
 1100 ALVAREZ STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS RIRIGATION SYSTEM**

Sheet Title: **GRADING PLAN**

Approved by: _____
 Date: **MAY 2014**
 Project No. **14-08**
 Drawn by: **CS**
 Designated by: _____
 Date: _____

LEGEND
 COMPACTED BASE COURSE
 LIMITS OF GRADING

Graphic Scale: 1" = 10'

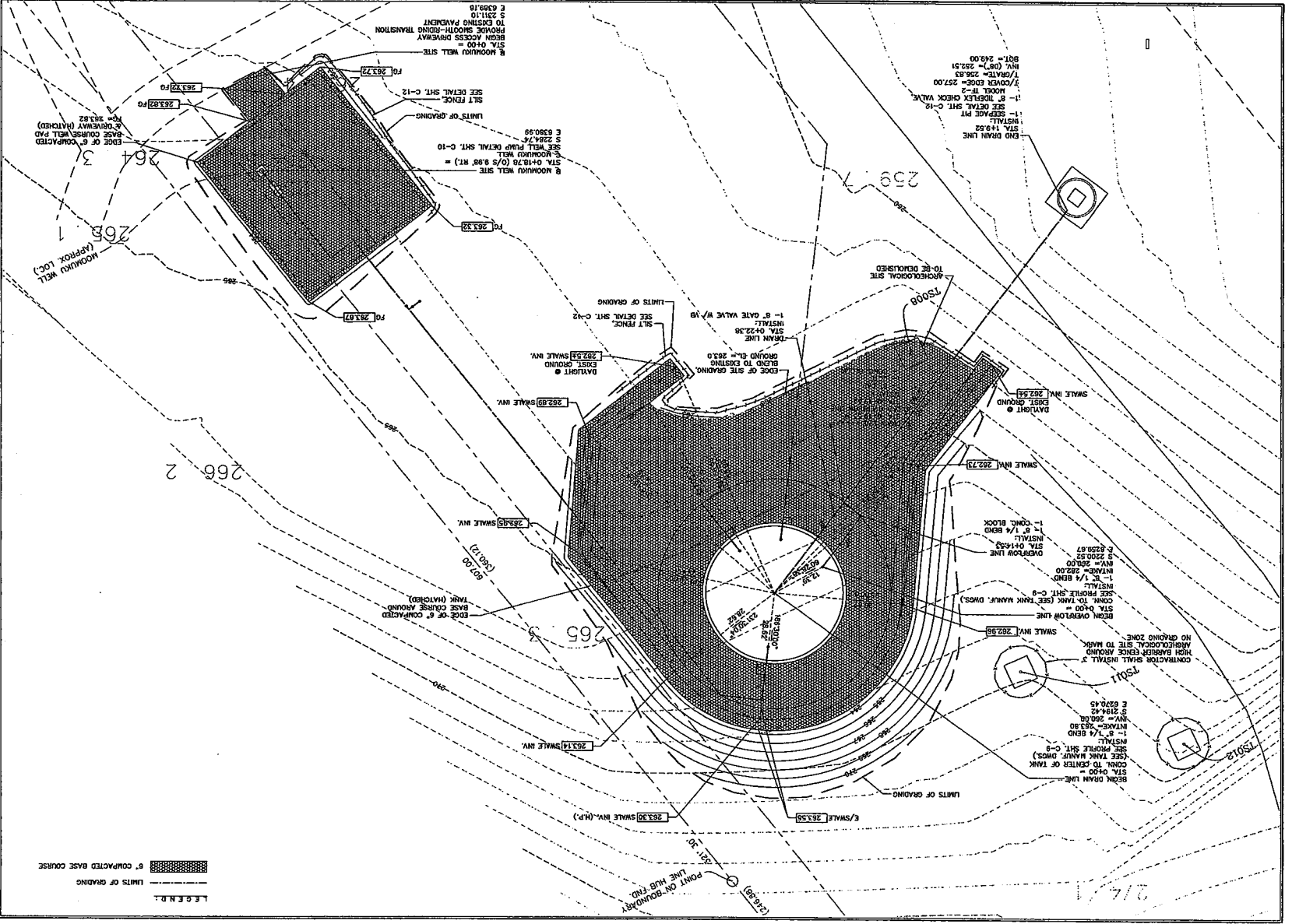
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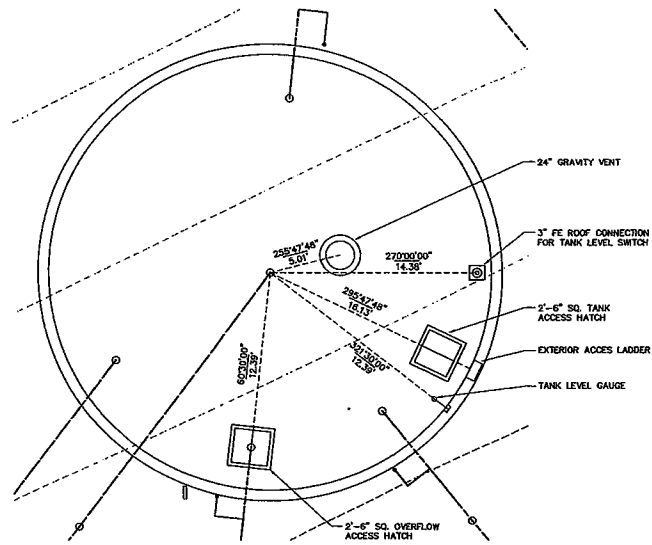
Grid: UTM Zone 18Q UTM Easting 650000, Northing 8250000

Scale: 1" = 10'

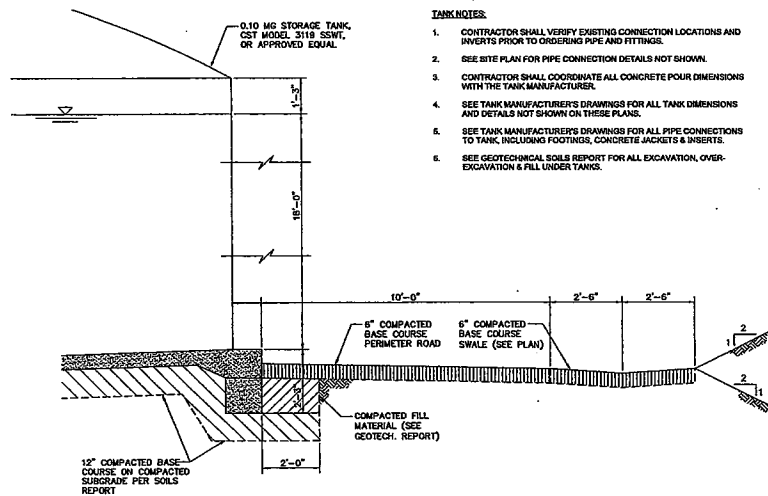
North Arrow: NORTH

Legend:
 [Symbol] LIMITS OF GRADING
 [Symbol] COMPACTED BASE COURSE





PLAN - TANK ROOF
SCALE: 1/4" = 1'-0"



TYPICAL TANK SECTION
SCALE: 1/2" = 1'-0"

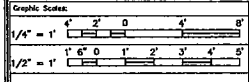
TANK NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONNECTION LOCATIONS AND INVERTS PRIOR TO ORDERING PIPE AND FITTINGS.
2. SEE SITE PLAN FOR PIPE CONNECTION DETAILS NOT SHOWN.
3. CONTRACTOR SHALL COORDINATE ALL CONCRETE POUR DIMENSIONS WITH THE TANK MANUFACTURER.
4. SEE TANK MANUFACTURER'S DRAWINGS FOR ALL TANK DIMENSIONS AND DETAILS NOT SHOWN ON THESE PLANS.
5. SEE TANK MANUFACTURER'S DRAWINGS FOR ALL PIPE CONNECTIONS TO TANK, INCLUDING FOOTINGS, CONCRETE JACKETS & BRISETS.
6. SEE GEOTECHNICAL SOILS REPORT FOR ALL EXCAVATION, OVER-EXCAVATION & FILL UNDER TANKS.

Consultant:



Tom Nance
 Licensed Professional Engineer
 No. 5126-C
 HAWAII, U.S.A.



Client:
EVANS HOLDINGS, INC.
 1150 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

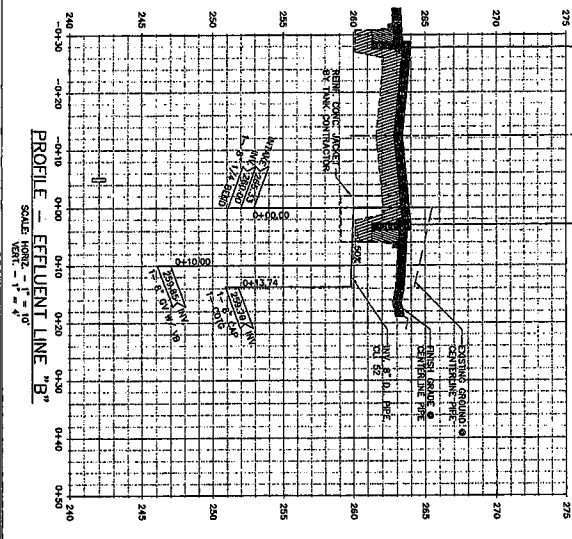
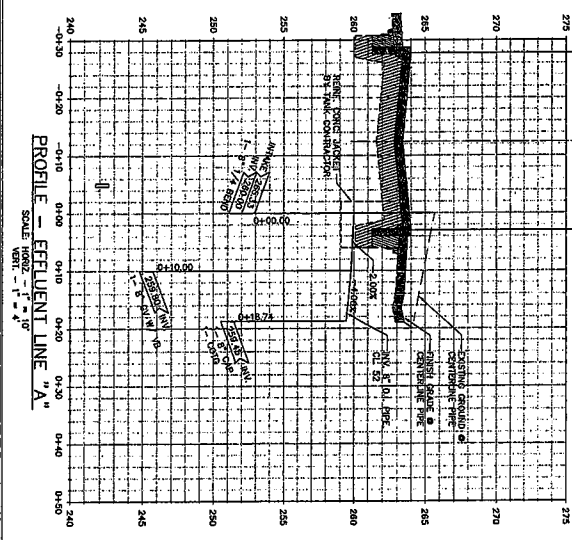
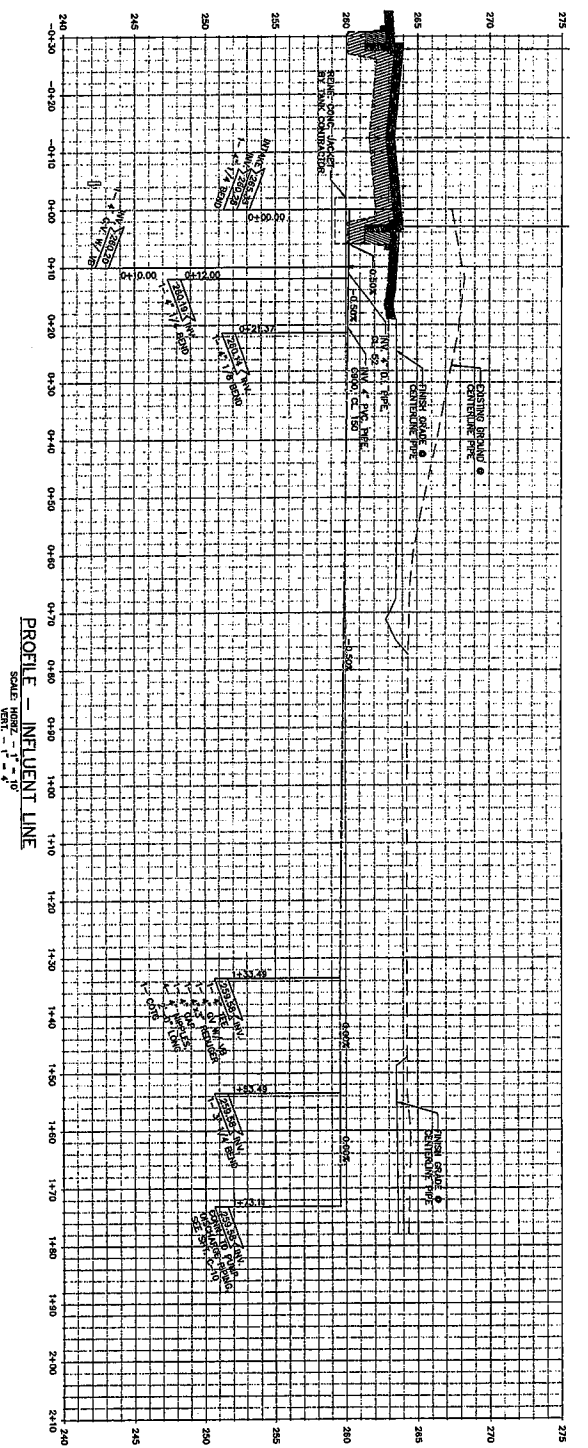
Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
0.10 MG TANK - ROOF PLAN & DETAILS

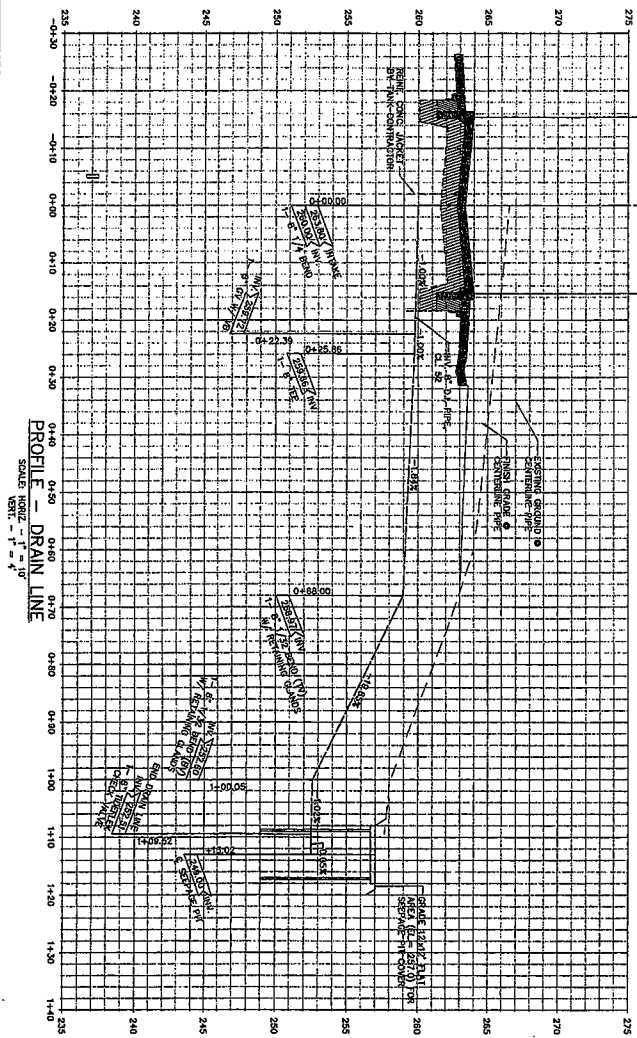
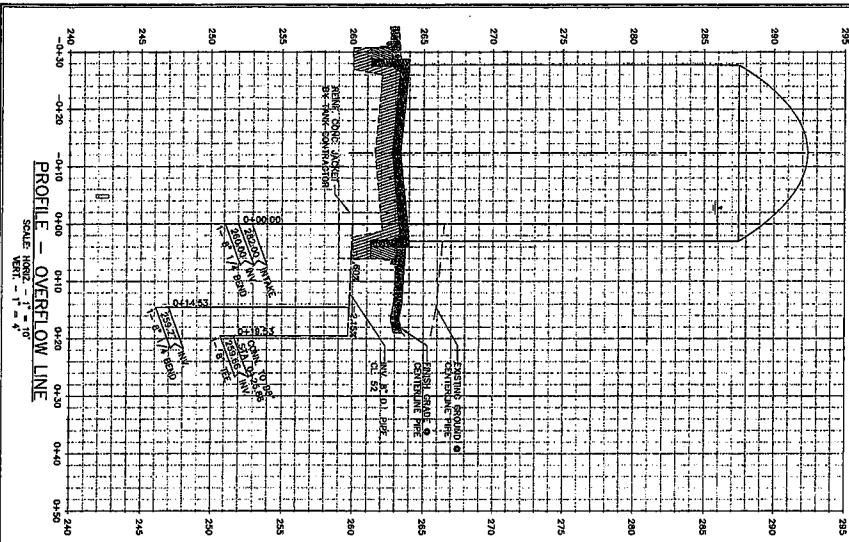
Rev	Date	Description	Eng	App

Designed by: **GS**
 Drawn by: **GS**
 Date: **MAY 2014**
 Project No.: **14-08**

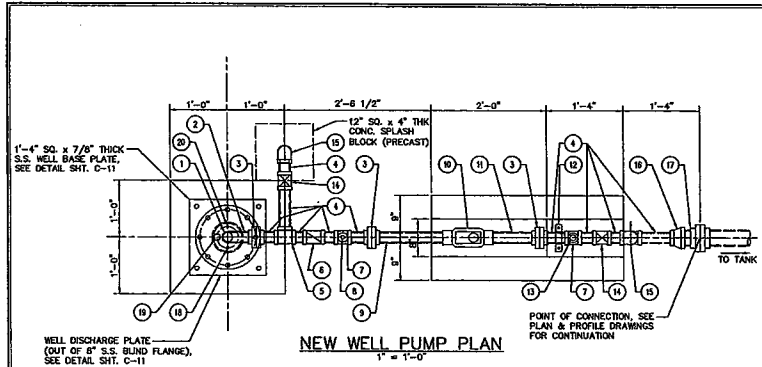
Approved by: _____



<p>Tom Nance Water Resource Engineering</p>			
<p>Project: EWANS HOLDINGS IRRIGATION SYSTEM</p> <p>Client: EWANS HOLDINGS, INC. 100 ALABAMA STREET, SUITE 2100 HONOLULU HAWAII 96813</p>		<p>Contract Scale: 1" = 10'</p> <p>Vertical Scale: 1" = 4'</p> <p>Horizontal Scale: 1" = 40'</p>	
<p>Sheet Title: PROFILES - 1</p>		<p>Designated By: GS Drawn By: WLV 2014 Project No: 11-08 Approved By:</p>	
<p>SHEET C-8</p> <p>SHEET C-8 OF 11 SHEETS</p>		<p>DATE: 11/11/14</p> <p>SCALE: 1" = 40'</p>	

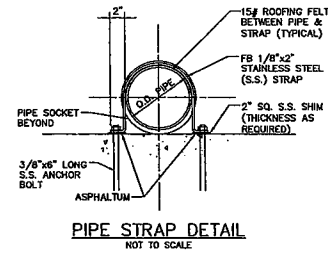


<p>Gregory A. Chiswick Registered Professional Engineer License No. 61234 State of Florida</p>	
<p>Project: EVANS HOLDINGS, INC. 10000 SW 10th Street, Suite 100 Fort Lauderdale, FL 33331</p>	
<p>Sheet Title: PROFILES - 2</p>	
<p>Scale: 1" = 10'</p>	
<p>Horizontal Scale: 1" = 10'</p> <p>Vertical Scale: 1" = 4'</p>	
<p>North Arrow</p>	
<p>Layer Control</p>	
<p>Revised by: GS</p> <p>Drawn by: GS</p> <p>Date: MAY 2014</p> <p>Project No.: 14-08</p> <p>Approved by:</p>	
<p>SHEET C-9</p> <p>SHEET C-8 OF SHEETS</p>	

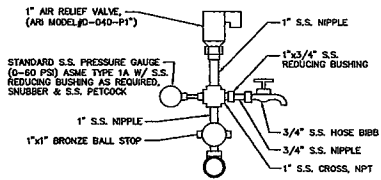


NEW WELL PUMP PLAN
1" = 1'-0"

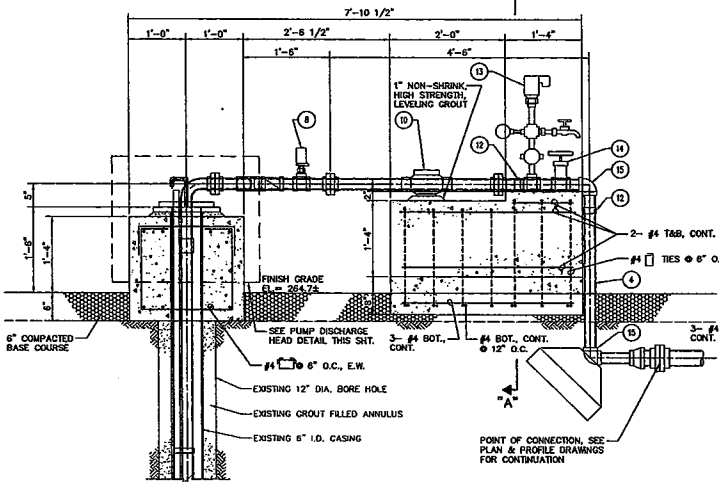
MATERIAL LIST	
ITEM NO.	DESCRIPTION
1	2" 1/4 S.S. BEND (LONG RADIUS)
2	2" S.S. PIPE, PEANUT, LENGTH TO FIT (WELD TO 2" BEND)
3	2" S.S. UNION, NPT
4	2" S.S. NIPPLE, NPT, LENGTH TO FIT
5	2" S.S. TEE, NPT
6	2" S.S. CHECK VALVE, NPT
7	2"x1" S.S. REDUCING TEE, NPT
8	FLOW SWITCH, SEE SPECIFICATIONS
9	2" S.S. PIPE, NPT, 1'-3 1/2" LONG
10	2" S.S. SENSUS TURBINE METER, NPT (MODEL W-160 DR)
11	2" S.S. PIPE, NPT, 0'-9 1/2" LONG
12	2" S.S. PIPE STRAP, SEE DETAIL THIS SHEET
13	1" AIR RELIEF VALVE, SEE DETAIL THIS SHEET
14	2" S.S. GATE VALVE, NPT
15	2" 1/4 S.S. BEND, NPT
16	2"x3" S.S. INCREASER, NPT
17	3" O.I. TO PVC ADAPTER, NPTxSJ
18	1/2" AIR VENT, SEE DETAIL THIS SHEET
19	1 1/4" POWER CABLE
20	3/8" AIR LINE, SEE DETAIL THIS SHEET



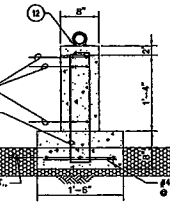
PIPE STRAP DETAIL
NOT TO SCALE



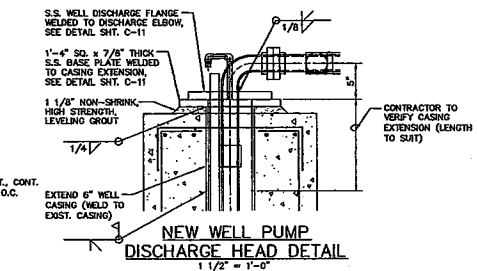
1" AIR & VACUUM RELIEF VALVE DETAIL
NOT TO SCALE



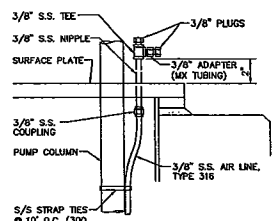
NEW WELL PUMP ELEVATION
1" = 1'-0"



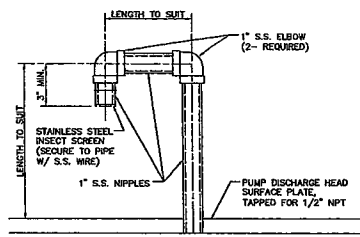
NEW WELL PUMP SECTION "A"
1" = 1'-0"



NEW WELL PUMP DISCHARGE HEAD DETAIL
1 1/2" = 1'-0"



WELL AIR LINE DETAIL
NOT TO SCALE



AIR VENT DETAIL
NOT TO SCALE

Tom Nance Water Resource Engineering
1100 ALAKA STREET, SUITE 2100
HONOLULU, HAWAII 96813

Consultant:

Client:

Project:

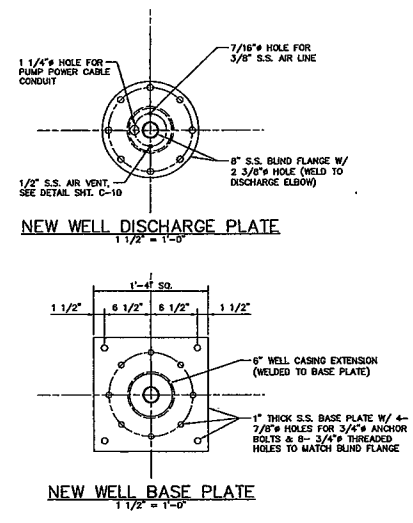
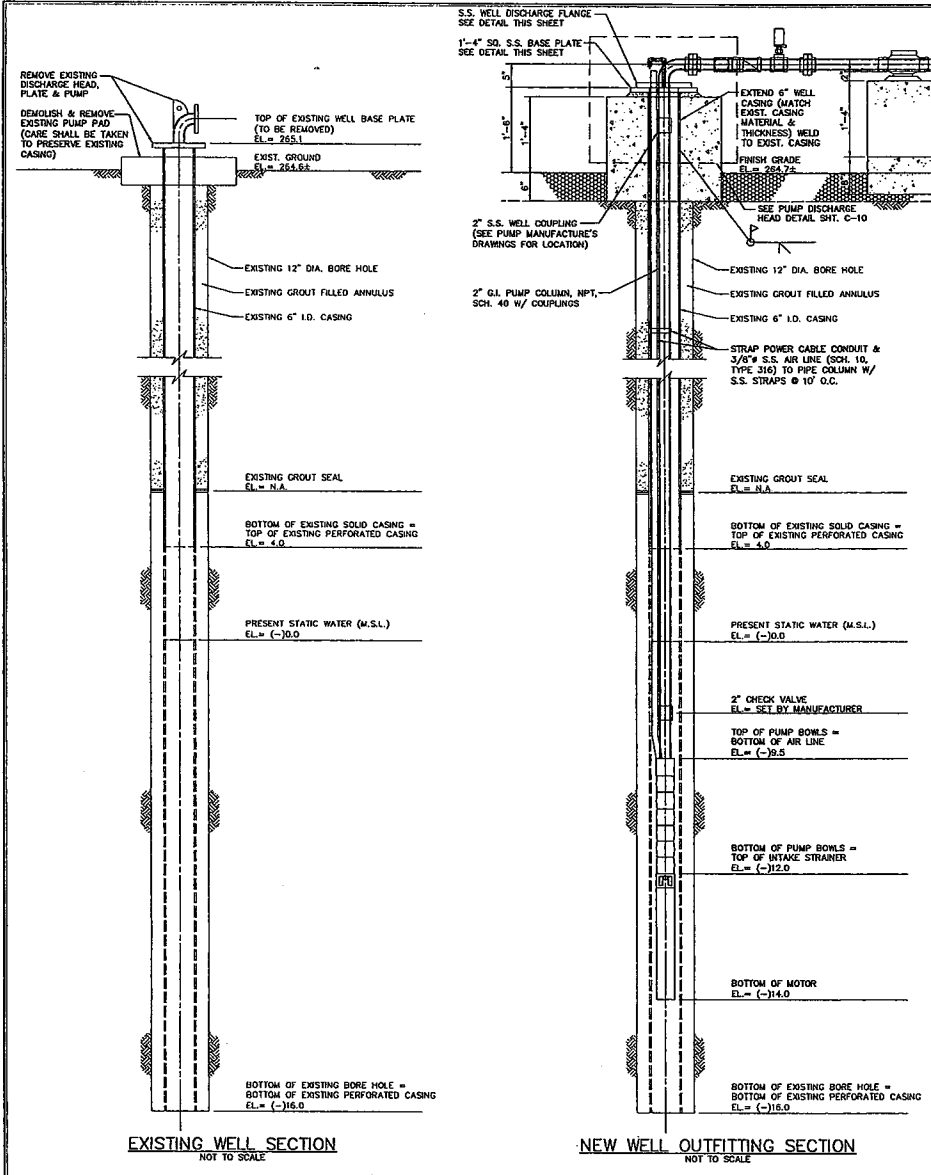
Sheet Title:

Rev. Date Description Eng. App.

Designed by: GS
Drawn by: GS
Date: MAY 2014
Project No. 14-08

Approved by:

SHEET C-10 OF 11 SHEETS



- NOTES:**
- ALL ELEVATIONS ARE REFERENCED TO MEAN SEA LEVEL (MSL ELEV. = 0.00)
 - CONTRACTOR SHALL VERIFY ELEVATIONS IN THE FIELD TO MATCH PUMP DISCHARGE HEAD MANUFACTURER'S DRAWINGS
 - STORAGE REELS AND REEL JACK STANDS SHALL BE FURNISHED FOR EACH OF THE FOLLOWING ITEMS:
 - POWER CABLE
 - WELL LEVEL TRANSMITTER CABLE
 CAPACITY OF STORAGE REELS SHALL BE ADEQUATE FOR EACH ITEM MENTIONED ABOVE. REEL JACK STANDS SHALL BE CAPABLE OF SUPPORTING THE ANTICIPATED LOADS AND BE CAPABLE OF ALLOWING THE STORAGE REEL TO ROTATE FOR THE PURPOSE OF RETRIEVAL OF THE CABLE OR HOSE. CONSULT WITH DWS FOR STORAGE REQUIREMENTS OF REELS AND STANDS.
 - FOR PUMP PAD REINFORCING SEE SHEET C-10.
 - PUMP RATING: Q = 35 GPM @ 310' TDH

Tom Nance Water Resource Engineering
 1500 ALAKEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813
 TEL: (808) 938-8111, FAX: (808) 938-8177

Contract No.: _____

REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 5128-C
 STATE OF HAWAII

Gregory B. O'Brien
 Registered Professional Engineer
 License No. 5128-C
 State of Hawaii

NORTH

Graphic Scale: 1" = 1'-0"

Client: **EVANS HOLDINGS, INC.**
 1100 ALAKEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS IRRIGATION SYSTEM**

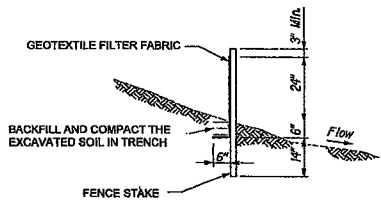
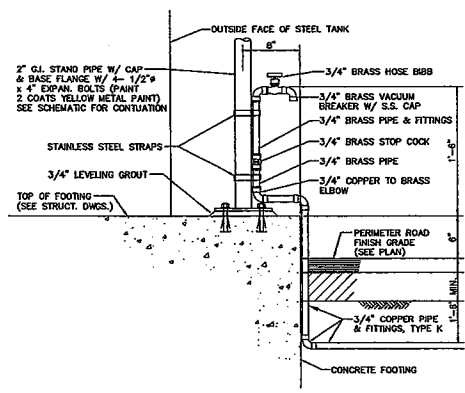
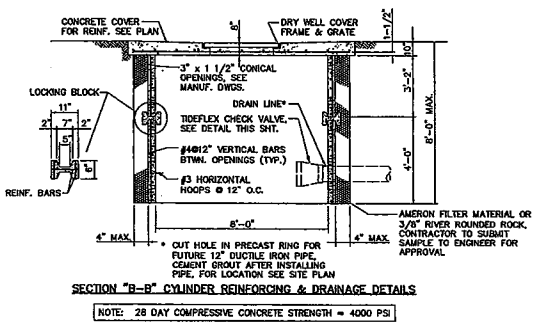
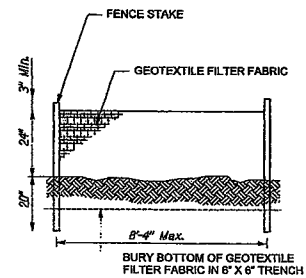
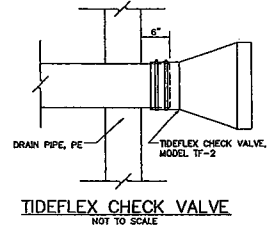
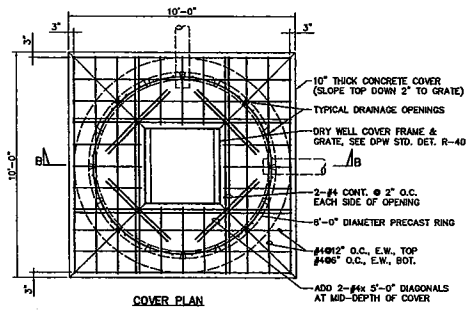
Sheet Title: **WELL PUMP - SECTIONS & DETAILS**

Rev	Date	Description	Eng	App

Designed by: **GS**
 Drawn by: **GS**
 Date: **MAY 2014**
 Project No.: **14-08**

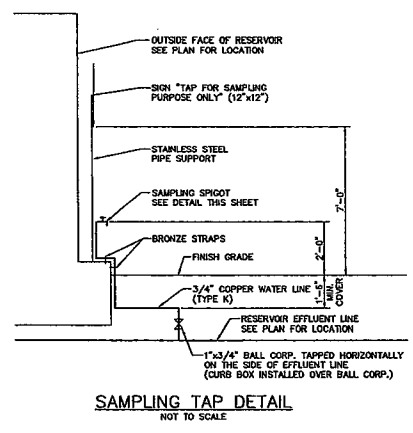
Approved by: _____

SHEET C-11 OF 11 SHEETS



- NOTES:
1. THE FILTER FABRIC SHALL BE A MINIMUM OF 36 INCHES WIDE.
 2. IF SILT FENCE IS OBTAINED FROM MANUFACTURER AS A PACKAGE (I.E. FABRIC ATTACHED TO POST) THE MANUFACTURER'S INSTALLATION INSTRUCTION SHALL BE ADHERED TO.
 3. FENCE STAKES MAY BE WOOD OR METAL, MUST BE CAPABLE OF SUPPORTING ANTICIPATED LOADS.

NOTE: 28 DAY COMPRESSIVE CONCRETE STRENGTH = 4000 PSI



Tom Nance Water Resource Engineering
 3601 KAUAI HIGHWAY - SUITE 210
 HONOLULU, HAWAII 96819
 TELEPHONE: (808) 211-1141, FACSIMILE: (808) 211-1747

Consultant:

EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title: MISCELLANEOUS DETAILS

Rev	Date	Description	Eng	App

Designed by: GS
 Date: MAY 2014
 Project No. 14-08

Approved by:

SHEET C-12 OF SHEETS

**PUMP CONTROL
SCHEMATIC DIAGRAM SYMBOLS**

SYMBOL	DESCRIPTION
ESS	EMERGENCY STOP SWITCH (MANUAL) WITH MANUAL RESET
OL	OVERLOAD
R1-R10	CONTROL RELAYS
RA-RF	CONTROL RELAYS
CR1-CR2	CONTROL RELAYS
FS	MAIN LINE FLOW SWITCH (CLOSES WITH FLOW)
RTM	RUNNING TIME METER
AR	PUMP START AUXILIARY RELAY
PRL	PHASE REVERSAL/LOSS RELAY
ST	SEQUENCE TIMER
TD1	TIME DELAY RELAY, ON DE-ENERGIZATION, 0-10 MIN. ADJUSTABLE, SET AT 2 MIN.
MP	THREE PHASE MOTOR PROTECTOR SYSTEM
MPRM	THREE PHASE MOTOR PROTECTOR REMOTE MANAGER SYSTEM
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR SYSTEM
SSS	SOLID STATE STARTER

SYMBOL	DESCRIPTION
	COIL OF CONTACT, RELAY OR STARTER
	CONTACT NORMALLY OPEN WHEN COIL IS DE-ENERGIZED OR SWITCH IS IN OPEN POSITION
	CONTACT NORMALLY CLOSED WHEN COIL IS DE-ENERGIZED OR SWITCH IS IN OPEN POSITION
	TIME DELAY CONTACTS, N.O., DELAY TO CLOSE
	TIME DELAY CONTACTS, N.O., DELAY TO OPEN
	TIME DELAY CONTACTS, N.C., DELAY TO CLOSE
	TIME DELAY CONTACTS, N.C., DELAY TO OPEN
	LED INDICATING LIGHT, LETTER DENOTES COLOR
	EXTERNAL CONTACTS
	EXTERNAL SOLENOID
	FUSE

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
	FLEXIBLE CONDUIT, LIQUIDTIGHT
	CONDUIT OR DUCTLINE BELOW REF. FL. OR GROUND
	12" X 20" WATER METER TYPE PRECAST CONCRETE PULLBOX, WITH STEEL COVER AND WITH "CONTROLS" INSCRIBED ON COVER
	DUPLEX RECEPTACLE, NEMA 5-15R, 120V, WTD. +18" OR AS NOTED
	ELECTRICAL PANELBOARD
	JUNCTION BOX, CEIL. MTD., 4-11/16" NOM.
	JUNCTION BOX, WALL MTD., 4-11/16" NOM.
	JUNCTION BOX MTD. ON CHANNEL SUPPORT, SEE DETAIL 1/E-9
	MOTOR CONNECTION
	FLOW SWITCH CONNECTION
	TANK LEVEL SWITCH CONNECTION
	EQUIPMENT CONNECTION
	CONTROLS CONNECTION
	ELECTRIC/SIGNAL DUCTLINE WITH DESIGNATORS, ITEMS IN CIRCLE INDICATES DUCT SECTION TYPE, WITH DUCT COMPLEMENTS NOTED BELOW (TYPE "A" DUCT INDICATED WITH 1'-4" DUCTS, AND TYPE "S" DUCT WITH 1'-1" DUCTS; E=ELECTRIC, T=TELEPHONE, A=ANTENNA, C=CONTROLS, I=INSTRUMENTATION); SEE SHEET E-3 FOR DUCT SECTION DETAILS
MP	DENOTES "WEATHERPROOF"
SS	DENOTES "TYPE 316 STAINLESS STEEL"

GENERAL CONSTRUCTION NOTES

1. PROVIDE POLYOLEFIN 200LB TEST PULLCORD IN ALL EMPTY CONDUITS, UNLESS OTHERWISE NOTED.
2. ALL ELECTRICAL EQUIPMENT ENCLOSURES AND EQUIPMENT MOUNTING HARDWARE FOR OUTDOOR INSTALLATION SHALL BE TYPE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

Tom Nance Water Resource Engineering
688 N. HANALEI HIGHWAY - SUITE 212
2123 HANALEI HIGHWAY, SUITE 201
HONOLULU, HAWAII 96813
TELEPHONE: (808) 537-1141, FACSIMILE: (808) 538-7737

Ronald N.S. Ho & Associates, Inc.
Electrical Engineers
2123 Hanalei Highway, Suite 201
Honolulu, Hawaii 96813

ANDREW K. OWEN
LICENSED PROFESSIONAL ENGINEER
NO. H12814-E
HAWAII, U.S.A.
Signature: [Signature]
Date: 20/05/14
I am not responsible to the extent of my registration. I am only responsible for the work I have personally performed. I am not responsible for the work of my employees, agents or subcontractors.

Graphic Scales:

Client:
EVANS HOLDINGS, INC.
1100 ALANEA STREET, SUITE 2200
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
ELECTRICAL SYMBOLS AND GENERAL NOTES

Rev: Date Description Eng App
Designed by: **KKO**
Drawn by: **KKO**
Date: **MAY 2014**
Project No. **14-08**

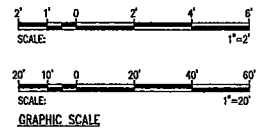
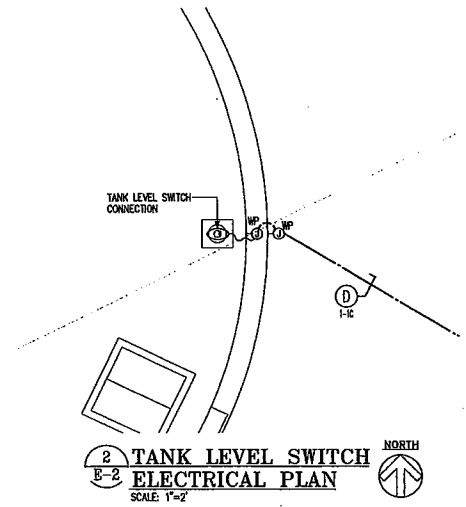
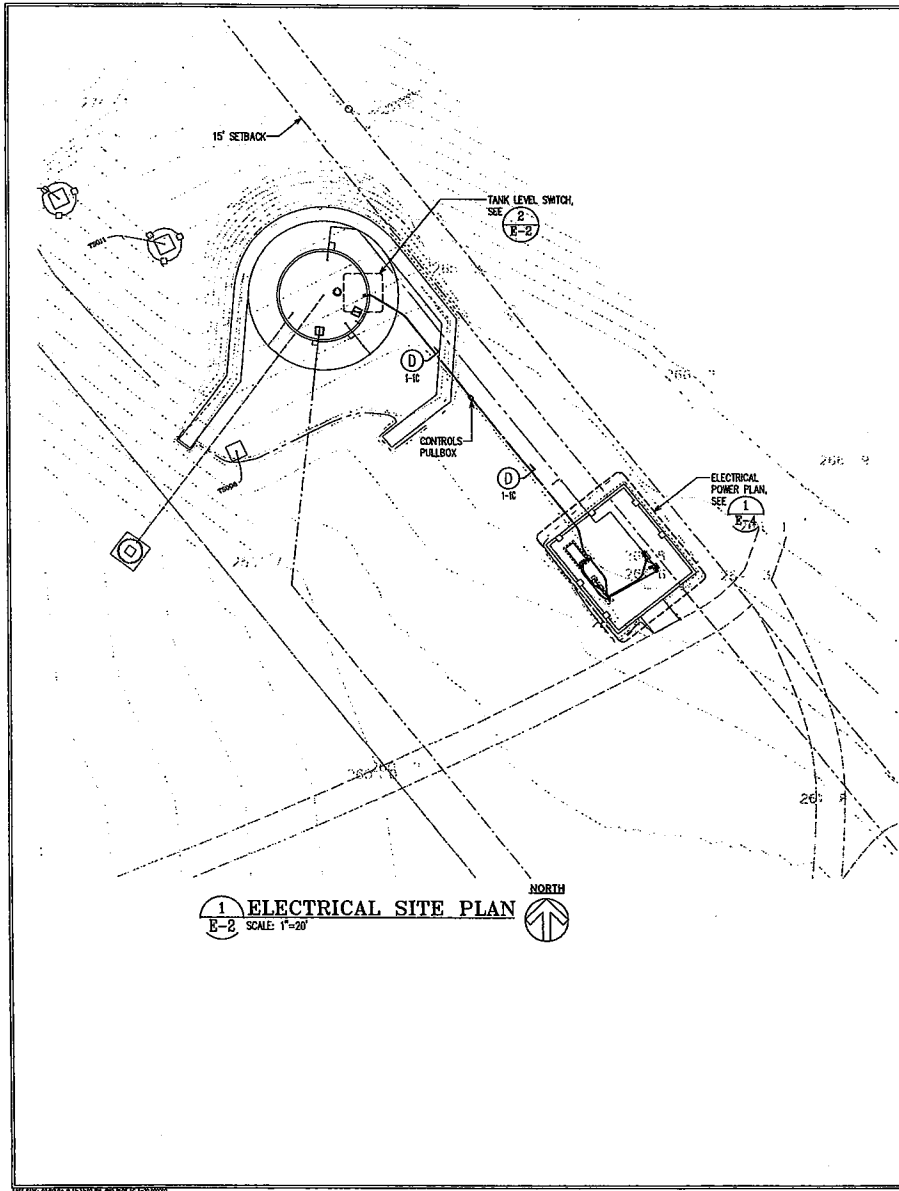
Approved by:

Title

Title

Title

SHEET
E-1
SHEET ____ OF ____



Tom Nance Water Resource Engineering
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Consultant:
Ronald N.S. Ho & Associates, Inc.
Electrical Engineers
2163 North King Street, Suite 201
Honolulu, Hawaii 96819

FRANK K. O'NEIL
LICENSED PROFESSIONAL ENGINEER
No. 14284-A
HAWAII, U.S.A.

Signature: [Signature]
30 JUL 2014
I am not permitted to use my name or the name of my firm in connection with any project unless I am duly licensed and registered as an Engineer in the State of Hawaii. I am duly licensed and registered as an Electrical Engineer, License No. 14284-A, State of Hawaii. I am duly licensed and registered as an Electrical Engineer, License No. 14284-A, State of Hawaii.

Client:
EVANS HOLDINGS, INC.
1100 ALAKEA STREET, SUITE 2200
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
ELECTRICAL SITE PLAN

Rev	Date	Description	Eng	App
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Designed by: KKO
Drawn by: KKO
Date: MAY 2014
Project No. 14-08

Approved by: _____ Date: _____
_____ Date: _____
_____ Date: _____

SHEET **E-2**
SHEET _____ OF _____

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DUCT SECTION BACKFILL NOTES:

TYPE "A" BACKFILL - EARTH & GRAVEL. ROCK SIZE TO BE 1" MAX. & THE MIXTURE TO CONTAIN NOT MORE THAN 50% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION.

TYPE "B" BACKFILL - EARTH & GRAVEL. MIXTURE MUST PASS A 1/2" MESH SCREEN & CONTAIN NOT MORE THAN 20% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION.

NOTE - IF NORMAL MATERIAL AT BOTTOM OF TRENCH IS NOT TYPE "B", AN ADDITIONAL 3" SHALL BE EXCAVATED & TYPE "B" BACKFILL PROVIDED.

CONCRETE - 3" ENCASEMENT, 3000 psi COMPRESSIVE STRENGTH @ 28 DAYS.

DESIGNATION DESCRIPTIONS

- ELEC = UTILITY CO. PRIMARY OR SECONDARY ELECTRIC
- TEL = UTILITY CO. TELEPHONE
- PWR = PRIMARY OR SECONDARY ELECTRIC
- CTL = CONTROL
- SIG = INSTRUMENTATION OR ANTENNA CABLE

MINIMUM "X" DIMENSION DUCT SEPARATION REQUIREMENTS

ELEC - ELEC = 1 1/2"

ELEC - TEL = 3"

TEL - TEL = 1 1/2"

ELEC - CTL/SIG = 3"

TEL - CTL/SIG = 1 1/2"

PWR - CTL/SIG = 3"

ELEC - PWR = 1 1/2"

TEL - PWR = 3"

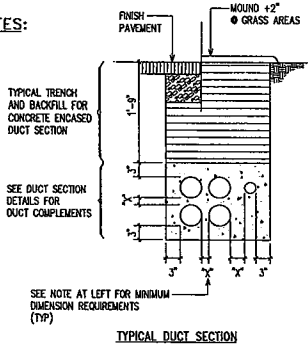
PWR - PWR = 1 1/2"

CTL/SIG - CTL/SIG = 1 1/2"

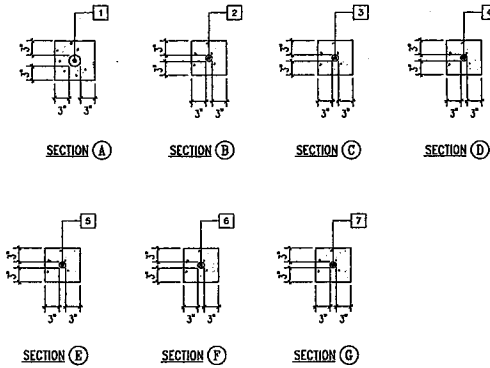
MINIMUM OF 3" CONCRETE ENCASEMENT AROUND DUCTBANK

WHERE DUCTLINE CROSSSES OVER WATER LINE, PROVIDE THE FOLLOWING:

1. 6" MINIMUM SEPARATION BETWEEN DUCTLINES AND WATER LINE.
2. PROVIDE CONCRETE JACKET AROUND DUCTLINES.
3. PROVIDE ONLY TYPE "B" BACKFILL AROUND WATER LINE.



TYPICAL DUCT SECTION



DUCT SECTION DETAILS AND REQUIREMENTS
NOT TO SCALE

DUCT AND WIRE SCHEDULE

NO.	DUCT SIZE	WIRE SIZE	DESTINATION OR USE
1	2"	SEE ONE-LINE DIAGRAM	POWER FROM GENERATOR TO MOTOR STARTER
2	1"	SEE ONE-LINE DIAGRAM	WELL PUMP MOTOR FEEDER (240V)
3	1"	2#2 CONTROLS (w/ 2#2 SPARES)	WELL PUMP CONTROLS (FLOW SWITCH)
4	1"	2#2 CONTROLS (w/ 2#2 SPARES)	TANK LEVEL CONTROLS
5	1"	2#2 CONTROLS	GENERATOR CONTROLS
6	1"	2#12 (6C)	TO SOLAR PANEL
7	1"	2#10 (6C)	TO GENERATOR BATTERY
8			

NOTES:
 1. ALL CONCRETE ENCASED DUCTS SHALL BE SCHEDULE 40 PVC.
 2. ALL DIRECT BURIED DUCTS SHALL BE SCHEDULE 80 PVC.
 3. PC INDICATES PROVIDE PULLCORD.

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KEVIN K. OJIMA
 LICENSED PROFESSIONAL ENGINEER
 No. 11684-B
 HAWAII, U.S.A.
 Signature: [Signature]
 Title: [Title]
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GRAPHIC SCALE:	1" = 10'
	1" = 20'
DATE:	
PROJECT:	

Client:
EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2200
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
DUCT SECTION DETAILS AND REQUIREMENTS

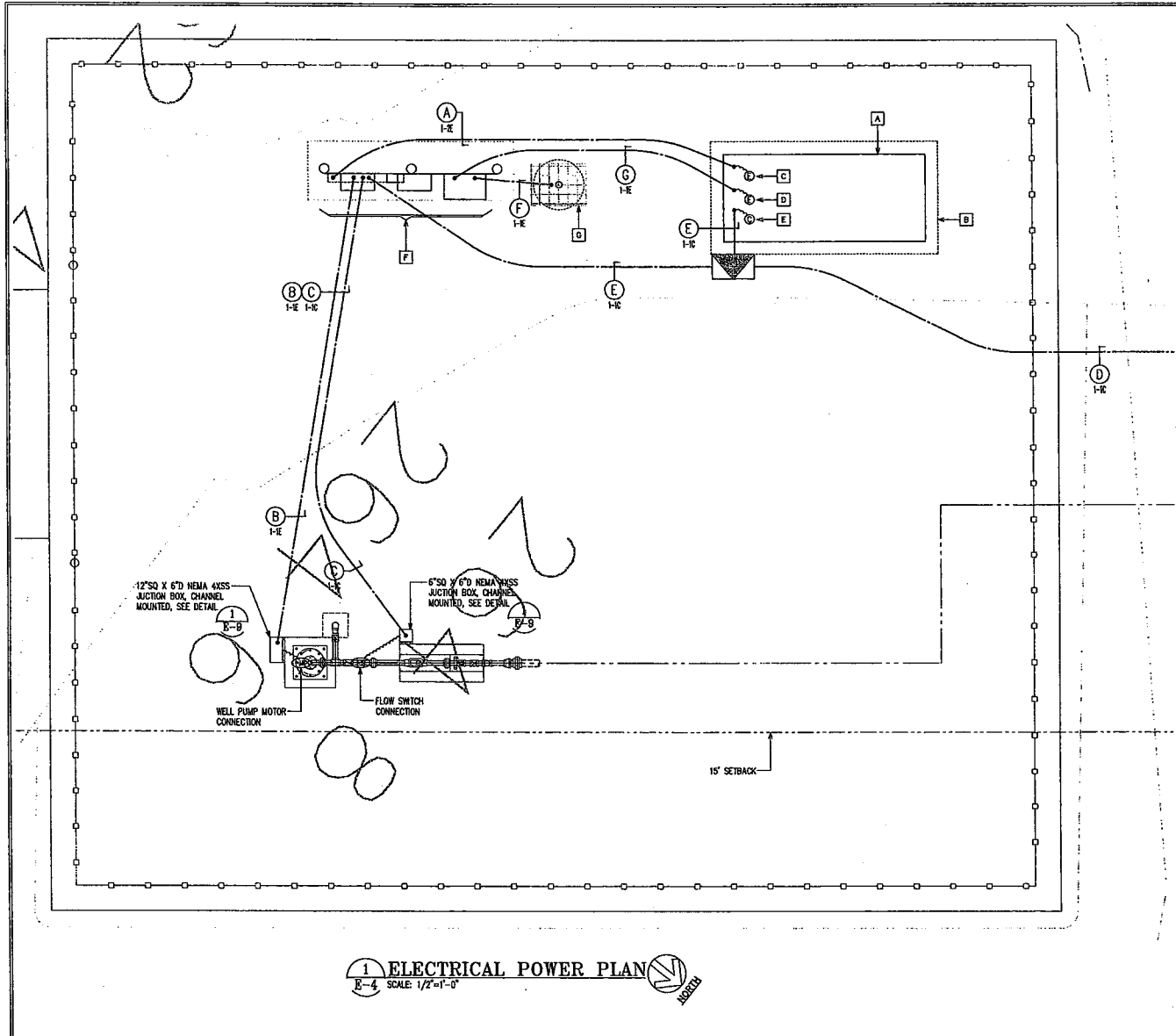
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Rev	Date	Description	Eng	App

Designed by: **KKO**
 Drawn by: **KKO**
 Date: **MAY 2014**
 Project No. **14-08**

Approved by:
 _____ Date: _____
 _____ Date: _____
 _____ Date: _____

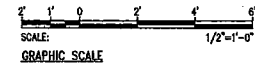
SHEET
E-3
 SHEET ____ OF ____



EQUIPMENT NOTES:

- A** DIESEL ENGINE-GENERATOR WITH SOUND ATTENUATED, WEATHERPROOF PROTECTIVE ENCLOSURE, AND SUBBASE FUEL TANK.
- B** 4" HIGH CONCRETE PAD WITH 6" CLEAR AROUND EQUIPMENT.
- C** GENERATOR POWER CONNECTION.
- D** GENERATOR BATTERY CONNECTION.
- E** GENERATOR CONTROLS CONNECTION.
- F** ELECTRICAL EQUIPMENT ON SUPPORT STRUCTURE, SEE ELEVATION ON SHEET E-5.
- G** SOLAR PANELS, POLE TOP MOUNTED, SEE DETAIL ON SHEET E-9.

1
ELECTRICAL POWER PLAN
E-4 SCALE: 1/2"=1'-0"



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EVANS K. OZAKI
REGISTERED PROFESSIONAL ENGINEER
No. 11784-C
HAWAII, U.S.A.

Client:
EVANS HOLDINGS, INC.
1100 ALAKEA STREET, SUITE 2200
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
ELECTRICAL POWER PLAN

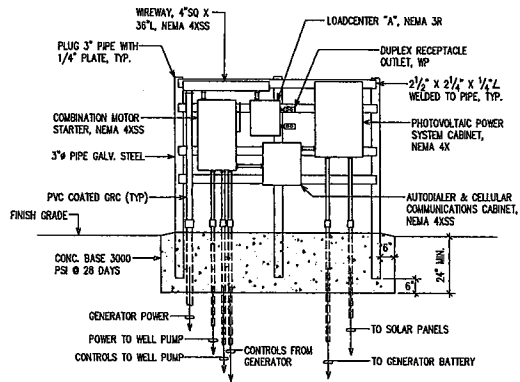
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Rev	Date	Description	Eng	App

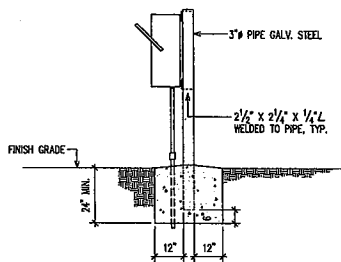
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Date: **MAY 2014**
Project No. **14-09**

Approved by: _____
Date: _____
Date: _____
Date: _____

SHEET **E-4**
SHEET _____ OF _____



FRONT ELEVATION



SIDE ELEVATION

NOTES:

1. ALL EQUIPMENT ENCLOSURES SHALL BE RATED NEMA 4XSS.
2. PEDESTAL SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
3. ALL SUPPORTS, FASTENING BOLTS, NUTS & WASHERS SHALL BE STAINLESS STEEL. PROVIDE ONE COAT SHOP PRIMER & TWO COATS OF ACRYLIC ENAMEL FINISH.
4. UTILIZE INERT-GAS WELDING PROCESS TO PREVENT OXIDATION.
5. GROUND AND BOND PER N.E.C.

1 ELECTRICAL EQUIPMENT SUPPORT STRUCTURE ELEVATION
E-5
NOT TO SCALE

Tom Nance Water Resource Engineering
 REG. IN SEVERAL STATES - SEE LIST
 HONOLULU, HAWAII 96813
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RONALD N.S. HO
 LICENSED PROFESSIONAL ENGINEER
 NO. 14284 E
 HAWAII, U.S.A.

Signature: *R.N.S. Ho*
 2/10/2014

DATE CHECKED: _____

Graphic Scale: _____

Client: **EVANS HOLDINGS, INC.**
 1100 ALAKEA STREET, SUITE 2200
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS IRRIGATION SYSTEM**

Sheet Title: **ELECTRICAL EQUIPMENT ELEVATION**

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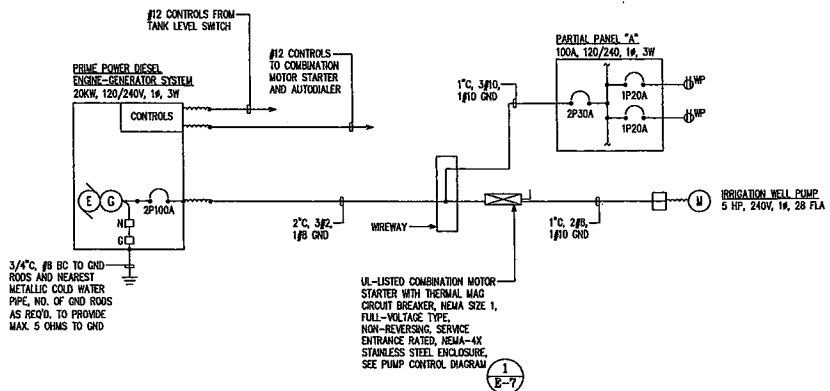
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 Project No. **14-08**

Approved by: _____

SHEET **E-5**
 OF _____

NOT SCALE: REVISED 8/15/13 BY: [unreadable] DATE: [unreadable]
 ALL PARTS & MATERIALS TO BE SHOWN SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED. [unreadable]



3/4\"/>

UL-LISTED COMBINATION MOTOR STARTER WITH THERMAL MAG CIRCUT BREAKER, NEMA SIZE 1, FULL-VOLTAGE TYPE, NON-REVERSING, SERVICE ENTRANCE RATED, NEMA-4X STAINLESS STEEL ENCLOSURE. SEE PUMP CONTROL DIAGRAM

NOTES

1. ALL GROUNDING SYSTEMS SHALL BE PROVIDED PER NEC ARTICLE 250.
2. ALL FEEDER CIRCUIT BREAKERS FOR PUMP MOTORS SHALL BE PROVIDED WITH PROVISIONS FOR LOCKING IN THE "OFF" POSITION.

1 ONE-LINE DIAGRAM
E-6

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LONG K. OTANI
LICENSED PROFESSIONAL ENGINEER
No. 14288-E
SIGNATURE: *K. K. O.*
SEAL: 10/08/14
I hereby certify that the project or projects mentioned in this document were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Hawaii and that I am a duly Licensed Professional Engineer in the State of Hawaii.

REVISIONS

NO.	DATE	DESCRIPTION

Graphic Scale:

Client:
EVANS HOLDINGS, INC.
1100 ALAHEA STREET, SUITE 2200
HONOLULU, HAWAII 96813

Project:
**EVANS HOLDINGS
IRRIGATION SYSTEM**

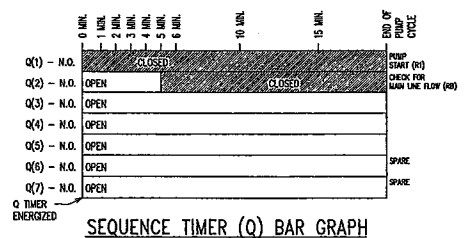
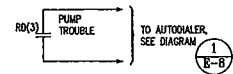
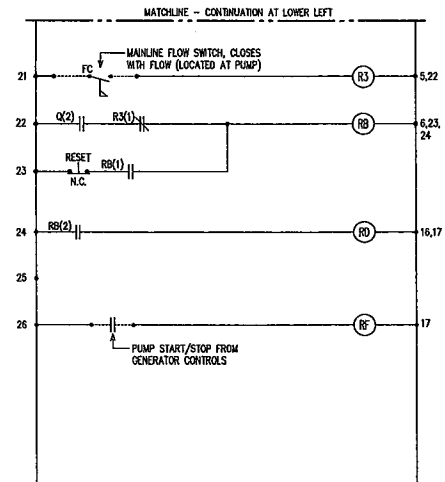
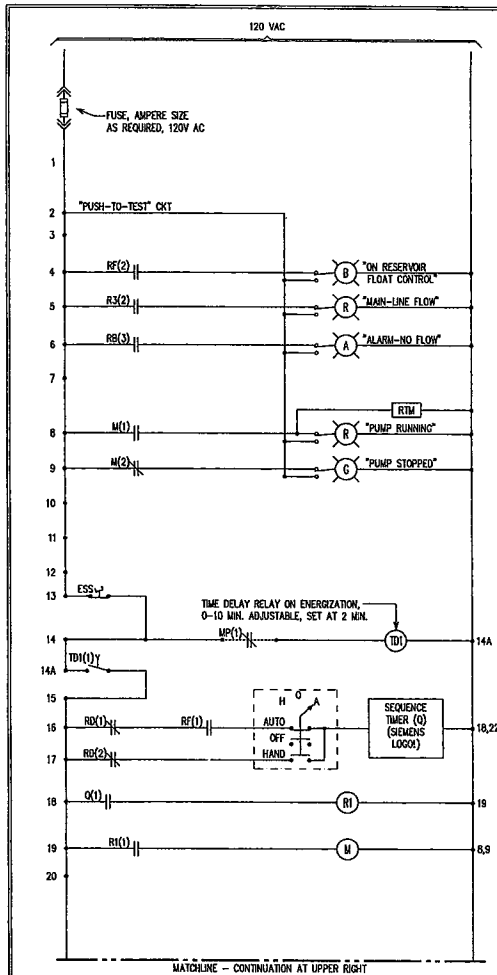
Sheet Title:
ONE-LINE DIAGRAM

Rev	Date	Description	Eng.	App.

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Drawn by: **KKO**
Date: **MAY 2014**
Project No.: **14-08**

Approved by:

SHEET
E-6
SHEET ____ OF ____



IRRIGATION WELL PUMP CONTROL SEQUENCE

ON START-UP, PUMP START CONTACT FROM GENERATOR CONTROLS CLOSURES AND ENERGIZES RESPECTIVE RELAY "R". CONTACT "RT(1)" CLOSURES AND ENERGIZES SEQUENCE TIMER "Q" AND LIGHTS A BLUE LIGHT.

CONTACT "Q(1)" CLOSURES, ENERGIZING RELAY "RI". "RI(1)" CLOSURES, ENERGIZING RELAY "M" TO START THE PUMP.

AFTER THERE IS MAIN LINE FLOW, (APPROXIMATELY 12 MINUTES AFTER PUMP START, ADJUSTED AS REQUIRED IN FIELD), FLOW SWITCH "FC" CLOSURES AND ENERGIZES RELAY "R". CONTACT "Q(2)" CLOSURES AND CHECKS FOR MAIN LINE FLOW. IF THERE IS NO WATER FLOW, RELAY "RB" IS ENERGIZED THROUGH "Q(2)" AND "R(1)". "RB(2)" CLOSURES AND STARTS THE PUMP SHUTDOWN SEQUENCE VIA RELAY "RO".

ON SHUTDOWN, MANUAL CONTROL DE-ENERGIZES SEQUENCE TIMER "Q". "Q(1)" OPENS AND DE-ENERGIZES RELAY "RI". CONTACT "RI(1)" OPENS AND DE-ENERGIZES RELAY "M" AND STOPS THE PUMP.

- SEQUENCE OF OPERATION:**
- START UP**
- TANK LEVEL AT PREDETERMINED CALL LEVEL (AUTO).
 - TANK LEVEL SIGNAL SENT TO GENERATOR CONTROLS.
 - GENERATOR STARTS.
 - GENERATOR SENDS A "PUMP START" SIGNAL (AFTER A PREDETERMINED TIME) TO PUMP STARTER CONTROLS.
 - PUMP STARTS.
- SHUT DOWN**
- TANK LEVEL AT PREDETERMINED STOP LEVEL (AUTO).
 - TANK LEVEL SIGNAL SENT TO GENERATOR CONTROLS.
 - GENERATOR CONTROLS OPENS "PUMP START" SIGNAL TO PUMP STARTER CONTROLS.
 - PUMP CONTROLS PERFORMS SHUTDOWN SEQUENCE.
 - GENERATOR CONTROLS PERFORMS SHUTDOWN SEQUENCE.

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Contract:
EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2200
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
IRRIGATION WELL PUMP CONTROL DIAGRAM

Rev	Date	Description	Eng	App

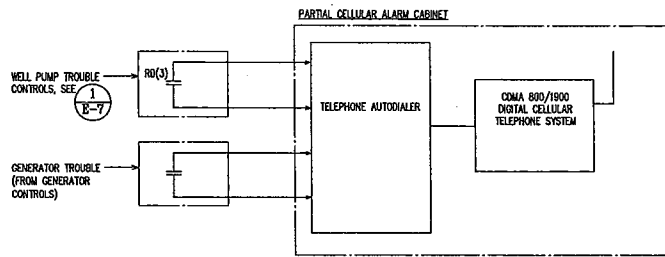
Designed by: **KKO**
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 Date: **MAY 2014**
 Project No. **14-08**

Approved by: _____

SHEET **E-7**
 SHEET _____ OF _____

1 IRRIGATION WELL PUMP CONTROL SCHEMATIC DIAGRAM

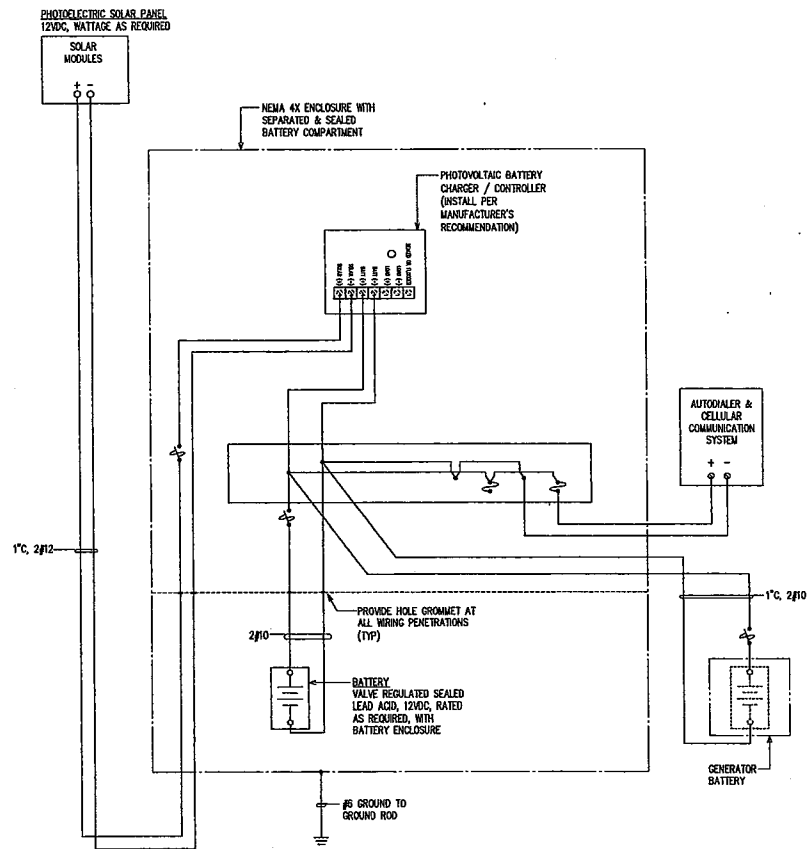
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NOTES:

1. ALL CONTROL WIRES SHALL BE NO. 12 AWG, 600V, THW OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.

1
E-8 CELLULAR ALARM SCHEMATIC DIAGRAM



2
E-8 PHOTOVOLTAIC POWER SYSTEM SCHEMATIC DIAGRAM

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RONALD N. HO
 LICENSED PROFESSIONAL ENGINEER
 No. 14286-E
 HAWAII, U.S.A.

Signature: _____
 Date: 2014.05.14
 I hereby certify that I am a duly licensed Professional Engineer in the State of Hawaii and that I am the author of the design shown on this drawing. I am not providing any design services in any other jurisdiction. I am not providing any design services in any other jurisdiction. I am not providing any design services in any other jurisdiction.

Client:
EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 2200
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS IRRIGATION SYSTEM

Sheet Title:
MISCELLANEOUS SCHEMATIC DIAGRAMS

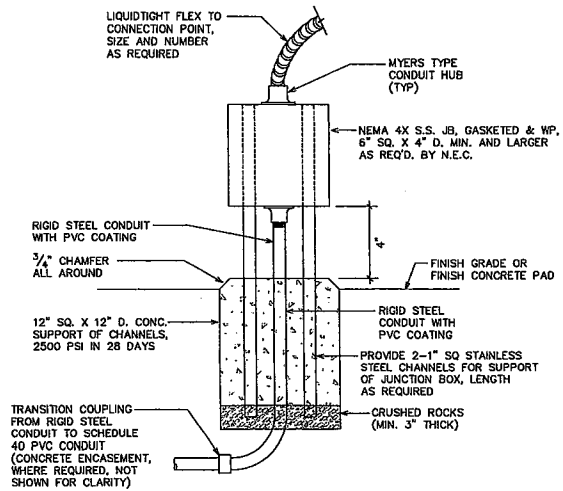
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 Date: **MAY 2014**
 Project No. **14-08**

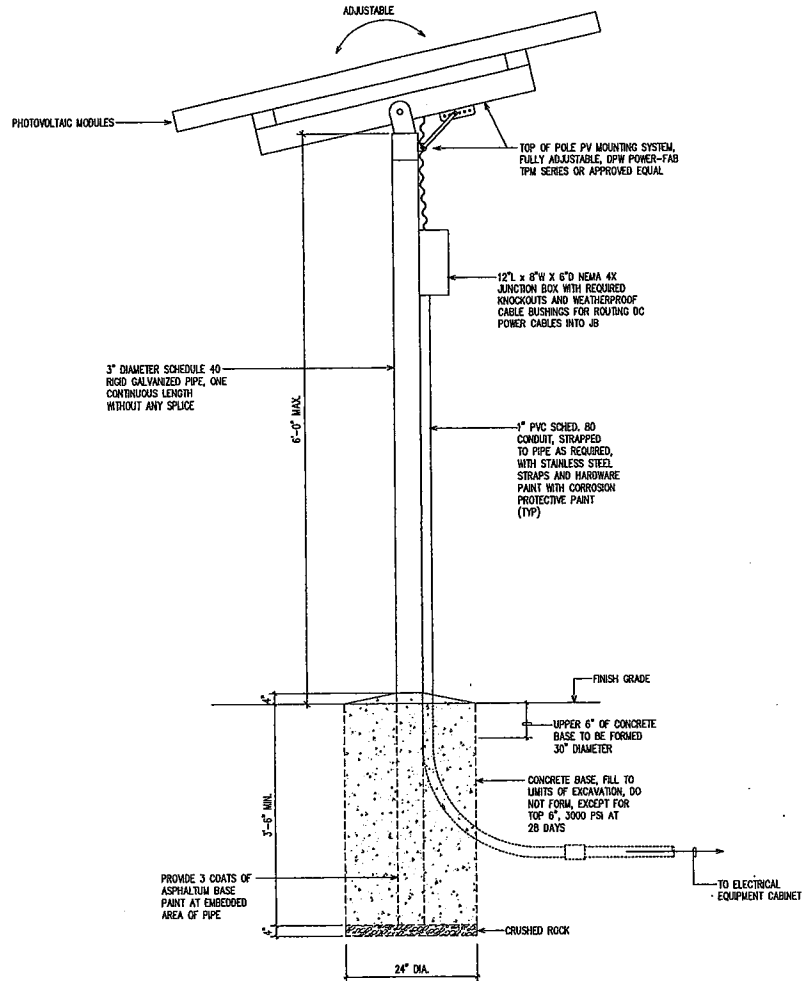
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 Date: _____
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SHEET E-8
 SHEET ___ OF ___

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1
E-9 CHANNEL SUPPORTED JUNCTION BOX DETAIL
NOT TO SCALE



2
E-9 SOLAR PANELS-TOP OF POLE MOUNTING DETAIL

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RONALD N. HO
 LICENSED PROFESSIONAL ENGINEER
 No. 14286-E
 HAWAII, U.S.A.

Signature: *R. N. Ho* SE14215H
 Date: *5/14/2014*

EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 2200
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS IRRIGATION SYSTEM**

Sheet Title: **MISCELLANEOUS ELECTRICAL DETAILS**

Rev.	Date	Description	Eng.	App.

Designed by: **KKO**
 Drawn by: **KKO**
 Date: **MAY 2014**
 Project No.: **14-08**

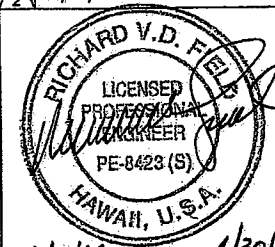
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SHEET **E-9**
 SHEET ____ OF ____

NOTES:

1. THIS DRAWING IS NOT TO SCALE.
2. REFER TO TANK SCHEMATIC DOCUMENT -013 FOR NUMBER OF RINGS IN TANK AND RESPECTIVE SHEET THICKNESSES.
3. THIS TANK IS NOT DESIGNED FOR ANY EXTERNAL HYDROSTATIC LOADING.

TANK DESIGN FREEBOARD	12 in 305 mm	REL	DESCRIPTION
MAX. ROOF LOAD PER ATTACHMENT POINT (FIXED TYPE CONNECTION)	1900 lb 862 kg	1	REL PER MIP 1406537 02/28/14
SEISMIC SLOSHING WAVE HEIGHT	27.1 in 689.4 mm	2	REVISED PER CUSTOMER REQUEST 05/27/14.
MINIMUM OPERATING FREEBOARD PER CODE	27.1 in 689.4 mm		



6/17/14 EXA. 4/30/16

PANEL INTERIOR COATING:
VITRUM FUSED GLASS WITH
EDGE COAT PROCESS
PANEL EXTERIOR COATING:
FUSED GLASS
SHELL COLOR: FOREST GREEN

**CST
STORAGE**

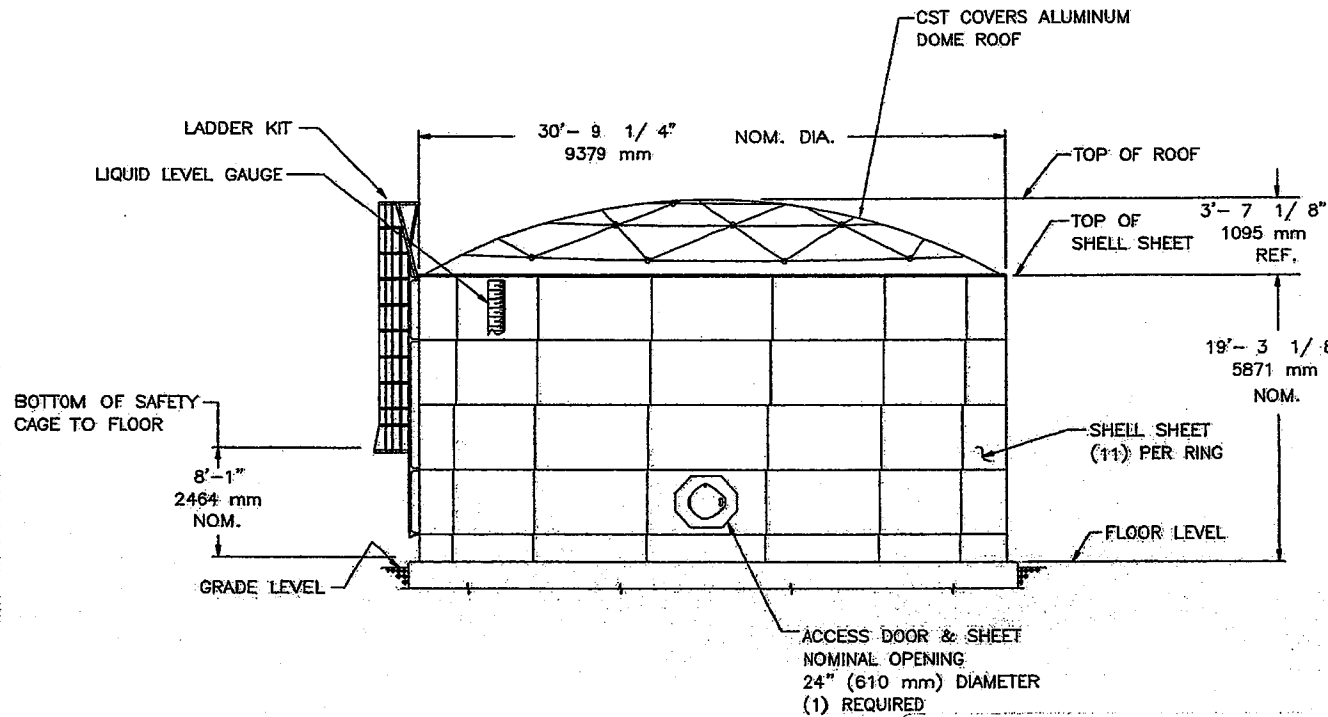
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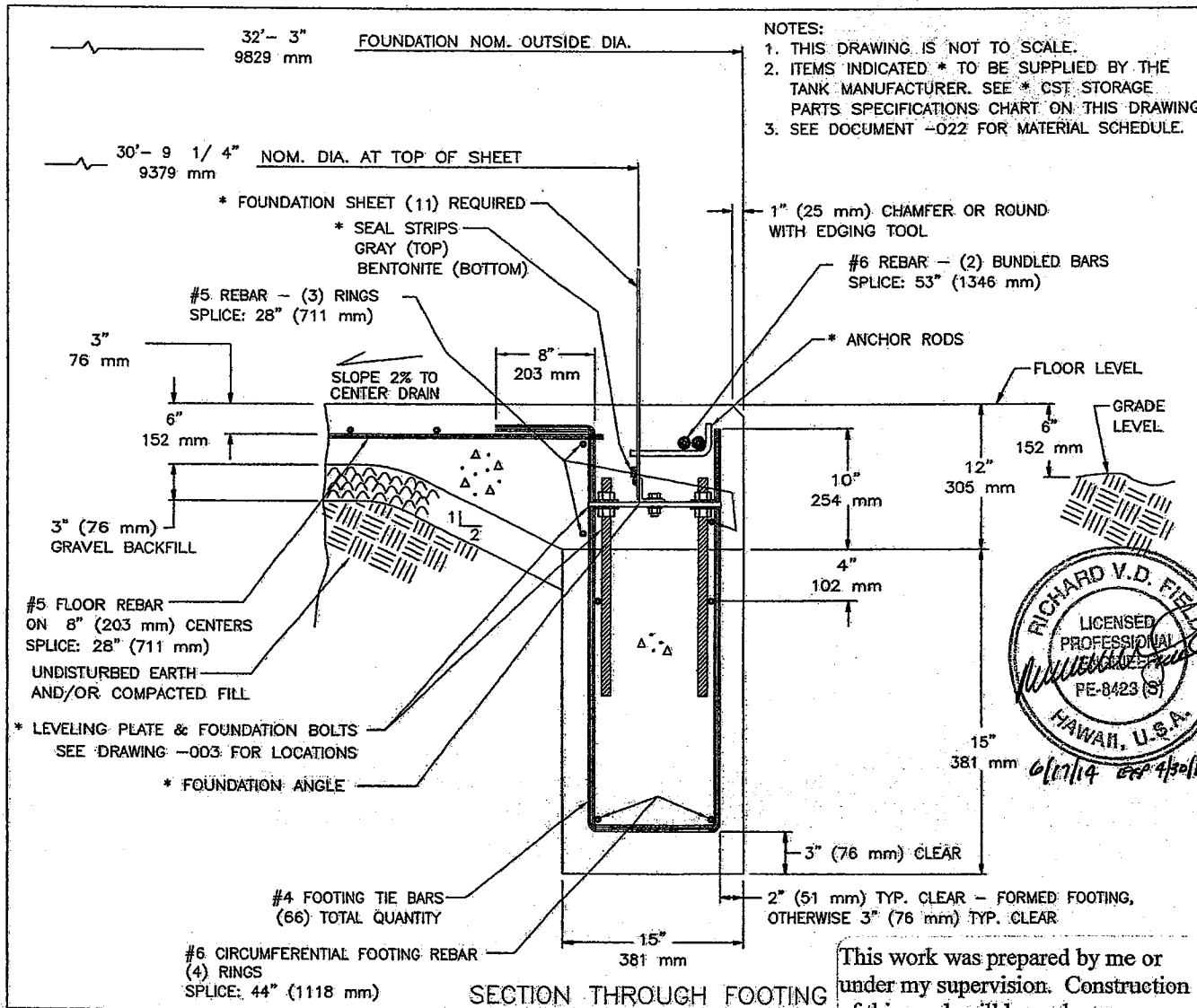
3119 SSWT
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IRRIGATION SYSTEMS
WAILEA, HAWAII

DRWG NO. 1406537-001



ELEVATION

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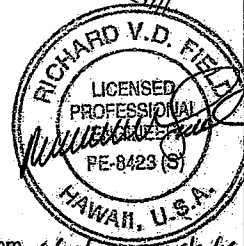


- NOTES:
- THIS DRAWING IS NOT TO SCALE.
 - ITEMS INDICATED * TO BE SUPPLIED BY THE TANK MANUFACTURER. SEE * CST STORAGE PARTS SPECIFICATIONS CHART ON THIS DRAWING.
 - SEE DOCUMENT -022 FOR MATERIAL SCHEDULE.

REL	DESCRIPTION
1	REL PER MIP 1406537 02/28/14
2	REVISED PER CUSTOMER REQUEST 05/27/14

* CST STORAGE PARTS SPECIFICATIONS

ANCHOR RODS	IN. 1/2 DIA
	mm 13 DIA
	(2) PER SHEET
FOUNDATION ANGLES	IN. 2 x 2 x 1/4
	mm 51 x 51 x 6
	(1) PER SHEET
LEVELING PLATES	IN. 3/8 x 3-1/2 x 11
	mm 10 x 89 x 279
	(2) PER SHEET
FOUNDATION BOLTS	IN. 3/4 DIA x 18 LG.
	mm 19 DIA. x 457 LG.
	(4) PER SHEET



CST STORAGE

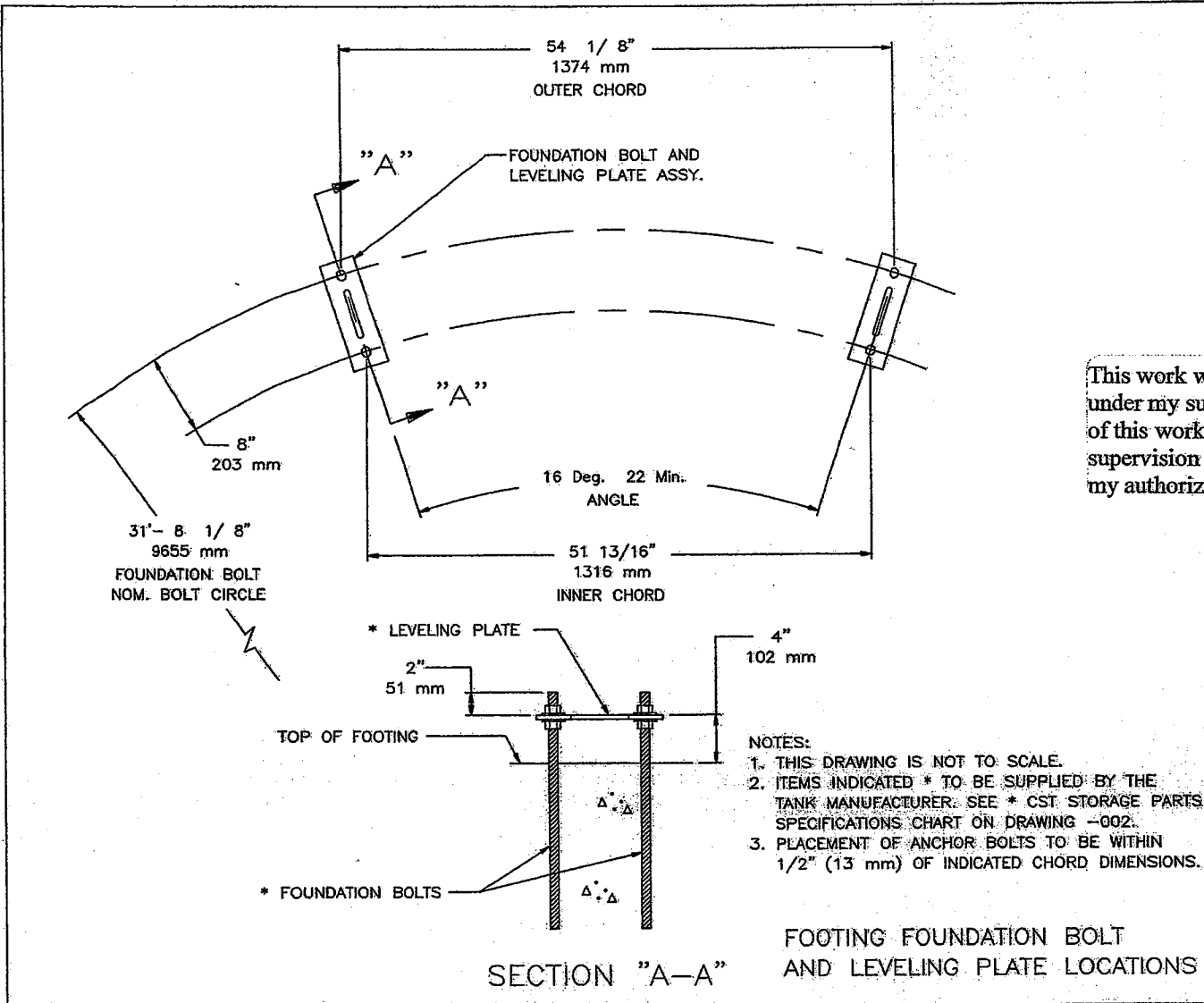
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 DRAWN BY: RRL
 DATE: 02/28/14

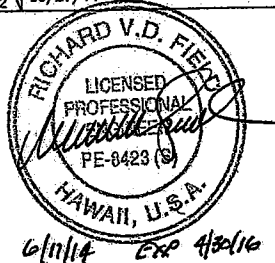
31" SHORT STARTER FND.
 SZ IBC 2009
 EVANS HOLDINGS
 IRRIGATION SYSTEMS
 WAILEA, HAWAII

DRWG NO. 1406537-002

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REL	DESCRIPTION
1	REL PER MIP. 1406537 02/28/14
2	REVISED PER CUSTOMER REQUEST 05/27/14



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 DRAWN BY: RRL
 DATE: 02/28/14

31' SHORT STARTER FND.
 SZ IBC 2009
 EVANS HOLDINGS
 IRRIGATION SYSTEMS
 WAILEA, HAWAII

DRWG NO. 1406537-003

- NOTES:
1. THIS DRAWING IS NOT TO SCALE.
 2. ITEMS INDICATED * TO BE SUPPLIED BY THE TANK MANUFACTURER. SEE * CST STORAGE PARTS SPECIFICATIONS CHART ON DRAWING -002.
 3. PLACEMENT OF ANCHOR BOLTS TO BE WITHIN 1/2" (13 mm) OF INDICATED CHORD DIMENSIONS.

FOOTING FOUNDATION BOLT AND LEVELING PLATE LOCATIONS

**CST
STORAGE**

315 Harvestore Drive
DeKalb, IL 60115-9607 U.S.A.
815-756-1551 Phone, 815-756-7921 Fax



0534

ISO9001
CERTIFIED

Project Name: Evans Holdings Irrigation Systems
Project Location: Wales, Hawaii

Dealer: M & M Tanks, Inc.
1036 Mikole Street
Honolulu, Hawaii, 96819
Phone: (808) 841-6685 Fax: (808) 843-1797

Project Number: 1406537

Submittal Release No.: 2

Aquastore Glass Fused to Steel Bolted Storage Tank

31' diameter (nom.) x 19' high (nom.) Model 3119
Short Starter Foundation

Shell interior coating:

Vitrium fused glass with Edgecoat process

Shell exterior coating:

Fused glass

Shell Exterior Color: Forest Green

Roof Exterior Color: N/A

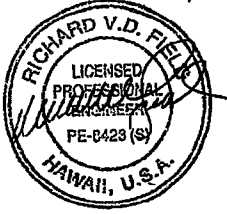
Date: May 27, 2014

EQuote # 1406537 rev. 8

Construction Method: Jack



This document consists of 23 pages.

Submitted by:	Date:	Date: <u>6/17/14</u> Expires: <u>4/30/16</u>
Date:		

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Tank Project Drawing Index

Document Number	Document Title
1406537-001	Tank Drawing
1406537-010	Tank Calculations & Design Formulas
1406537-011	Tank General Notes
1406537-012	Tank Fastener Schedule
1406537-013	Tank Schematic
1406537-014	Tank Parts List

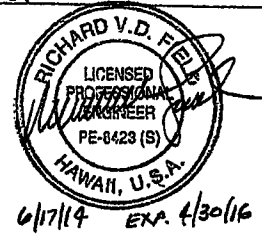
Foundation Project Index

1406537-002	Short Starter Foundation Drawing
1406537-003	Anchor Bolt & Leveling Plate Placement
1406537-020	Foundation Calculations
1406537-021	Foundation General Notes
1406537-022	Foundation Materials Schedule
1406537-023	Foundation Parts List
1406537-024	Foundation Fastener Schedule
1406537-025	Manufacturers Warranty

NOTES:

1. THIS DRAWING IS NOT TO SCALE.
2. REFER TO TANK SCHEMATIC DOCUMENT -013 FOR NUMBER OF RINGS IN TANK AND RESPECTIVE SHEET THICKNESSES.
3. THIS TANK IS NOT DESIGNED FOR ANY EXTERNAL HYDROSTATIC LOADING.

TANK DESIGN FREEBOARD	12 in 305 mm	REL.	DESCRIPTION
MAX. ROOF LOAD PER ATTACHMENT POINT (FIXED TYPE CONNECTION)	1900 lb 862 kg	1	REL. PER MP 1406537 02/28/14
SEISMIC SLOSHING WAVE HEIGHT	27.1 in 689.4 mm	2	REVISED PER CUSTOMER REQUEST 05/27/14
MINIMUM OPERATING FREEBOARD PER CODE	27.1 in 689.4 mm		



PANEL INTERIOR COATING:
VITRUM FUSED GLASS WITH
EDGECOAT PROCESS
PANEL EXTERIOR COATING:
FUSED GLASS
SHELL COLOR: FOREST GREEN



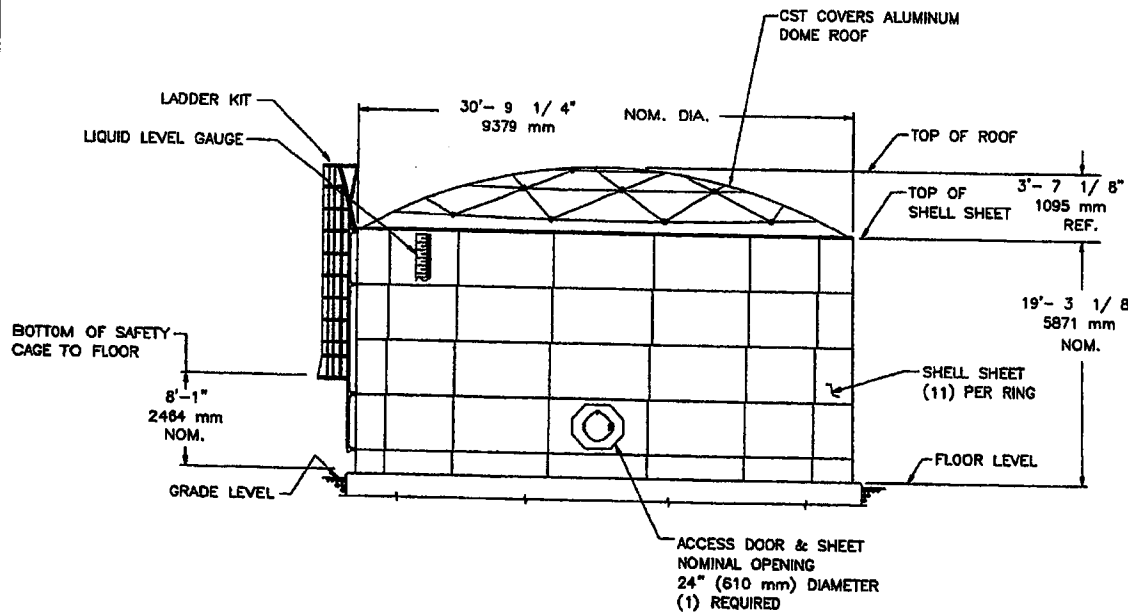
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FILE: 1406537A

DRAWN BY RRL
DATE: 02/28/14

3119 SSWT
SZ IBC 2009
EVANS HOLDINGS
IRRIGATION SYSTEMS
WAILEA, HAWAII

DRWG
NO. 1406537-001



ELEVATION

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REL.: 1

DATE: February 17, 2014

BY: TM

SUMMARY OF TANK DESIGN INPUT DATA

STRUCTURE MODEL	31 19	
FOUNDATION TYPE	Short Starter	
SPECIFIC GRAVITY	1.020	
H/V PRESSURE RATIO	1.000	
FREEBOARD	12.000 in	304.800 mm
ROOF TYPE	CST Covers Aluminum Dome	
ROOF WEIGHT	2.000 psf	9.784 kg/m ²
SC ROOF HEIGHT	0.000 in	0.000 mm
DC ROOF PROJ AREA	82.200 sq ft	7.637 sq m
DC ROOF CENTROID	17.500 in	444.500 mm
TOTAL ROOF HEIGHT	43.100 in	1094.740 mm
GROUND SNOW LOAD	25.000 psf	
PF	17.5 psf	
Ce	1.0	
Is	1.0	
Ct	1.00	
ROOF SNOW LOAD PER IBC 2009/ASCE 7-05	25.000 psf	1.198 kPa
WIND DESIGN LOAD PER	IBC 2009 / ASCE 7-05*(12.85 psf)*	
EXPOSURE DIRECTION	ALL	
EXPOSURE FACTOR	C	
Iw	1.15	
BASIC WIND SPEED (3-SECOND GUST)	105.000 mph	47.250 m/s
WIND STIFFENER ANALYSIS	ASCE 7-05*(12.85 psf)*	
SEISMIC DESIGN	IBC 2009	
Ss	0.976	
S1	0.251	
TL	10.0	
SEISMIC IMPORTANCE FACTOR	1.500	
SDs	0.722	
SD1	0.318	
SITE CLASS	D	
FLAT BOTTOM GROUND SUPPORTED ANCHORED TANK.		
DESIGN BASE SHEAR	V =0.161 W	
ANALYSIS PROCEDURE	AWWA D103-09	
ALLOWABLES USED	AWWA D103-09	

SUMMARY OF INTERNALLY ASSIGNED PARAMETERS

BOLT DIAMETER	0.500 in	12.700 mm
HOLE DIAMETER	0.562 in	14.288 mm
TOP COURSE EDGE DIST	1.000 in	25.400 mm
CONCRETE IN FNDN	0.000 in	0.000 mm
DIST T/FTG TO B/FLR	0.000 in	0.000 mm
TOTAL FNDN THICKNESS	0.000 in	0.000 mm
SHEET DENSITY	590.000 pcf	9451 kg/m ³
STEEL ELASTIC MODULUS	30000000 psi	206843 MPa
CONCRETE DENSITY	0 pcf	0 kg/m ³
NET SHEET WIDTH	105.462 in	2679.000 mm
NET STANDARD SHEET HT.	54.990 in	1397.000 mm
STARTER PANEL HEIGHT	10.170 in	258.000 mm
INVENTORY USED	ws(1111)	

31 19 AQUASTORE STRUCTURE DESIGN SUMMARY (11 FULL LENGTH SHEETS PER RING/COURSE)

COURSE NUMBER	THICK In.	THICK mm	GEOM CODE	MAT CODE	LIMITING FACTOR(S)
1	0.094	2.388	1101	110	
2	0.094	2.388	1101	110	
3	0.132	3.353	1201	2	[16, 15]
4	0.132	3.353	1201	2	
FND	0.132	3.353	5320	2	

WIND STIFFENERS REQUIRED:
NONE

STRUCTURE DIAMETER	=	30.77 ft	9379.35 mm
HEIGHT OF STRUCTURE TO EAVE	=	19.26 ft	5870.70 mm
SLOSHING WAVE HEIGHT	=	2.26 ft	689.43 mm
MINIMUM FREEBOARD	=	2.26 ft	689.43 mm
VOLUME OF STRUCTURE TO EAVE	=	14325 cu ft	406 m3
VOLUME OF CONTENTS	=	13581 cu ft	385 m3
VOLUME OF CONTENTS	=	101591 gal	384566 L
VOLUME OF CONCRETE FND.	=	0 cu ft	0 m3
WEIGHT OF EMPTY CYLINDER ABOVE FLOOR	=	10377 lb	4707 kg
WEIGHT OF ROOF	=	1487 lb	675 kg
SNOW (LIVE) LOAD	=	18593 lb	8434 kg
WEIGHT OF CONTENTS	=	864391 lb	392081 kg
FOUNDATION WEIGHT	=	0 lb	0 kg
TOTAL WEIGHT ON FOOTING	=	894848 lb	405896 kg
WIND SHEAR AT TOP OF FOOTING	=	8675 lb	38588 N
WIND MOMENT AT TOP OF FOOTING	=	95259 ft-lb	129 kN-m
SEISMIC SHEAR AT TOP OF FOOTING	=	144313 lb	641935 N
SEISMIC MOMENT AT TOP OF FOOTING	=	1048069 ft-lb	1421 kN-m

HOOP STRESS ANALYSIS

--- STRESS-PSI ---

Course Number	Depth (ft)	Press (PSI)	Net Tensile	Allowable Tensile	Hole Bearing	Allowable Bearing	Bolt Shear	Allowable Shear
1	3.7	1.6	4336	14566	13462	40500	3222	12600
2	8.2	3.6	9755	14566	30291	40500	7251	12600
3	12.8	5.7	10807	25400	16777	67500	5639	12600
4	17.4	7.7	14666	25400	22789	67500	7654	12600
FND	18.3	8.1	13837	25400	20026	67500	6732	12600

AXIAL STRESS ANALYSIS

--- STRESS-PSI ---

Course Number	Axial Compressive	Allowable Compressive	Hole Bearing	Allowable Bearing	Bolt Shear	Allowable Shear
1	203	1001	2038	40500	488	12600
2	222	1001	2227	40500	533	12600
3	177	1396	1774	67500	596	12600
4	195	1396	1963	67500	660	12600
FND	199	1396	1998	67500	671	12600

WIND STRESS ANALYSIS

--- STRESS-PSI ---

Course Number	Axial Comp	Wind Bending	Total Comp	Allowable Comp	Hole Bearing	Allowable Bearing	Bolt Shear	Allowable Shear
1	32	13	45	1335	455	54000	109	16800
2	51	34	85	1335	852	54000	204	16800
3	55	46	101	1861	1015	90000	341	16800
4	74	75	149	1861	1494	90000	502	16800
FND	77	81	158	1861	1590	90000	534	16800

SEISMIC STRESS ANALYSIS

--- STRESS-PSI ---

Course Number	Axial Comp	Seismic Bending	Total Comp	Allowable Comp	Hole Bearing	Allowable Bearing	Bolt Shear	Allowable Shear
1	32	83	115	1335	1155	54000	277	16800
2	51	298	349	1335	3508	54000	840	16800
3	55	488	543	1861	5452	90000	1833	16800
4	74	884	958	1861	9618	90000	3233	16800
FND	77	970	1048	1861	10522	90000	3537	16800

SEISMIC STRESS ANALYSIS CONTINUED

Course Number	--- STRESS-PSI ---		
	Hydro-Dynamic Hoop	Total Hoop	Allowable Tensile
1	1274	5610	19421
2	2366	12121	19421
3	2221	13028	33867
4	2511	17177	33867
FND	2539	16376	33867

TANK DESIGN SPECIFICATIONS

This tank is designed in accordance with **AWWA Standard D103-09** allowable stresses.
See page 1 of Document 1406537-010 for Summary of Tank Design Input Data.

COATINGS SPECIFICATIONS

Coatings used on components of this tank are in compliance with the appropriate sections of AWWA Standard D103.

STAINLESS STEEL BOLTS

Material type - UNS S31600 stainless steel made with the following minimum tensile strengths

A. 1-1/4 inch long and longer 150 KSI 1034 MPa

B. 1 inch long 100 KSI 689 MPa.

Unless noted, all tank structure connections are bearing type connections, snug-tight condition, per ANSI/AISC 360-05. Tank manufacturer does not require special inspection per IBC, Section 1704.

APPURTENANCE AND PIPING ORIENTATION

Orientation of all appurtenances and piping connections shall be established in the field.

THROUGH-THE-SHEET PENETRATIONS

All openings through the tank side wall greater than 2 inches (51mm) in diameter shall be reinforced in accordance with AWWA D103, Section 5.10. All openings through sheets having less than 24 inches (610 mm) between horizontal bolt lines, or having less than 24 inches (610 mm) of available sheet space from the floor surface up to the first horizontal bolt line shall not exceed a diameter of 2 inches (51 mm). These openings of 2 inches (51 mm) and less shall be reinforced in accordance with AWWA D103, Section 5.10.

LADDER SPECIFICATIONS

The ladder system is manufactured in compliance with AWWA Standard D103 Section 7.4 and meets minimum OSHA requirements. In addition, the tank ladder side rails are fabricated from 6061-T6 aluminum while the ladder rungs are fabricated from 6061-T4 aluminum.

Structure bolt quantities at (H)orizontal and (V)ertical seams

BOLT LENGTHS:	Thru the sheet fasteners							Truss Fasteners			
	1"	1 1/4"	1 1/2"	1 3/4"	2"	2 1/4"	2 1/2"	1 1/4"	2 1/4"	3"	3 1/2"
	25.40	31.75	38.10	44.45	50.80	57.15	63.50	31.75	57.17	76.20	88.90
								C.S.	C.S.	C.S.	C.S.
SEAM Wide H 1	0	0	185	134	0	0	0	0	0	0	0
SEAM V 1	0	264	0	0	0	0	0	0	0	0	0
SEAM Wide H 2	0	242	0	0	0	0	0	0	0	0	0
SEAM V 2	0	275	0	0	0	0	0	0	0	0	0
SEAM Wide H 3	0	242	0	0	0	0	0	0	0	0	0
SEAM V 3	0	561	0	0	0	0	0	0	0	0	0
SEAM Wide H 4	0	242	0	0	0	0	0	0	0	0	0
SEAM V 4	0	581	0	0	0	0	0	0	0	0	0
SEAM Fnd. H 5	0	242	0	0	0	0	0	0	0	0	0
ACCESS DOOR	0	0	0	30	0	0	0	0	0	0	0
REINF. PLT.	0	0	90	0	0	0	0	0	0	0	0
Total:	0	2629	275	164	0	0	0	0	0	0	0

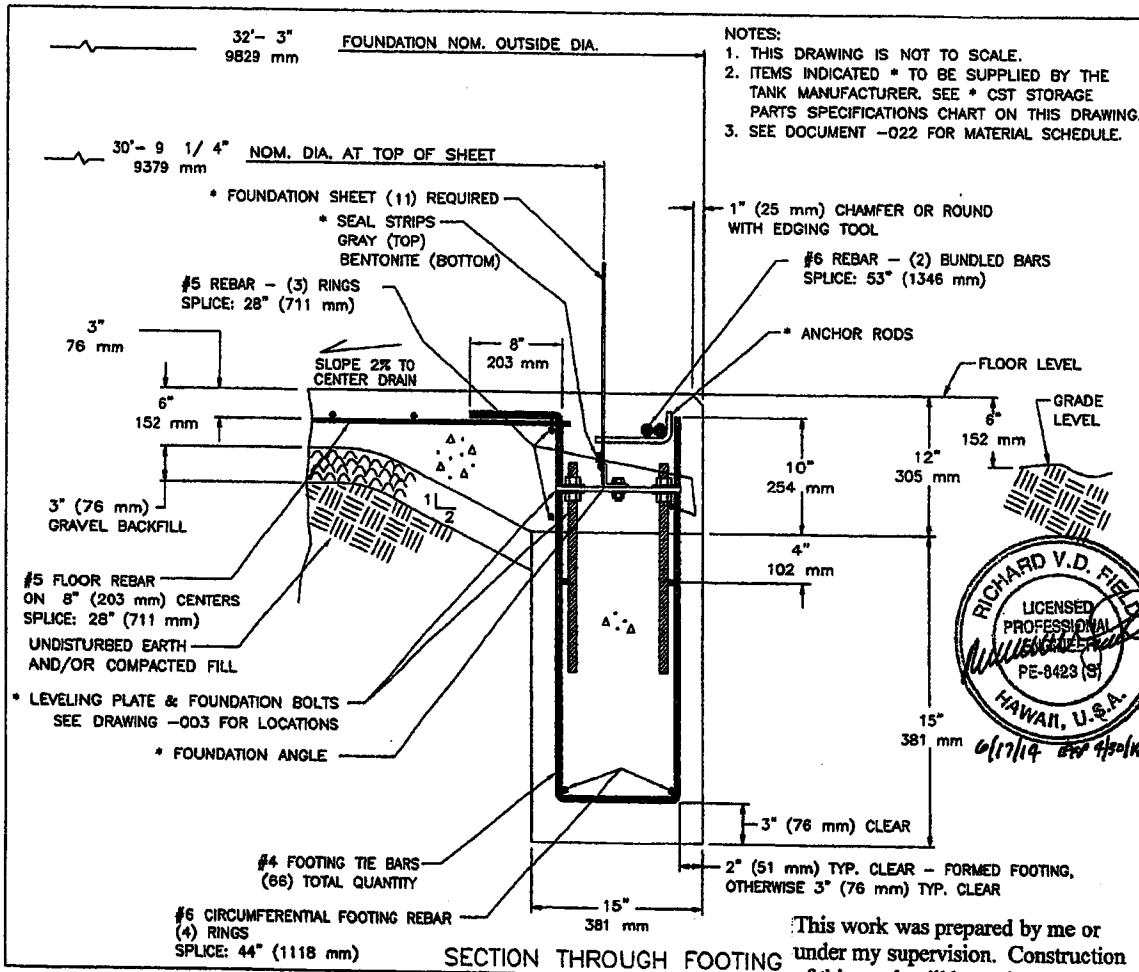
Note: All brackets located at top of specified ring.

Ring are identified from top of tank to foundation

Ring #	Sheet Thick.	Bracket Type	Bracket Quantity	Vertical Bolt Line	Shell Sheet Part No.
Use tapered spacer at top horizontal seam					
RING # : 1	0.094" (2.4mm)	BRKT	2	1V	260576K0100
RING # : 2	0.094" (2.4mm)	BRKT	2	1V	256047K0100
RING # : 3	0.132" (3.4mm)	NONE	0	2V	256050-1200
RING # : 4	0.132" (3.4mm)	BRKT	2	2V	256050-1200
FND. :	0.132" (3.4mm)	BRKT	2	3V	See frd. parts list

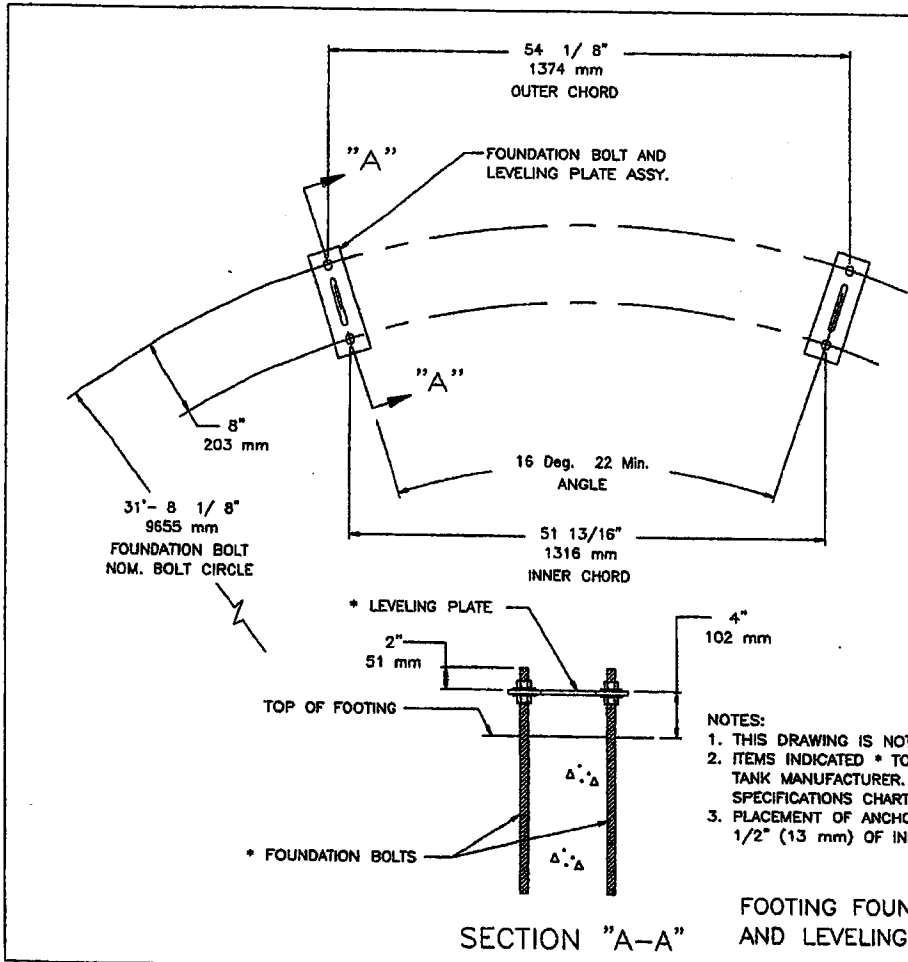
Item	Quantity	Part No.	Description
-	1	1406537-001	TANK ASSEMBLY
1	1	1406537-002	FOUNDATION ASSEMBLY
2			
3			
4			
5			
6			
7			
8			
9			
10			
11	1	277492-000	STEPOFF PLATFORM KIT
12			
13			
14	9	265777-203	SEALER 98, CARTONS (BLACK)
15			
16	1	264082-000	SHORT LADDER ASSEMBLY
17	1	258447-301	LADDER W/CAGE KIT, 304SS
18			
19			
20			
21	1	277650-000	GASKET, 24"
22	1	266214-1300	REINFORCING PLATE, .197"
23			
24			
25			
26			
27	11	265824-031	STIFFENER ANGLE, 316SS
28	11	260577-319	SPLICE ANGLE, 316SS
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45	2629	084323-051	HEX HEAD CAP SCREW, 1-1/4", 316SS
46	275	084323-052	HEX HEAD CAP SCREW, 1-1/2", 316SS
47	164	084323-053	HEX HEAD CAP SCREW, 1-3/4", 316SS
48			
49			
50			
51			
52			
53			
54			
55			
56	6136	084434-013	WASHER, 1/2", 316SS
57	3068	084324-010	HEX. NUT, 1/2" 316SS
58			

Item	Quantity	Part No.	Description
59	3068	081816-008	PROTECTIVE COVER
60	4	264913-000	BUSS BAR
61			
62			
63			
64			
65			
66	2	262778-000	DANGER DECAL
67	1	257249-000	INFORMATION SIGN
68	1	266182-000	NAMEPLATE
69	1	271220-000	OPERATORS MANUAL
70	3	262168-000	IMPORTANT DECAL
71	3	260581-000	TANK MOD. WARNING DECAL
72			
73	4	268364-304	LADDER BRACKET ASSY. (LONG)
74			
75			
76			
77			
78			
79			
80			
81	1	268216-1202	24" ROUND ACCESS DOOR SHEET
82	11	260576K0100	TOP RING SHEET
83	1	261855-031	24" ACCESS DOOR, LIGHT DUTY, 316 STAINLESS
84			
85			
86	11	256047K0100	SHELL SHEET 0.094" HRS
87			
88			
89	21	256050-1200	SHELL SHEET 0.132" HSLA
90			
91			
92			
93			
94			
95	1	282973-104	LIQUID LEVEL INDICATOR, FULL TRAVEL
96			
97			
98			
99			
100			
101			
102			
103			
104			
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106			
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REL.	DESCRIPTION
1	REL. PER MFP 1406537 02/28/14
2	REVISED PER CUSTOMER REQUEST 05/27/14
* CST STORAGE PARTS SPECIFICATIONS	
ANCHOR RODS	IN. 1/2 DIA mm 13 DIA (2) PER SHEET
FOUNDATION ANGLES	IN. 2 x 2 x 1/4 mm 51 x 51 x 6 (1) PER SHEET
LEVELING PLATES	IN. 3/8 x 3-1/2 x 11 mm 10 x 89 x 279 (2) PER SHEET
FOUNDATION BOLTS	IN. 3/4 DIA. x 18 LG. mm 19 DIA. x 457 LG. (4) PER SHEET
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DRAWN BY:	RRL
DATE:	02/28/14
31' SHORT STARTER FND. SZ IBC 2009 EVANS HOLDINGS IRRIGATION SYSTEMS WAILEA, HAWAII	
DRWG NO.	1406537-002

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2	REVISED PER CUSTOMER REQUEST 03/27/14

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DRAWN BY	RRL
DATE	02/28/14
31' SHORT STARTER FND. SZ IBC 2009 EVANS HOLDINGS IRRIGATION SYSTEMS WAILEA, HAWAII	
DRWG NO.	1406537-003

SECTION "A-A"
FOOTING FOUNDATION BOLT AND LEVELING PLATE LOCATIONS

TANK DESIGNATION: 1406537 Rel 1
INPUT:

Engineer: TSM 2/28/2014

Tank Diameter (ft): 30.77
Contents Height (ft): 18.26
Slab Thickness (in): 6
Slab O.D. (ft): 32.25
Foundation Depth (in): 12
Footer Depth (in): 15
Footer Width (in): 15
Allowable soil pressure (psf): 3,000
Wind Shear (lbs): 8,675
Wind Moment (ft-lb): 95,259
Seismic Shear (lbs): 144,313
Seismic Moment (ft-lb): 1,048,069
Sloshing Wave Height (ft): 2.26
Weight of Tank (lbs): 10,377
Weight of Roof (lbs): 1,487
Snow Load (psf): 25

Design per: ACI 350-06
Tank Type: Embedded
Embedded sheet thickness (in): 0.132
Embedment depth (in): 6.75

Self or Center Supported Roof : Self
Specific Gravity of Contents: 1.02
Subgrade Modulus - ks (pci): 83
Coeff. Active pressure - K_a : 0.3
Concrete strength - f'_c (psi): 5,000
Yield strength of steel - f_y (ksi): 60

TANK DESIGNATION:
RESULTS:

1406537 Rel 1

Engineer: TSM 2/28/2014

Soil Pressure:			
dead plus live load:	1272 psf	≤	3000 psf (Allowable)
dead plus live plus wind load:	1339 psf	≤	4000 psf (4/3 * Allowable)
dead plus live plus seismic load:	1930 psf	≤	4000 psf (4/3 * Allowable)
dead minus wind load:	135 psf		No Uplift
dead plus live minus seismic load:	539 psf		No Uplift

Shear stress at inside of footer =	67 psi	≤	120 psi	Shear Strength
------------------------------------	--------	---	---------	----------------

F.S. Overturning - Seismic w/ 45° line:	2.53	≥	1	Required
F.S. Overturning - Seismic (AWWA):	1.25	≥	1	Required
F.S. Overturning - Wind:	12.98	≥	1.5	Required

A₂ - foundation (both ways)
layer at mid-height:

0.42	sq.in./ft	[# 5 @ 8" o.c.]
------	-----------	-----------------

A₂ - curb area:

0.89	sq.in.	[2 - # 6]
------	--------	-----------

A₂ - footer bottom layer:

0.63	sq.in.	[2 - # 6]
------	--------	-----------

A₂ - hoop steel:

0.35	sq.in.	[2 - # 6]
------	--------	-----------

A₂ - vertical tie bars (2 legs):

0.27	sq.in./ft	[# 4 @ 17.5" o.c.]
------	-----------	--------------------

Minimum guidelines and specifications are given below. The owner or the owner's designated agent may amend or modify these guidelines and specifications, but in no case shall the requirements be less than those given below

FOUNDATION DESIGN

See Tank Foundation Design Input Data Sheet for foundation design data.

SITework

1. Clear the site of all vegetation, organic materials, rubbish, debris, and other foreign or objectionable materials above the ground surface. Remove all stumps, large roots, buried logs, and other objectionable materials below the ground surface.
2. Soil beneath the entire tank shall have a minimum bearing capacity of 3000 PSF (143641 Pa) and shall be suitable in all respects to properly support the tank as determined by a qualified professional retained by the owner or the owner's designated agent.
3. Compact the subsoil to site specifications.
4. Orientation of connecting piping shall be established in the field.
5. Place all underground piping. Backfill and compact to site specifications. Inlet/outlet piping may penetrate ring walls provided the hole size is less than or equal to one half the wall height; all details of reinforcement cushioning needs, thrust blocks, and encasement shall be provided by others. Otherwise, all piping must pass beneath the footing unless the footing/foundation system has been designed and fully detailed by others to accommodate both a pipe passing through it and the proper transfer of tank loads to the supporting soil.
6. If conditions exist which require footing and/or floor design details differing from those shown on the drawings herein, such new design and details shall be provided by the owner or the owner's designated agent. CST Storage can not show details on its drawings other than those derived as a result of the design efforts of its own Engineering Department.

CONCRETE WORK

Concrete work shall conform to the requirements of ACI 301-05 and ACI 350-06, published by the American Concrete Institute, Farmington Hills, Michigan, except as modified by the supplemental requirements noted below.

1. Concrete shall attain an ultimate 28 day compressive strength of 5000 PSI (34474 KPa).
2. Reinforcing bars shall conform to ASTM A615, grade 60. Welding of bars is not permitted. Field bending of partially embedded reinforcing bars shall conform to Section 3.3.2.8.
3. Cement shall conform to ASTM C150, Type I or Type II with air entraining admixture per ASTM C260 added at the mixer to achieve 4-6% by volume of entrained air at the point of concrete placement.
4. Maximum aggregate size shall be 1 1/2" (38 mm). Fine and coarse aggregate shall conform to ASTM C33, and the restrictions on reactive materials specified in ASTM C33, paragraphs 7.3 and 11.2, shall apply.
5. Ready mixed concrete shall conform to ASTM C94, Option A and ACI 350-06 chapters 4 and 5. Minimum cementitious materials shall conform to section 4.1.2 of ACI 350-06. Maximum water-cementitious materials ratio, by weight, shall be 0.40 per section 4.2.2 of ACI 350-06. The supplier shall be responsible for determining the proportions used in the concrete mix.
6. Earth cuts may be used as formwork for footings only, provided the footing depth does not exceed 48" (1219 mm).
7. Finished surfaces
 - A. Rough form finish is acceptable for vertical surfaces.
 - B. Floated finish is required for the floor surface.
8. The following sections of ACI 301-05 do not apply:
 - 6 - Architectural Concrete
 - 7 - Lightweight Concrete
 - 8 - Mass Concrete
 - 9 - Prestressed Concrete
 - 10 - Shrinkage-compensating Concrete

These materials are to be furnished by the builder. Quantities are estimated.

CONCRETE AND GRAVEL REQUIREMENTS:

CONCRETE IN FLOOR:-		
Per 6" depth (152.4 mm)	18.2 cu. yds	13.9 m3
CONCRETE IN FOOTING:-		
Per 1" depth (25.4 mm)	0.4 cu. yds	0.3 m3
GRAVEL:-		
Per 3.0" depth (76.2 mm)	6.5 cu. yds	5.0 m3

Item	Quantity	Part No.	Description
-	1	1406537-002	SS FOUNDATION ASSEMBLY
1	11	261712-1200	0.132" FND. SHT. HSLA
2	11	257573-031	FOUNDATION ANGLE
3	11	273882-000	SPLICE ANGLE
4	11	261067-000	TAPERED SPACER
5			
6			
7			
8			
9			
10	44	013713-003	FOUNDATION BOLT, 3/4"
11	88	013542-005	WASHER, STD., 3/4"
12	88	013543-006	HEX. NUT, 3/4"
13	22	257516-000	LEVELING PLATE
14			
15	22	019030-000	ANCHOR ROD, 1/2"
16			
17	12	252488-000	SEAL STRIP
18	4	265777-203	SEALER 98, CARTONS (BLACK)
19			
20	6	266030-000	BENTONITE SEAL STRIP
21			
22	1	253730-002	SEALER PRIMER
23			
24			
25			
26			
27			
28			
29			
30			
31			
32	121	081816-008	PROTECTIVE COVER
33			
34	22	017500-086	CAP SCREW 1/2" X 1 3/4"
35			
36	176	084323-050	HEX HEAD CAP SCREW, 1", 316SS
37	198	084323-051	HEX HEAD CAP SCREW, 1-1/4", 316SS
38	44	084323-052	HEX HEAD CAP SCREW, 1-1/2", 316SS
39			
40			
41	484	084324-010	HEX NUT, 1/2" 316SS
42	1012	084434-013	WASHER, 1/2" 316SS
43			
44			
45			
46			
47			
48			
49			

BOLT LENGTHS:	1"	1 1/4"	1 1/2"	1 3/4"	2"	ANCHOR RODS
	25.40	31.75	38.10	44.45	50.80	
VERTICAL	176	0	0	0	0	22
HORIZONTAL	0	198	44	0	0	

MANUFACTURER'S LIMITED WARRANTY

CST STORAGE

345 Harvestore Drive
DeKalb, Illinois 60115-9607 U.S.A.
815-756-1551 Phone, 815-756-7821 Fax

Five-Year Warranty

CST Storage warrants that an Aquastore® brand liquid storage tank will be free from defects in workmanship and materials, under normal and proper use, maintenance and operation, during the period expiring on the earlier of (i) five years after liquid is first introduced into the tank or (ii) 62 months after shipment from the factory, if the tank is purchased with an Aquastore brand cathodic protection system.

Limitations and Conditions

The CST Storage Limited Warranty is subject to the following limitations and conditions:

- a. The CST Storage Limited Warranty shall remain in effect only as long as the tank is used for the storage of municipal potable water or municipal sewage waste water. The CST Storage Limited Warranties shall become void and terminate should the tank be used for storage of any other liquid.
- b. The CST Storage Limited Warranty does not cover damage caused by shipping, handling or tank erection, or damage caused by operating or maintenance activities. CST Storage makes no warranty about and shall not be responsible for any defects in erection or installation of a tank.
- c. The CST Storage Limited Warranty shall become void and terminate if any alterations are made to the tank without the prior written approval of CST Storage.
- d. The CST Storage Limited Warranty shall become void and terminate if the tank is not used, operated and maintained in accordance with the requirements stated in the CST Storage Operating Manual(s) supplied with the tank, or if the tank is damaged or subject to any abuse, misuse or vandalism.

Limitation of Remedies

In the event of any failure of any Aquastore brand liquid storage tank to perform as warranted in the Limited Warranty, the sole and exclusive obligation of CST Storage shall be, at its sole option, either to repair the tank or repair or replace (FOB factory) any part of the tank which is defective.

IN NO EVENT SHALL CST STORAGE BE LIABLE (WHETHER FOR BREACH OF WARRANTY OR CONTRACT, FOR STRICT LIABILITY OR NEGLIGENCE, OR OTHERWISE) FOR ANY SPECIAL, INCIDENTAL, PUNITIVE OR CONSEQUENTIAL DAMAGES, INCLUDING, BUT NOT LIMITED TO, DAMAGES FOR LOSS OF CONTENTS OR LOSS OF PROFITS, OR FOR THE CONDITION OR QUALITY OF LIQUID STORED IN THE TANK, OR FOR ANY INABILITY OF OWNER TO PROVIDE PRODUCT OR SERVICE TO ANY CUSTOMER OF OWNER.



AQUASTORE®
Tanks

Any action against CST Storage for breach of warranty or contract, or for strict liability, negligence or otherwise relating to a tank, must be commenced within one year after such cause of action accrues.

Any Warranty claim shall be made to CST Storage in writing. Once a claim has been made, CST Storage shall have the right to perform on-site inspections of the tank. If CST Storage chooses to do repair work (which, for purposes of this paragraph, shall include repairing or replacing defective parts) on the tank, CST Storage shall be granted permission to perform such work with its own service personnel or personnel of others, and under nonunion conditions unless CST Storage otherwise agrees.

Any repairs made to a tank before CST Storage is notified of a claim shall be at the Owner's expense. Preparation for inspection or repair of a tank (such as removing the contents and obstructive equipment in the tank) shall be the sole responsibility and expense of Owner. Preparation of the tank for use after repair shall be the sole responsibility and expense of the Owner.

Disclaimers

EXCEPT FOR THE LIMITED WARRANTY SET FORTH ABOVE, THERE ARE NO UNDERSTANDINGS, AGREEMENTS, REPRESENTATIONS OR WARRANTIES, EITHER EXPRESS OR IMPLIED, RESPECTING THE AQUASTORE BRAND LIQUID STORAGE TANK. CST STORAGE EXPRESSLY DISCLAIMS THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

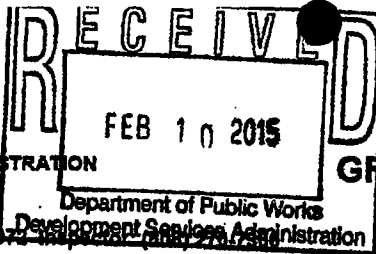
The CST Storage Authorized Dealers are independent contractors and are not agents or employees of CST Storage. No statement by any CST Storage Authorized Dealer or any CST Storage employee shall constitute an understanding, agreement, representation or warranty by CST Storage. CST Storage makes no warranty with respect to goods manufactured by others, even if sold by a CST Storage Authorized Dealer.

This Limited Warranty and related limitations and disclaimers cannot be modified or amended by a CST Storage Authorized Dealer, and can be modified or amended only by written document signed by an authorized CST Storage employee.

Aquastore is the registered trademark of CST Storage
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CST P/N 267233-000 Ref. 3 EGN 11005



COUNTY OF MAUI
DEPARTMENT OF PUBLIC WORKS
DEVELOPMENT SERVICES ADMINISTRATION
250 SOUTH HIGH STREET
WAILUKU, HAWAII 96793
Ph: (808) 270-7242 Fax: (808) 270-7242



GRADING AND GRUBBING PERMIT APPLICATION

PROJECT/PROPERTY INFORMATION

PROJECT NAME: Residence for Evans Holdings, LLC
TAX MAP KEY: (2) 2-1-005: 135, 108, 129, 131, 132 ADDRESS: Makena Road

OWNER / PERMITTEE INFORMATION: **DECLARATION:** The undersigned accepts the permit subject to conditions described in the General Provisions, construction plans, County Code Section 20.08, and any other document associated with the permit.

OWNER NAME: Evans Holdings, Inc.

ADDRESS: Makena Road

PHONE: 249.2224 EMAIL: dave@fwmaui.com

SIGNATURE: [Signature] PRINT NAME: David Ward

If Permittee different from owner.

PERMITTEE NAME:

ADDRESS:

PHONE: EMAIL:

SIGNATURE: [Signature] PRINT NAME:

PERMIT INFORMATION

GRADING PERMIT
Fill: $5220 = 281 + 4939 = 69 + 4,870$ (cubic yards)
Excavate: $6509 = 4186 + 2323 = 333 + 1,990$ (cubic yards)
Graded Area: $6.7 = 3.5 + 3.2 = 2 + 3.0$ (acres sq. ft.)
Maximum height/depth of excavation or fill: 12.8 (feet)

GRUBBING PERMIT
Grubbed Area: (acres sq. ft.)

IDENTIFY CRITICAL AREAS LOCATED ON OR AFFECTING THE PROPERTY

- Yes No Is any portion of the property located in the Special Management Area?
- Yes No Are there Special Flood Hazard Areas or drainageways on the property?
- Yes No Is the property located along the shoreline?
- Yes No Are there wetlands located on the property?
- Yes No Are there known burials, cemeteries, or other historic sites on the property?
- Yes No Will grading affect an existing slope with a height greater than 15 feet and with a grade steeper than 35% (10H:3.5V)?

Estimated Dates: Start: March 2015 Completion: March 2016

PERMIT APPROVAL (For county use only) APPLICATION NUMBER: 620150117

Fee \$ 420.00 Bond \$ 38,960.00 ✓ 1044

SPECIAL CONDITIONS: + 60.00 = 480.00 Evans Holdings, Inc. + 13,112 = 52,072.00

APPROVED BY: [Signature] 6/17/15 PERMIT NUMBER: 620150117

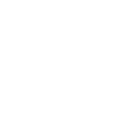
For: Department of Public Works DATE OF ISSUANCE: 6/30/15

GENERAL PROVISIONS are considered a part of this permit and are included herein by reference. Hard copy is available at Development Services Administration or can be viewed/downloaded online at County website: www.co.maui.hi.us

(Rev. 1/12)

620150920

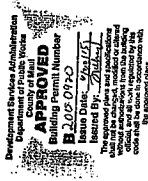
DEE BELL
ARCHITECT
P.O. BOX 2116
KIHEI, MAUI, HI 96753
808 250-3245



RESIDENCE
FOR
EVANS HOLDINGS
LLC
MO'OMOKU, HONU'AU'LA,
MAKAWAO, MAUI, HAWAII
TMK: (2)-2-1-005-136

RESIDENCE FOR EVANS HOLDINGS, LLC

MO'OMOKU, HONU'AU'LA, MAKAWAO, MAUI, HAWAII

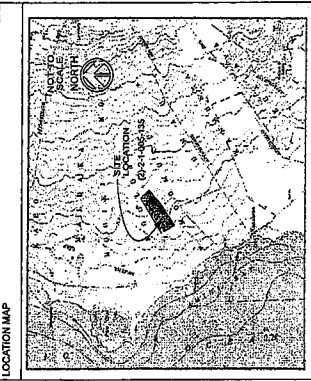


PLANNING DEPARTMENT
APPROVED
This approval is based on the information provided and does not constitute a warranty of the accuracy or completeness of the information. The applicant is responsible for providing accurate and complete information. The Department of Planning reserves the right to require additional information at any time.

By: [Signature] Date: 8/21/14

LIGHT AND VENTILATION REQUIREMENTS

ROOMS	PERmitted			PERmitted	REQUIREMENTS
	AREA	COEFFICIENT	PERCENTAGE		
Living Room	120	1.0	10	120	10%
Dining Room	120	1.0	10	120	10%
Kitchen	120	1.0	10	120	10%
Bathroom	120	1.0	10	120	10%
Bedroom	120	1.0	10	120	10%
Hallway	120	1.0	10	120	10%
Stairway	120	1.0	10	120	10%
Entry	120	1.0	10	120	10%



BUILDING INFORMATION

TRAFFIC SIGN: 300-300-136

ADDRESS: 1100 MAUI DRIVE, SUITE 200
HONOLULU, HAWAII 96813

OWNER: EVANS HOLDINGS, LLC

DESIGNER: DEE BELL ARCHITECT

DATE: 8/21/14

PROJECT NO.: 14-005-136

PROJECT NAME: RESIDENCE FOR EVANS HOLDINGS, LLC

PROJECT LOCATION: MO'OMOKU, HONU'AU'LA, MAKAWAO, MAUI, HAWAII

PROJECT AREA: 11.0 ACRES

PROJECT COORDINATOR: [Name]

PROJECT CONTACT: [Name]

PROJECT PHONE: [Phone Number]

PROJECT FAX: [Phone Number]

PROJECT WEBSITE: [Website]

PROJECT SOCIAL MEDIA: [Social Media Links]

PROJECT CONTACTS:

- DEE BELL ARCHITECT
- PROJECT CONTACT: [Name]
- PROJECT PHONE: [Phone Number]
- PROJECT FAX: [Phone Number]
- PROJECT WEBSITE: [Website]
- PROJECT SOCIAL MEDIA: [Social Media Links]

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MAUI.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MAUI ZONING ORDINANCES AND THE MAUI COUNTY ZONING ORDINANCES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWAIIAN CULTURAL PRACTICES ACT AND THE HAWAIIAN CULTURAL PRACTICES REGULATIONS.
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PROJECT DIRECTORY

OWNER	ADDRESS	PHONE	FAX	EMAIL	WEBSITE
Evans Holdings, LLC	1100 MAUI DRIVE, SUITE 200 HONOLULU, HI 96813	(808) 535-1111	(808) 535-1112	evans@evansholdings.com	www.evansholdings.com
Dee Bell Architect	P.O. BOX 2116 KIHEI, MAUI, HI 96753	(808) 250-3245	(808) 250-3246	dee@deebell.com	www.deebell.com
City of Maui	100 W. MAUI AVENUE MAUI, HI 96761	(808) 241-1111	(808) 241-1112	maui@cityofmaui.gov	www.cityofmaui.gov
County of Maui	200 W. MAUI AVENUE MAUI, HI 96761	(808) 241-1111	(808) 241-1112	maui@countyofmaui.gov	www.countyofmaui.gov

INDEX TO SHEET DESCRIPTION

NO.	SHEET DESCRIPTION	NO.	SHEET DESCRIPTION
A-0	GENERAL NOTES	B-1	FLOOR PLAN
A-1	FOUNDATION	B-2	FOUNDATION PLAN
A-2	FOUNDATION DETAILS	B-3	FOUNDATION DETAILS
A-3	FOUNDATION DETAILS	B-4	FOUNDATION DETAILS
A-4	FOUNDATION DETAILS	B-5	FOUNDATION DETAILS
A-5	FOUNDATION DETAILS	B-6	FOUNDATION DETAILS
A-6	FOUNDATION DETAILS	B-7	FOUNDATION DETAILS
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A-99	FOUNDATION DETAILS	B-100	FOUNDATION DETAILS

TITLE SHEET

RESIDENCE FOR EVANS HOLDINGS LLC

MO'OMOKU, HONU'AU'LA, MAKAWAO, MAUI, HAWAII

TMK: (2)-2-1-005-136

DATE: AUGUST 16, 2014

SCALE: AS SHOWN

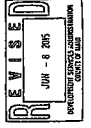
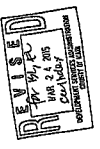
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APPROVED BY: [Signature]

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RESIDENCE FOR EVANS HOLDINGS, LLC

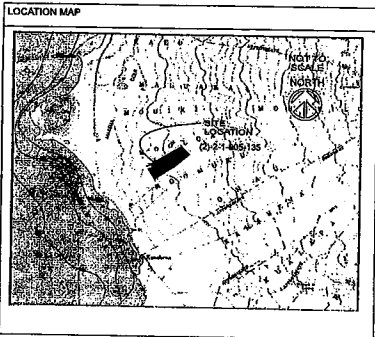
MO'OMOKU, HONUUALA, MAKAWAO, MAUI, HAWAII

DEE BELL
ARCHITECT
P.O. BOX 2115
KIHEI, MAUI, HI 95753
808 250-3245



RESIDENCE
FOR
EVANS HOLDINGS
LLC
MO'OMOKU, HONUUALA,
MAKAWAO, MAUI, HAWAII

TRK: (2)-2-1-005-193



BUILDING INFORMATION

THE MAP KEY: TRK-1-005-193

ADDRESS: MO'OMOKU, HONUUALA, MAKAWAO, MAUI, HAWAII

ZONING: AO

OCCUPANCY TYPE: R-3

TYPE OF CONSTRUCTION: UH

RESTRICTIONS: FRONT = 25'-0" SOUTH SIDE - 10'-0" EASEMENT NORTH SIDE = 10'-0" REAR = 10'-0" EASEMENT LOT AREA = 29,381 SQ. FT.

BUILDING AREA: MAIN HOUSE 6800 SF
GARAGE 400 SF
SWIMMING POOL 200 SF
TOTAL 7400 SF

FLOOR AREAS (ALL AREA UNDER ROOF):
OFFICED AREA (1ST & 2ND FLOOR UNDER ROOF) 1413 - 6422 SQ. FT. 7400 SF
1ST & 2ND ENTRY (BEDROOMS) 151 SQ. FT. 151 SQ. FT. UNDER ROOM 151 SQ. FT.

BASE ROOF HEIGHT = 17'-0" EL. 206.5

FLOOR AREA RATIO: < 1.0

**COVERED LANAI AREA: BEDROOMS 104
MASTER BEDROOM 115
LIVING AREA 220**

TOTAL COVERED LANAI AREA: 539 SF

CUT - FILL = 1000 CU YD.

PAVED SURFACE AREAS PROVIDED: DRIVE 1700
ENTRY WALKWAY 412
GARAGE DRIVE 2100
TOTAL PAVED SURFACE AREA: 4212 SF (1.1%)

LIGHT AND VENTILATION REQUIREMENTS

ROOM	FLOOR AREA (SQ. FT.)	REQUIRED AREA (SQ. FT.)	VENTILATION (CFM)	HEATING (BTU)	Cooling (BTU)	HEATING (BTU)	VENTILATION (CFM)
BEDROOM	100	100	100	100	100	100	100
BATH	50	50	50	50	50	50	50
KITCHEN	100	100	100	100	100	100	100
LIVING ROOM	200	200	200	200	200	200	200
DINING ROOM	150	150	150	150	150	150	150
OFFICE	100	100	100	100	100	100	100
ENTRY	100	100	100	100	100	100	100
HALL	50	50	50	50	50	50	50
CLOSET	50	50	50	50	50	50	50
POOR	50	50	50	50	50	50	50
TOTAL	1000	1000	1000	1000	1000	1000	1000

LIGHT AND VENTILATION NOTES:

- MINIMUM HEIGHT = 10' OF WINDOW FLOOR AREA OR 1.5% WINDOW IN CEILING
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GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MAUI COUNTY ENGINEERING DEPARTMENT AND THE HAWAIIAN LAND AND NATURAL RESOURCES DEPARTMENT.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MAUI COUNTY ENGINEERING DEPARTMENT AND THE HAWAIIAN LAND AND NATURAL RESOURCES DEPARTMENT.
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- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PROJECT DIRECTORY

OWNER: Evans Holdings, Inc.
1100 Alaka Street, Suite 2100
Honolulu, HI 96813

ARCHITECT: DEE BELL
1000 Kalia Road, Suite 100
Honolulu, HI 96813

Civil Engineer: STACY OTOMO
1000 Kalia Road, Suite 100
Honolulu, HI 96813
(808) 242-0032

INDEX TO DRAWINGS

SHEET DESCRIPTION	NO.	DESCRIPTION	NO.	DESCRIPTION
A-0	BLDG. INFORMATION, INDEX TO DRAWINGS, GENERAL NOTES, LIGHT & VENTILATION REQUIREMENTS, PROJECT DIRECTORY, VICTORY MAP	D-1	MISCELLANEOUS DETAILS	
A-1	SITE PLAN	D-2	MISCELLANEOUS DETAILS	
		D-3	MISCELLANEOUS DETAILS	
		D-4	MISCELLANEOUS DETAILS	
G-1	GRADING PLAN	F-1	FOUNDATION PLAN / GENERAL NOTES	
G-2	DETAILED GRADING PLAN	F-2	FOUNDATION PLAN	
G-3	DETAILED GRADING PLAN	F-3	FOUNDATION PLAN	
G-4	DETAILED GRADING PLAN	F-4	FOUNDATION PLAN	
G-5	PLAN & PROFILE - DRIVEWAY	F-5	FOUNDATION PLAN	
G-6	PLAN & PROFILE - DRIVEWAY	F-6	FOUNDATION PLAN	
G-7	PLAN & PROFILE - DRIVEWAY	F-7	FOUNDATION PLAN	
G-8	PLAN & PROFILE - DRIVEWAY	F-8	FOUNDATION PLAN	
G-9	CONSTRUCTION NOTES & DETAILS	F-9	FOUNDATION PLAN	
A-1	FLOOR PLAN	E-1	ELECTRICAL LEGEND, LUMINAIRE SCHEDULE	
A-2	FLOOR PLAN - SOUTH	E-2	ELECTRICAL PLAN - SOUTH	
A-3	FLOOR PLAN - NORTH	E-3	ELECTRICAL PLAN - NORTH	
A-4	NEW WORK - ELEVATION PLAN - NORTH			
A-5	NEW WORK - ELEVATION PLAN - SOUTH			
A-6	ROOF PLAN			
A-7	EXTENSION ELEVATIONS			
A-8	WORKING SECTIONS & REE SECTIONS			
A-9	DOOR FINISH SCHEDULES			

TITLE SHEET

DATE: 12/15/14
SCALE: AS NOTED
DATE: AUGUST 6, 2014
JOB NUMBER:

DESIGNER: Dee Bell
DATE: 12/15/14
SCALE: AS NOTED
DATE: AUGUST 6, 2014
JOB NUMBER:

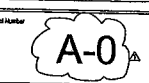
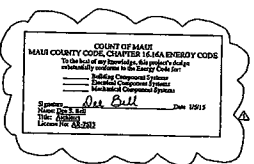
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PROJECT ADDRESS: MO'OMOKU, HONUUALA, MAKAWAO, MAUI, HAWAII

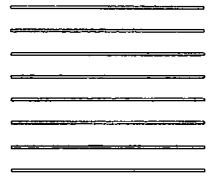
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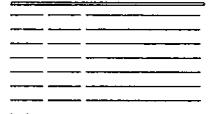
DEE BELL
 ARCHITECT
 P.O. BOX 2115
 KIHAI, MAUI, HI 95753
 808 250-3245



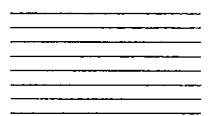
RESIDENCE
 FOR
 EVANS HOLDINGS
 LLC

MO'OMOKU, HONUAULA,
 MAKAWAO, MAUI, HAWAII
 TMK: (2)-2-1-005-135

SITE PLAN



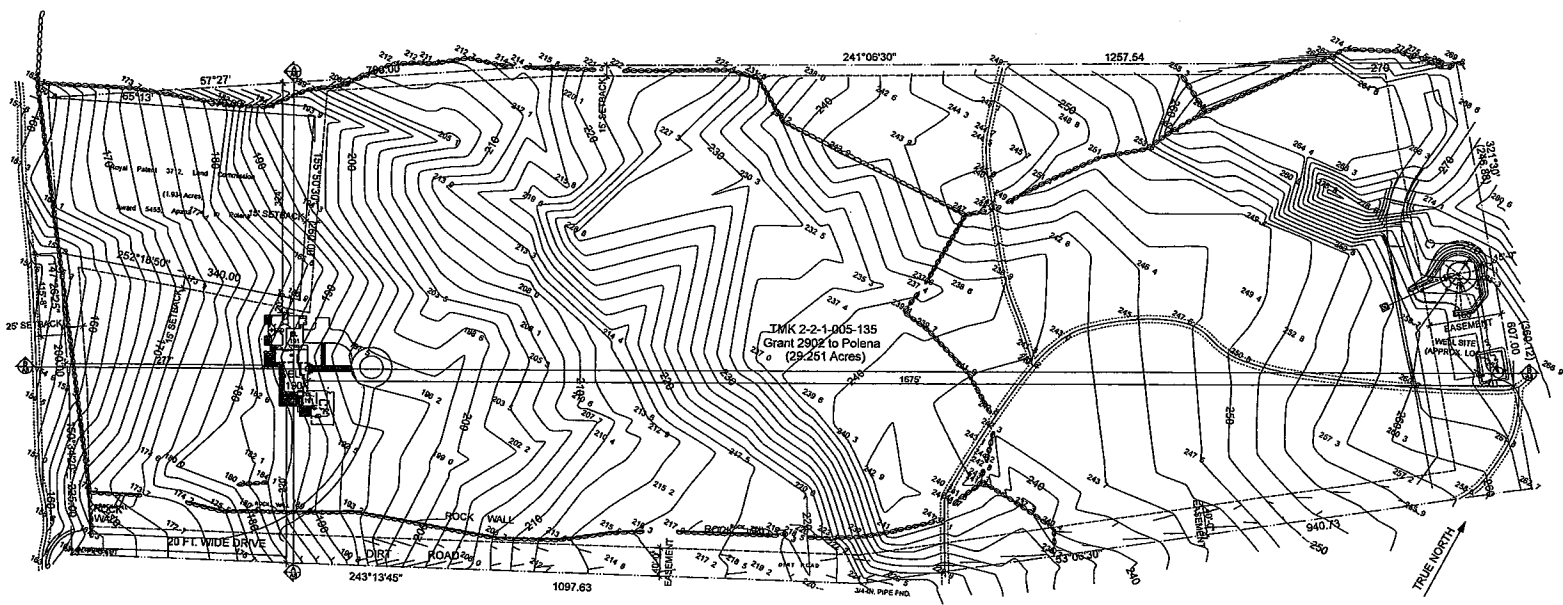
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Number	Date	Description of Revision



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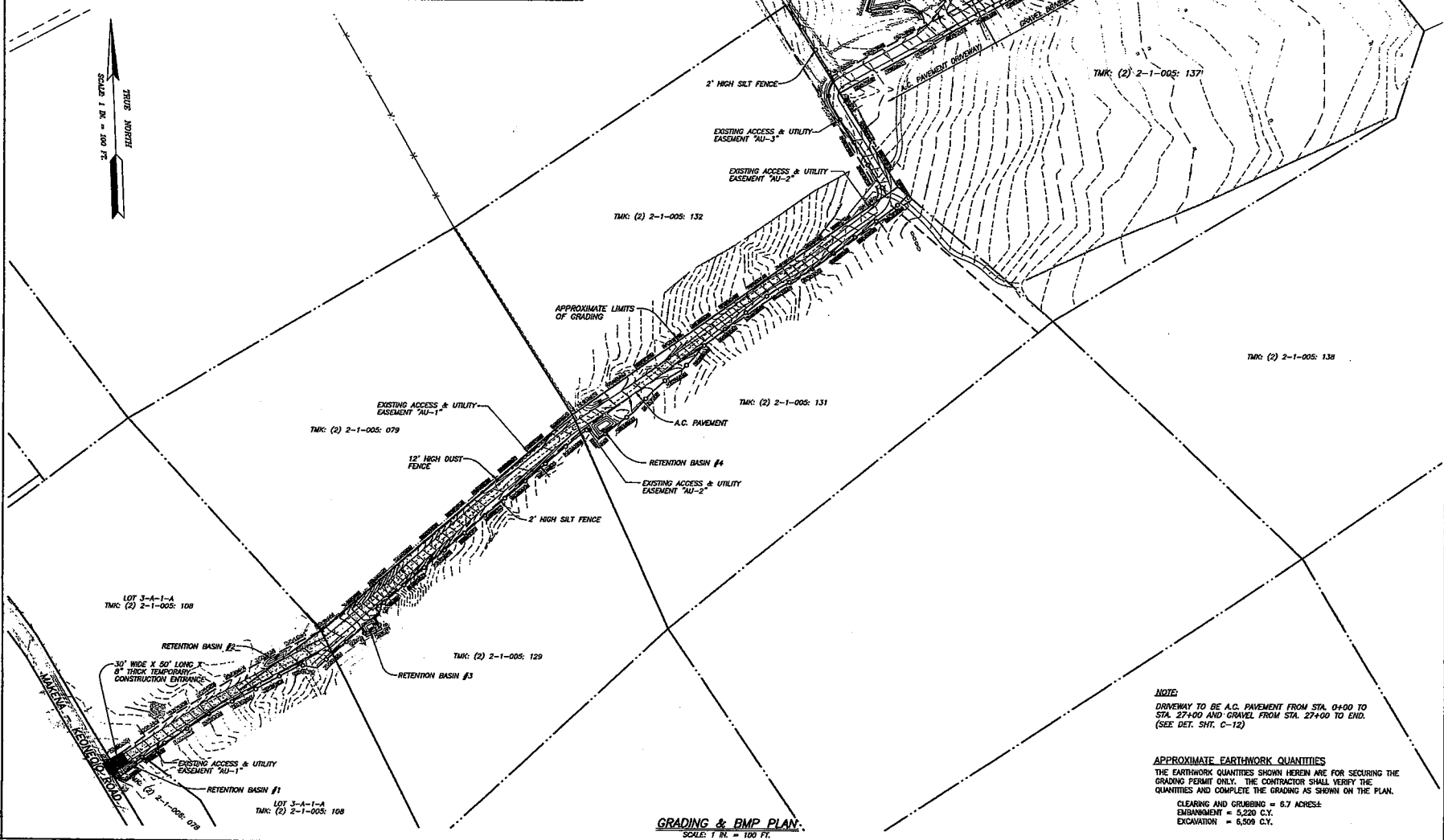
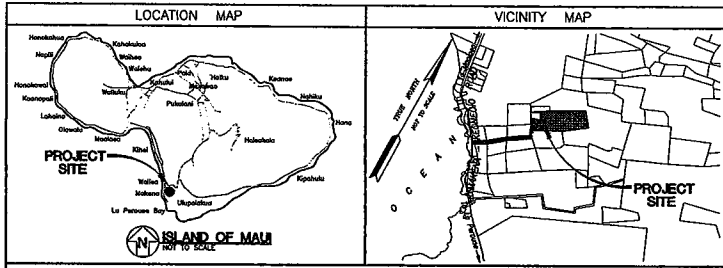
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NOTE: SEE CIVIL PLANS FOR NEW GRADES AND MORE DETAIL

Site Plan
 Scale 1" = 80'





OTOMO ENGINEERING, INC.
 CONSULTING CIVIL ENGINEERS
 305 S. HIGH STREET, STE. 110
 HONOLULU, HAWAII 96813
 PHONE: (808) 242-0022
 FAX: (808) 242-0179

REGISTERED PROFESSIONAL ENGINEER
 No. 5115-C
 HAWAII, U.S.A.
 4-30-16

RESIDENCE FOR EVANS HOLDINGS, LLC
 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONUJUALA, MAKAWAO, MAUI, HAWAII
 GRADING & BMP PLAN

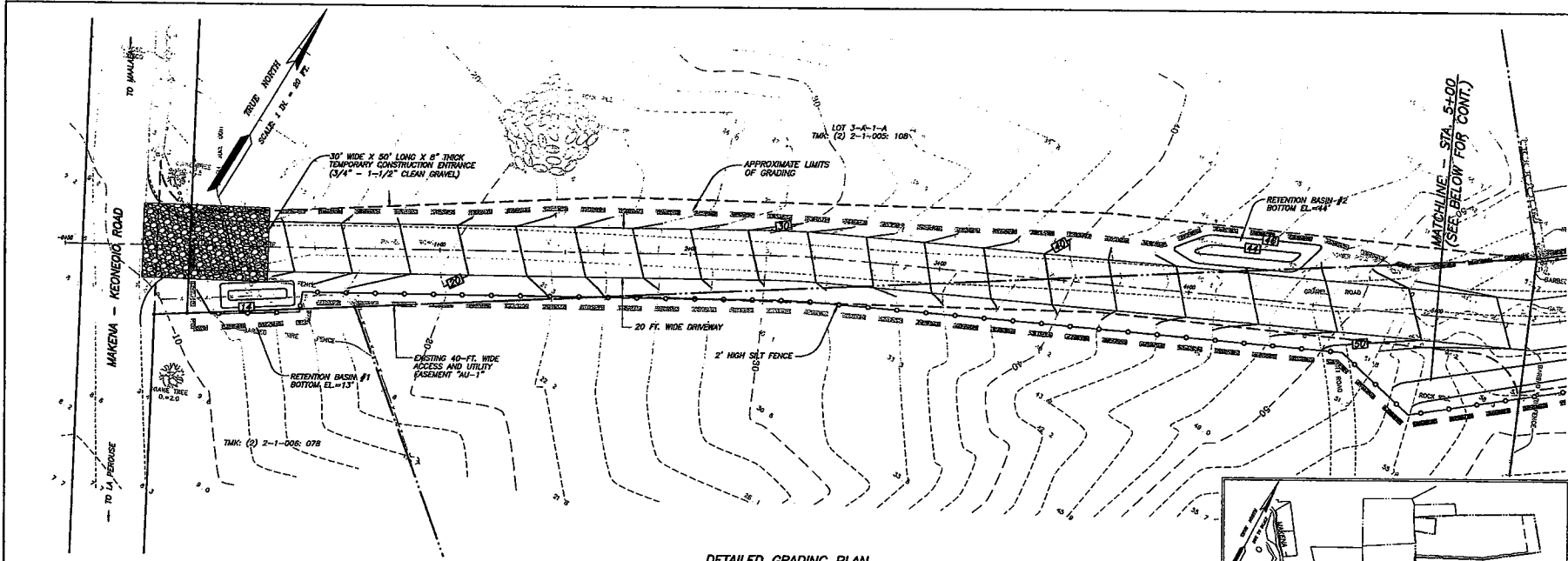
DESIGNED BY: S.A.O.
 DRAWN BY: L.C.O.
 PROJECT NO.: 2014-30
 DRAWING NAME: GRAD-00
 DATE: 3-12-15

C-1
 OF SHEETS

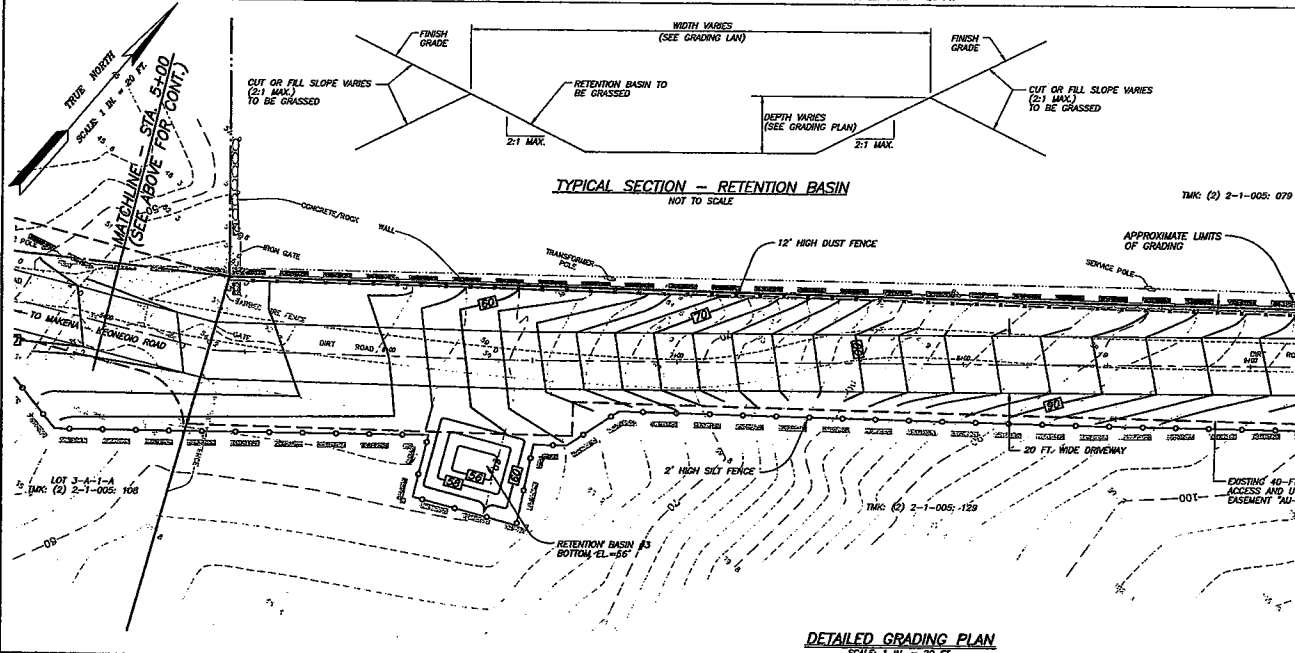
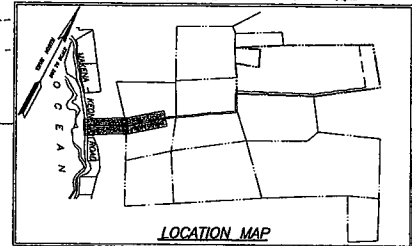
NOTE:
 DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHET. C-12)

APPROXIMATE EARTHWORK QUANTITIES
 THE EARTHWORK QUANTITIES SHOWN HEREIN ARE FOR SECURING THE GRADING PERMIT ONLY. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND COMPLETE THE GRADING AS SHOWN ON THE PLAN.
 CLEARING AND GRUBBING = 6.7 ACRES
 EMBANKMENT = 5,220 C.Y.
 EXCAVATION = 5,509 C.Y.

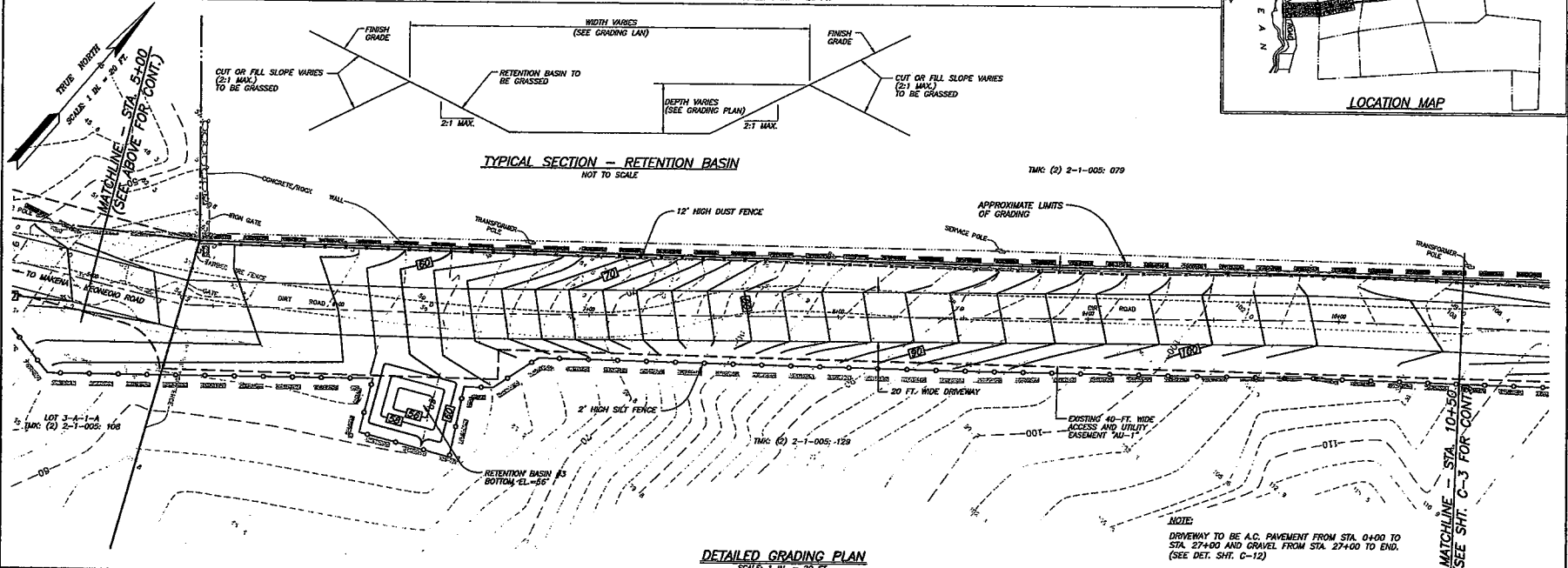
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DETAILED GRADING PLAN
SCALE: 1 IN. = 20 FT.



TYPICAL SECTION - RETENTION BASIN
NOT TO SCALE



DETAILED GRADING PLAN
SCALE: 1 IN. = 20 FT.

NOTE:
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OTOMO
ENGINEERING, INC.
CONSULTING ENGINEERS
305 S. HONOLULU ST., 2ND FLOOR
HONOLULU, HAWAII 96813
PHONE: (808) 242-0022
FAX: (808) 242-5779



THIS DRAWING WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING ARCHITECTURAL SERVICES.
 Drawn: T. O'Brien 3-12-15
 Signature: _____ DATE: _____
 Title: _____

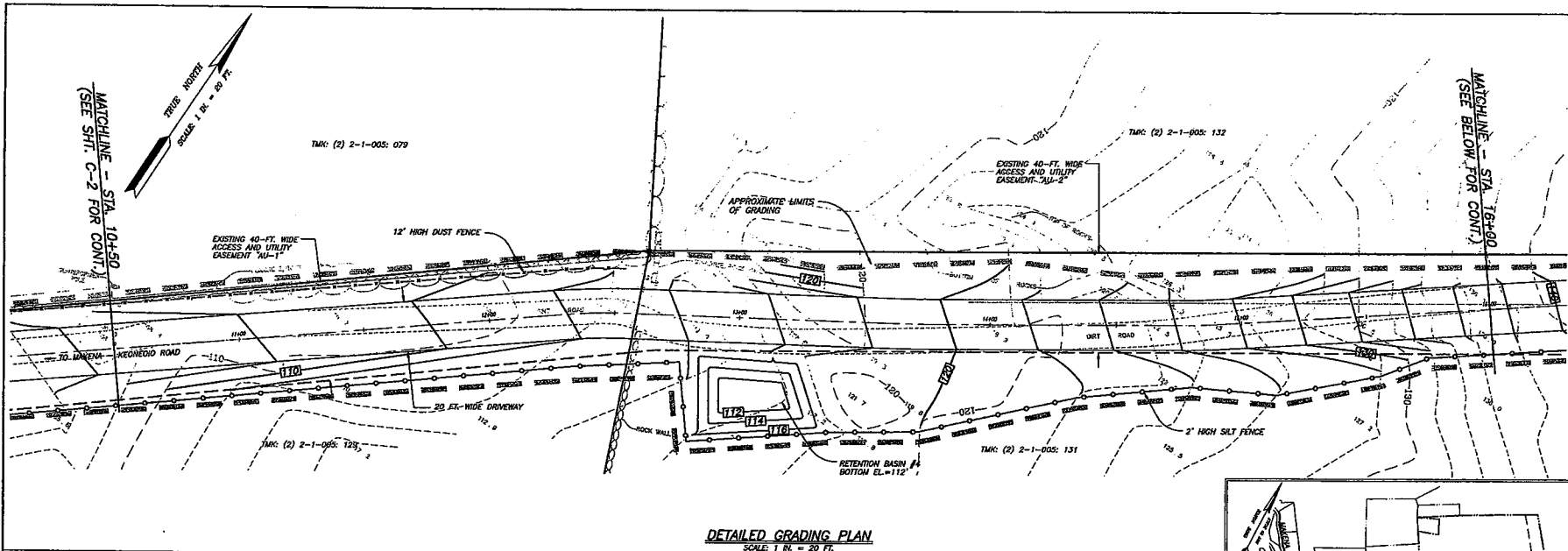
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 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONU'AU'ULA, MAKAWAO, MAUI, HAWAII
DETAILED GRADING PLAN

REVISION	DATE	NOTE
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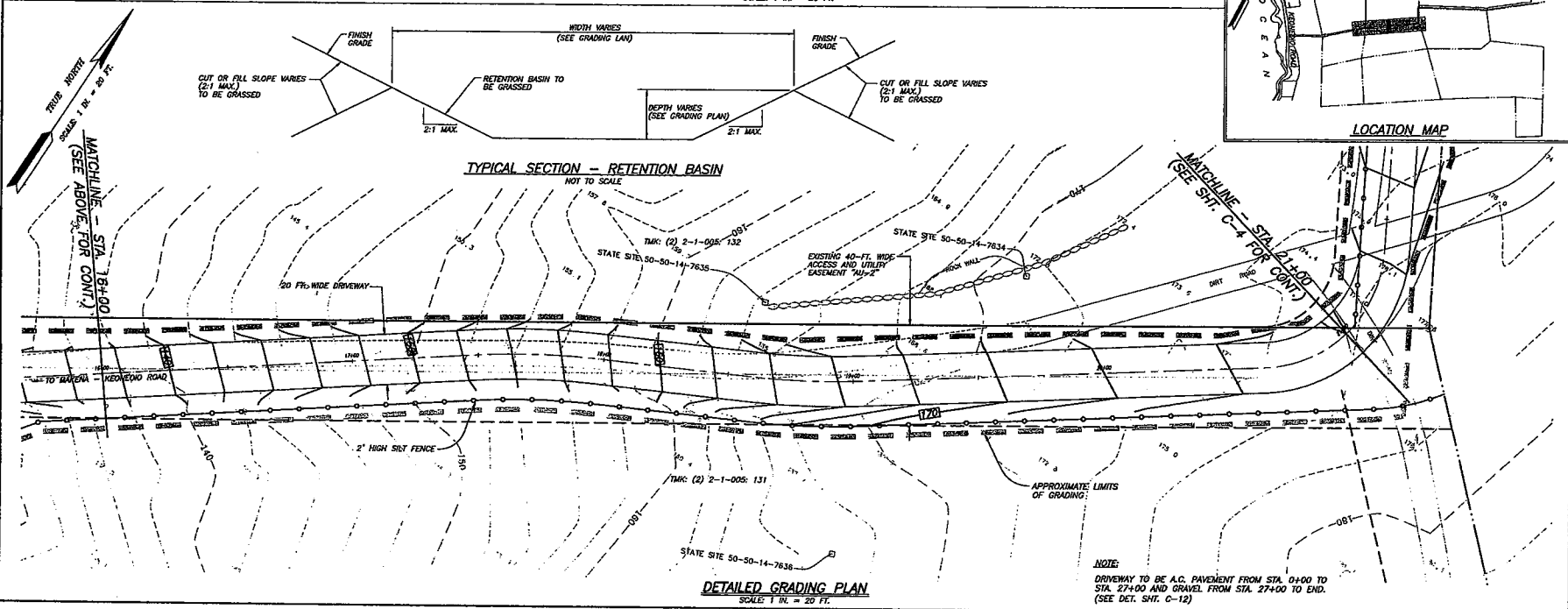
DESIGNED BY: S.A.O.
 DRAWN BY: L.C.O.
 PROJECT NO.: 2014-38
 DRAWING NAME: GRAD-DET
 DATE: 3-12-15

SHEET NO.
C-2
 OF SHEETS

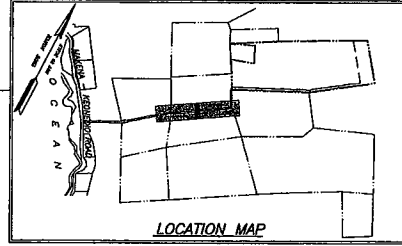
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DETAILED GRADING PLAN
SCALE: 1 IN. = 20 FT.



DETAILED GRADING PLAN
SCALE: 1 IN. = 20 FT.



LOCATION MAP

NOTE:
DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHF. C-12)

OTOMO ENGINEERING, INC.
ENGINEERING, INC.
305 S. HIGH STREET, STE. 103
HONOLULU, HAWAII 96813
PHONE: (808) 243-6642
FAX: (808) 243-5779

OTOMO & OTOMO
LICENSED PROFESSIONAL ENGINEER
No. 5115-C
HAWAII, U.S.A.
4-30-15

DESIGNED BY: S.A.O.
DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: GRAD-DET
DATE: 3-12-15

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
DETAILED GRADING PLAN

REVISION	DATE	NOTE

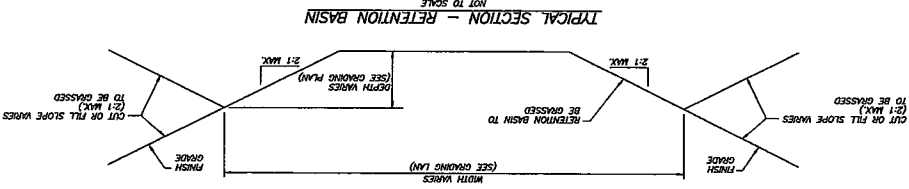
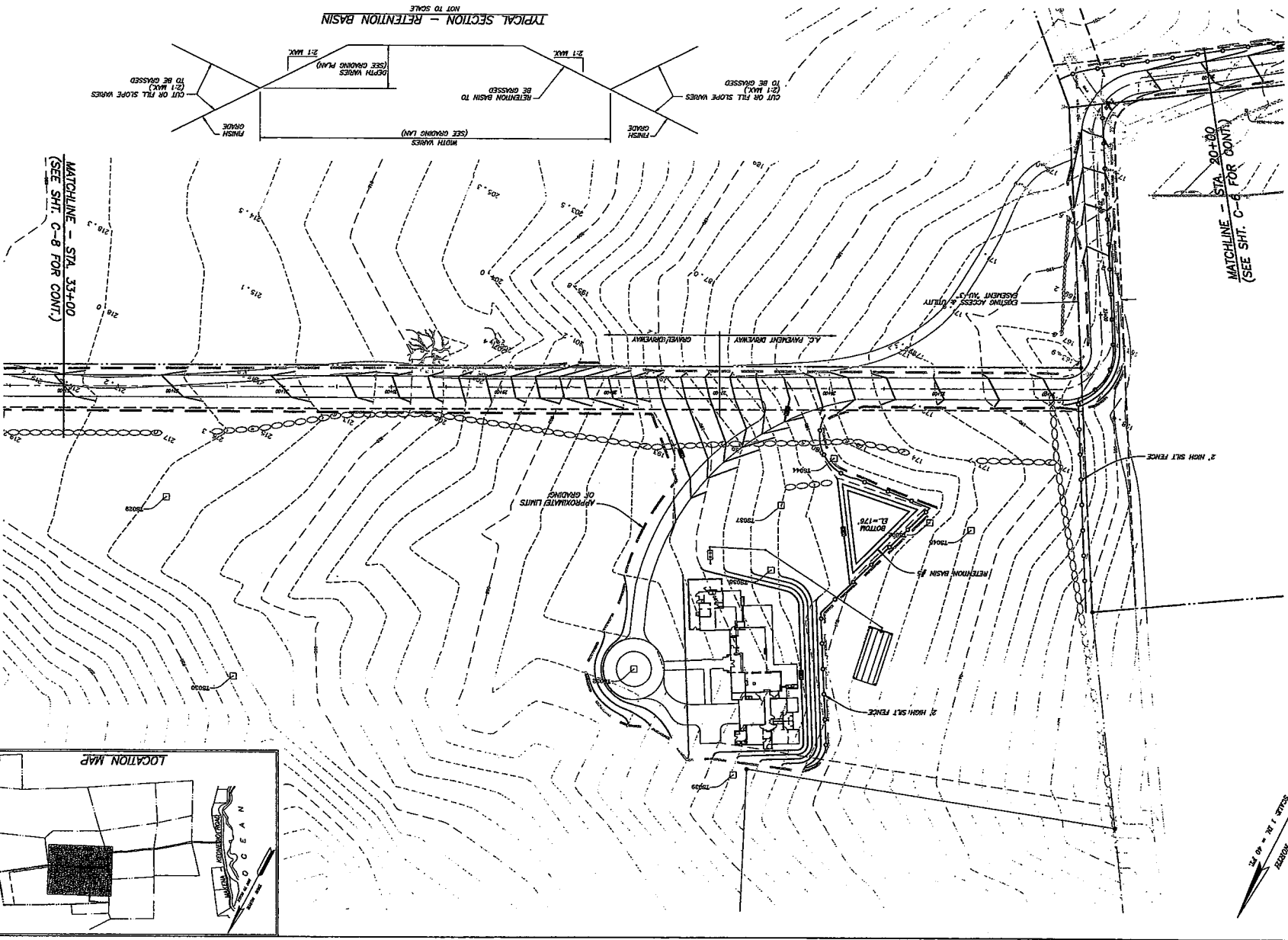
DESIGNED BY: S.A.O.
DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: GRAD-DET
DATE: 3-12-15

SHEET NO.
C-3
OF SHEETS

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SCALE 1" = 20' FT.
DETAILED GRADING PLAN

NOTE:
 DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHT. C-12)
 FINISH GRADE TO BE GRASSED (2:1 MAX.)
 FINISH GRADE TO BE GRASSED (2:1 MAX.)
 FINISH GRADE TO BE GRASSED (2:1 MAX.)



C-4
 OF SHEETS

SHEET NO.

DATE: 3-12-15

DRAWING NAME: GRAD-DET

PROJECT NO.: 2014-38

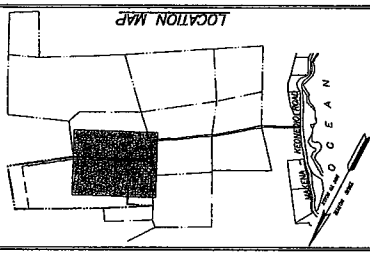
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CHECKED BY: S.A.O.

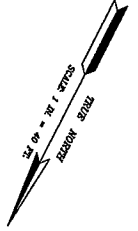
REVISION	DATE	NOTE

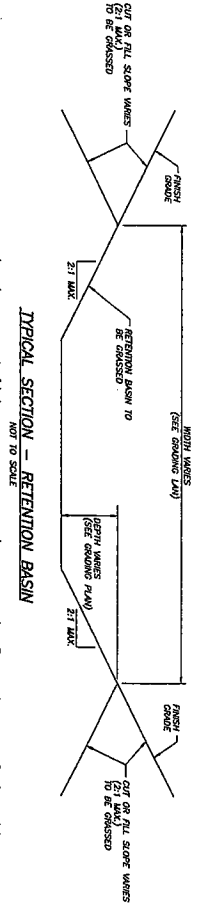
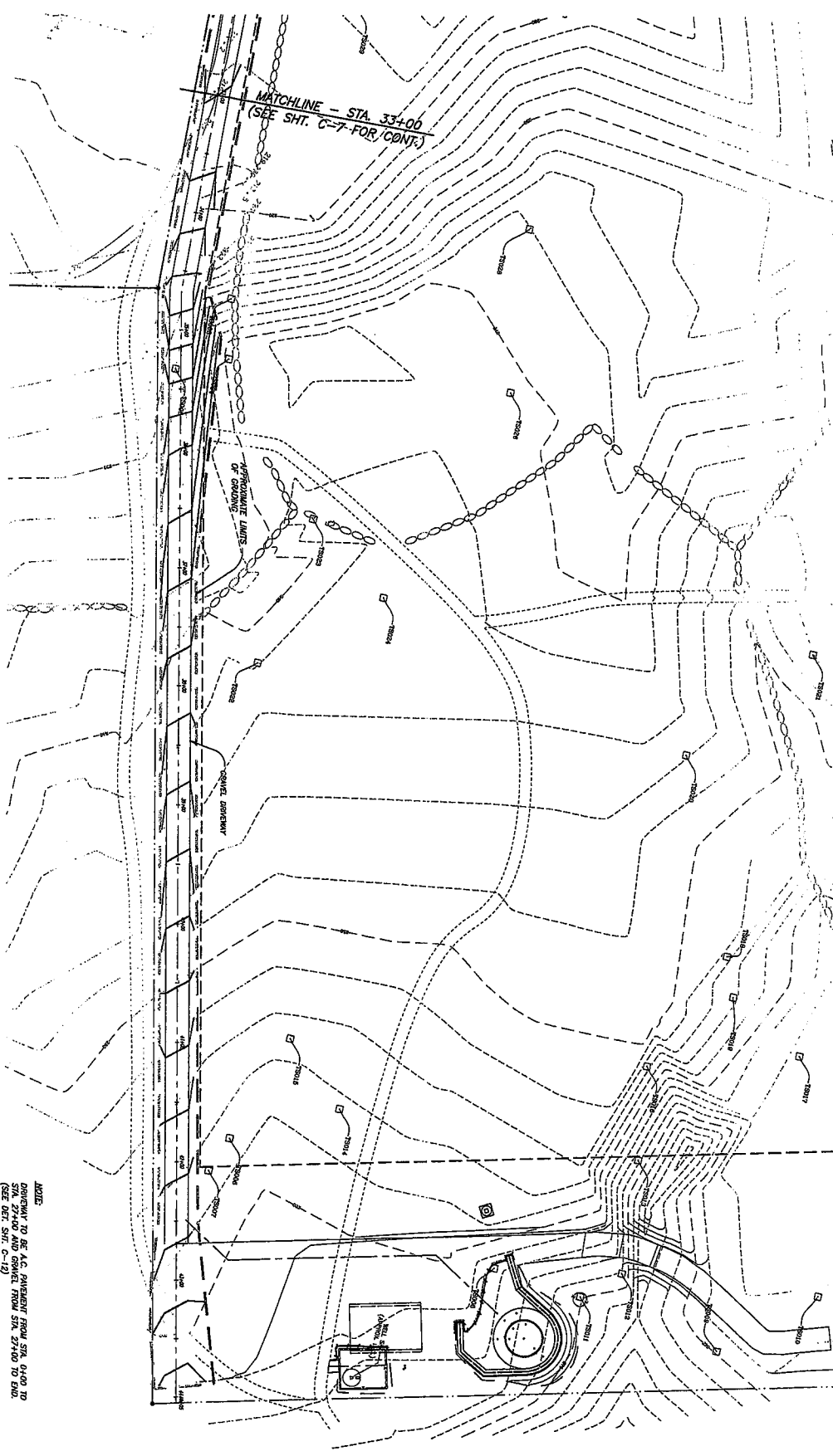
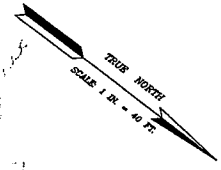
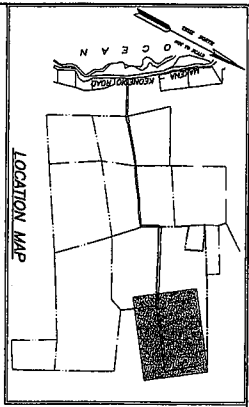
RESIDENCE FOR EVANS HOLDINGS, LLC
 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONOLULU, MAKAWAO, MAUI, HAWAII
 DETAILED GRADING PLAN

APPROVED FOR THE PROJECT BY THE STATE OF HAWAII
 PROFESSIONAL ENGINEER
 LICENSE NO. 1154-C
 L. C. O.
 3-12-15



OTOMO
 ENGINEERING, INC.
 2615 HANA STREET, SUITE 200
 MOLOKAI, HAWAII 96768
 PHONE: (808) 247-0022
 FAX: (808) 247-0779





DETAILED GRADING PLAN
SCALE 1" = 25' H.

NOTE:
DRAINAGE TO BE AS PERMITTED FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE SHT. SHT. C-13)

SHEET NO.	C-5	OF	SHEETS	REVISION	DATE	NOTE

RESIDENCE FOR EVANS HOLDINGS, LLC
 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
 DETAILED GRADING PLAN

ALAN A. PETERSON, L.L.C.
 1010 W. HAWAIIAN BLVD., SUITE 200
 HONOLULU, HAWAII 96813
 808-948-8888
 FAX: 808-948-8889
 4-30-18
 THIS PLAN IS THE PROPERTY OF ALAN A. PETERSON, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALAN A. PETERSON, L.L.C.

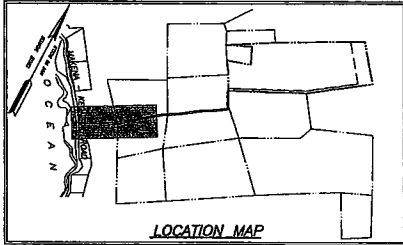
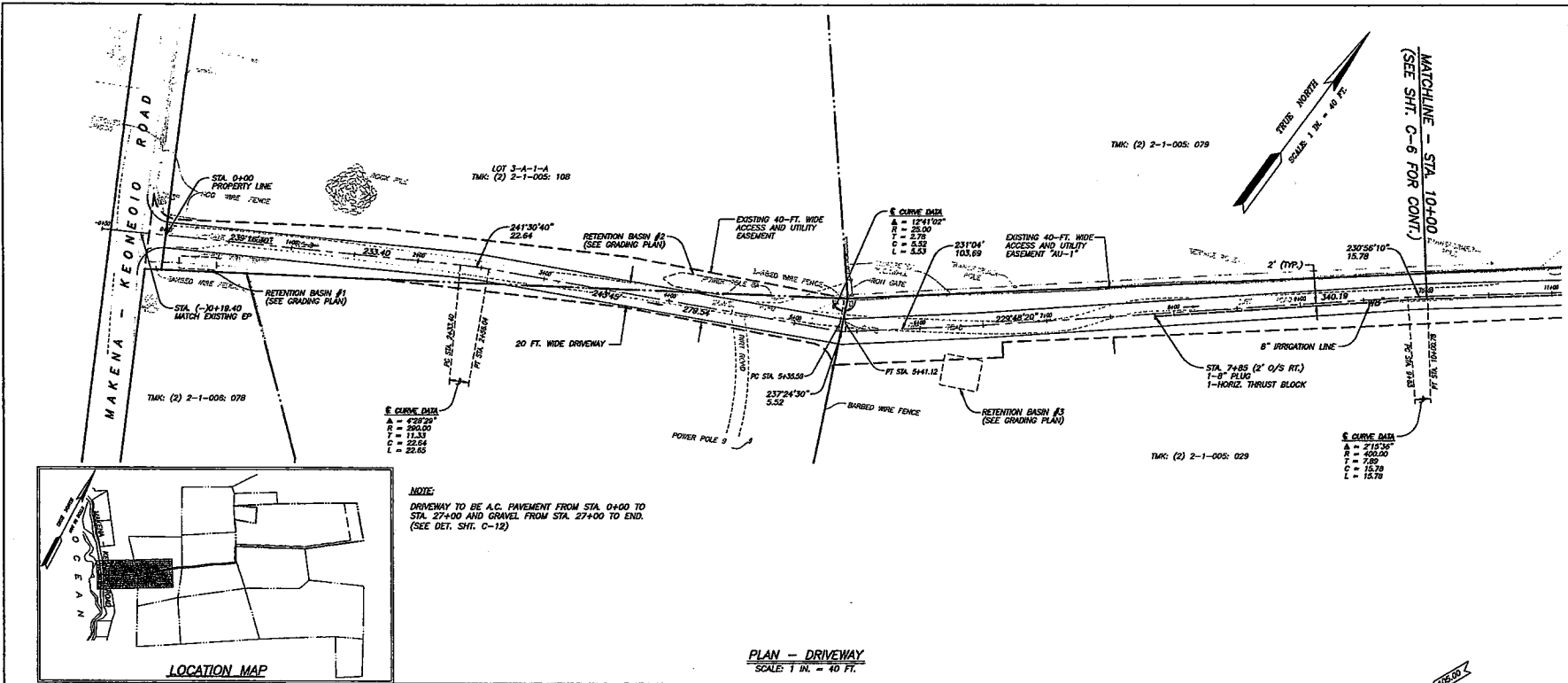
OTOMO ENGINEERING, INC.
 CONSULTING ENGINEERS
 1010 W. HAWAIIAN BLVD., SUITE 200
 HONOLULU, HAWAII 96813
 808-948-8888
 FAX: 808-948-8889

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUUALA, MAKAWAO, MAUI, HAWAII
PLAN & PROFILE - DRIVEWAY

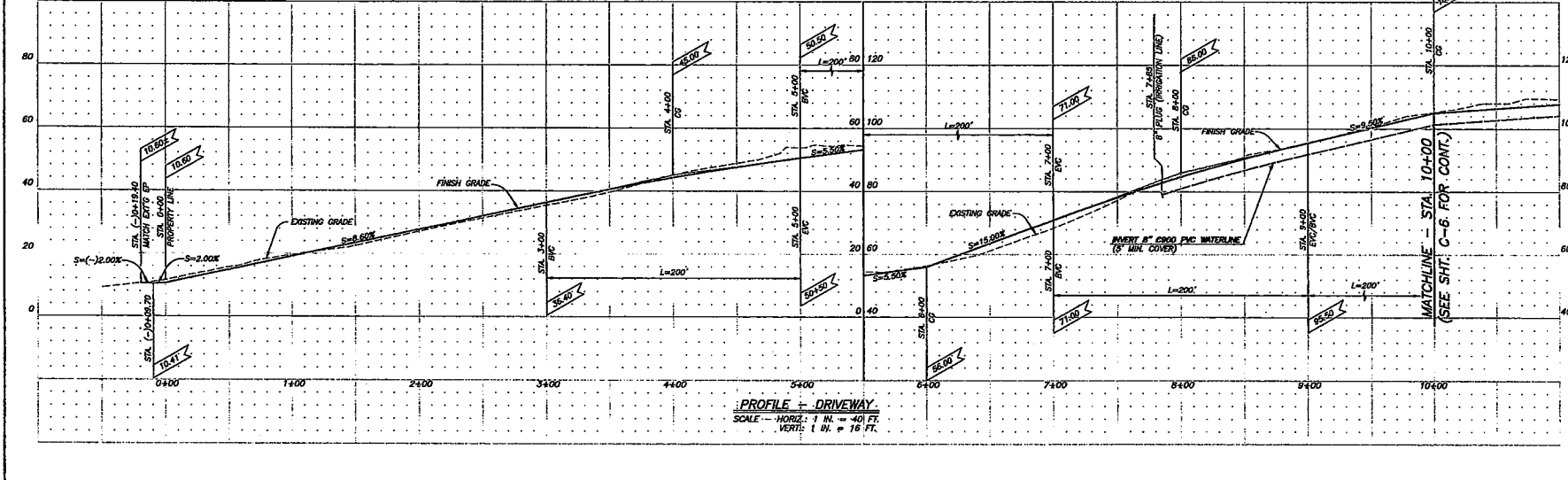
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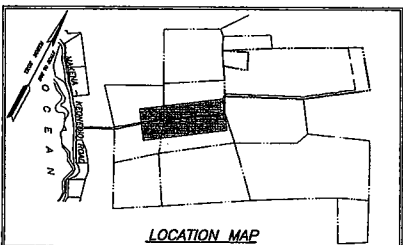
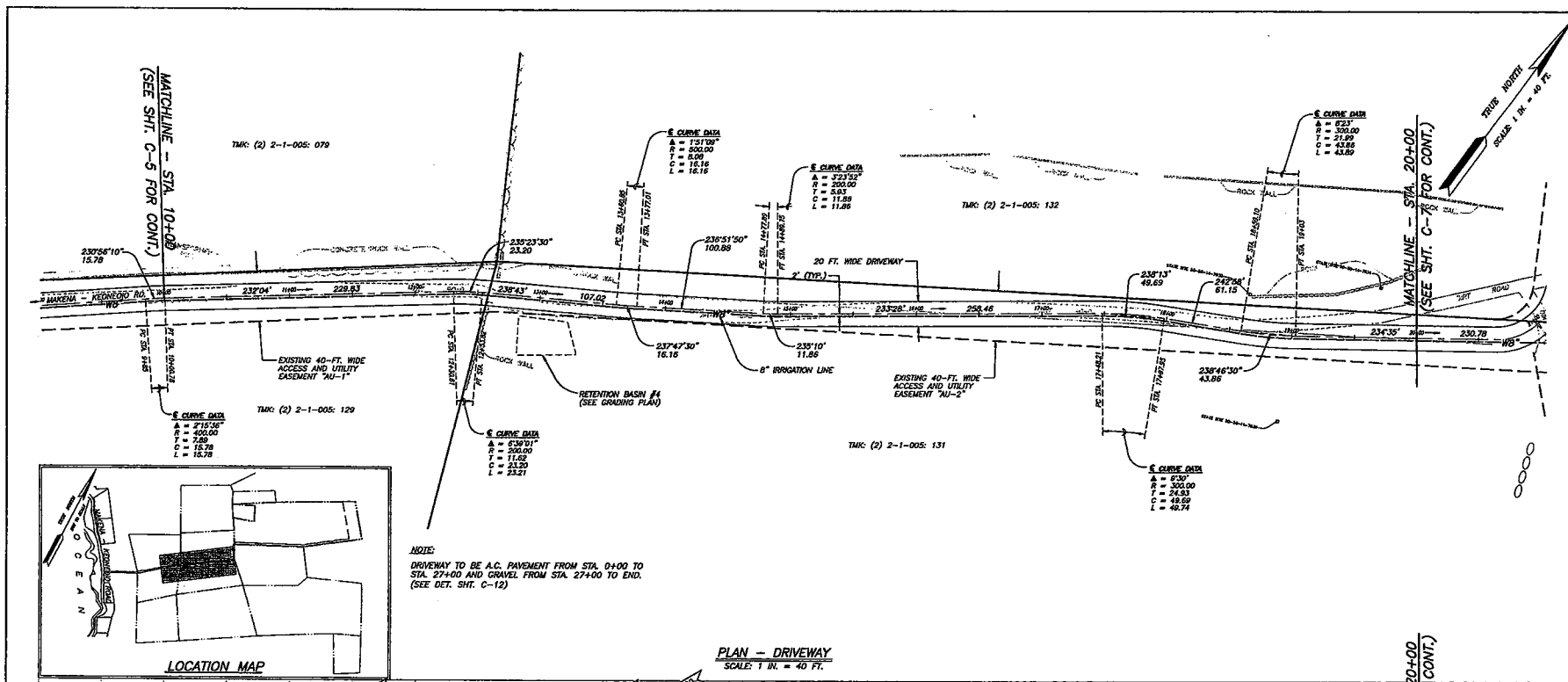
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DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: PP-DRWY
DATE: 3-12-15

SHEET NO.
C-6
OF SHEETS

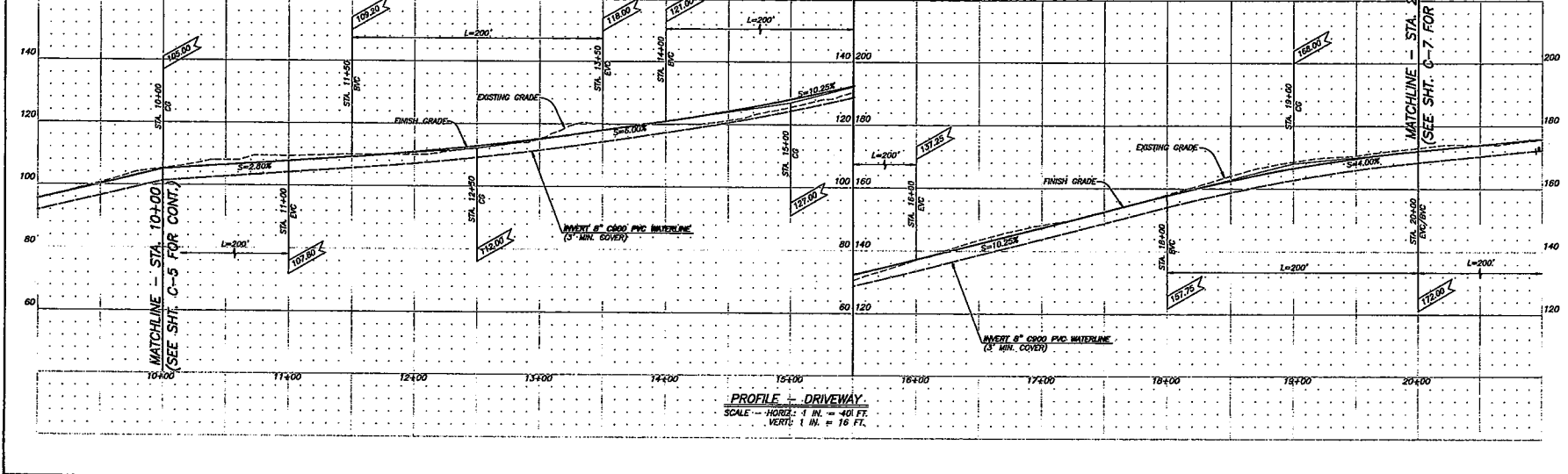


NOTE:
DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHIT. C-12)





NOTE:
DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHT. C-12)



REVISION	DATE	NOTE
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DESIGNED BY: S.A.O.
DRAWN BY: L.C.D.
PROJECT NO.: 2014-38
DRAWING NAME: PP-DRIVY
DATE: 3-12-15

C-8

SHEET NO. _____ OF SHEETS _____

DATE: 3-12-15

DRAWING NAME: PF-CENT

PROJECT NO.: 2014-30

DRAWN BY: L.C.D.

DESIGNED BY: S.A.G.

REVISION	DATE	NOTE

RESIDENCE FOR EVANS HOLDINGS, LLC

T.M.K.: (2) 2-1-005: 135

MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII

PLAN & PROFILE -- DRIVEWAY

Approved by: _____ DATE: _____

NOTE: DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHIT. C-12)

SCALE: 1" = 10'-0"

DATE: 3-12-15

PROJECT NO.: 2014-30

DRAWN BY: L.C.D.

DESIGNED BY: S.A.G.

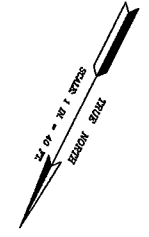
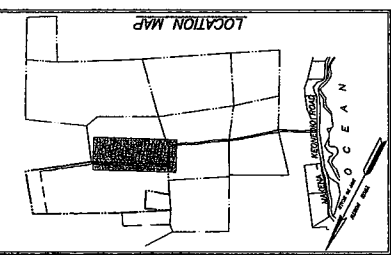
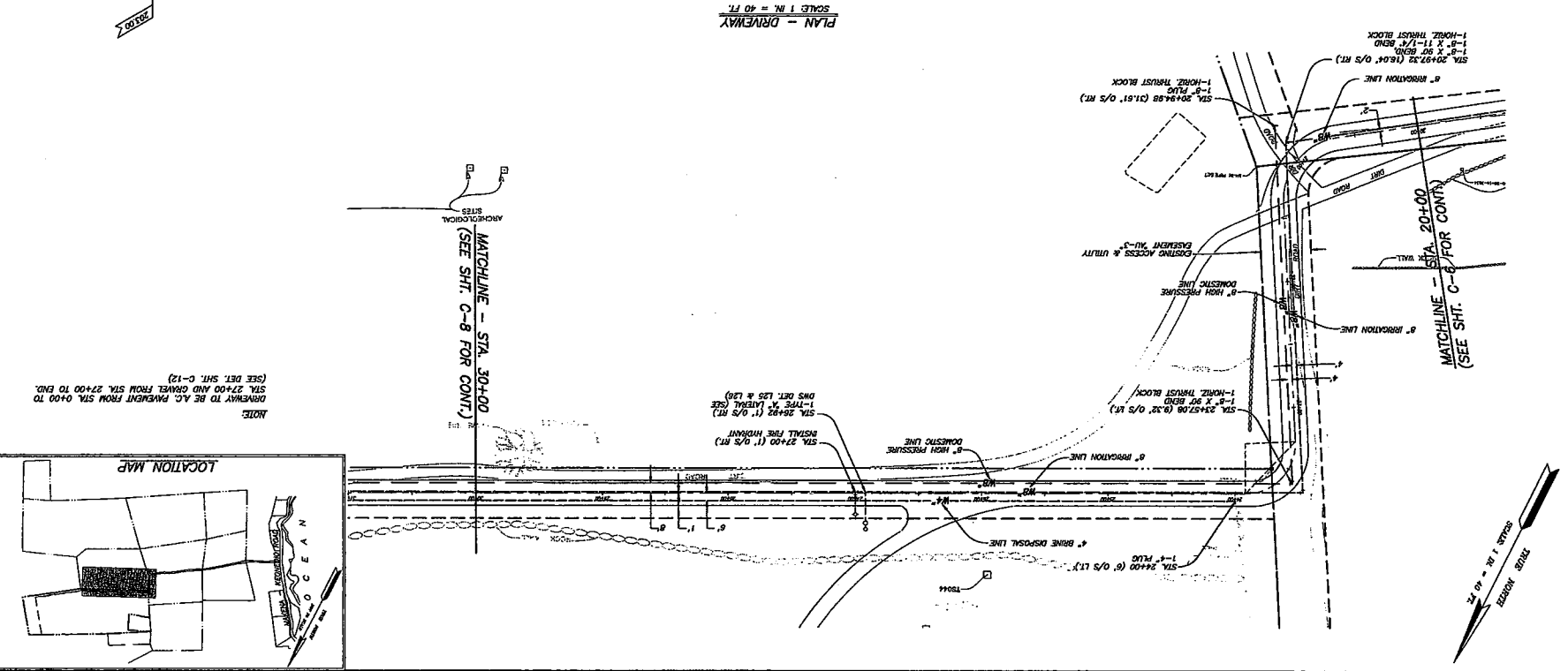
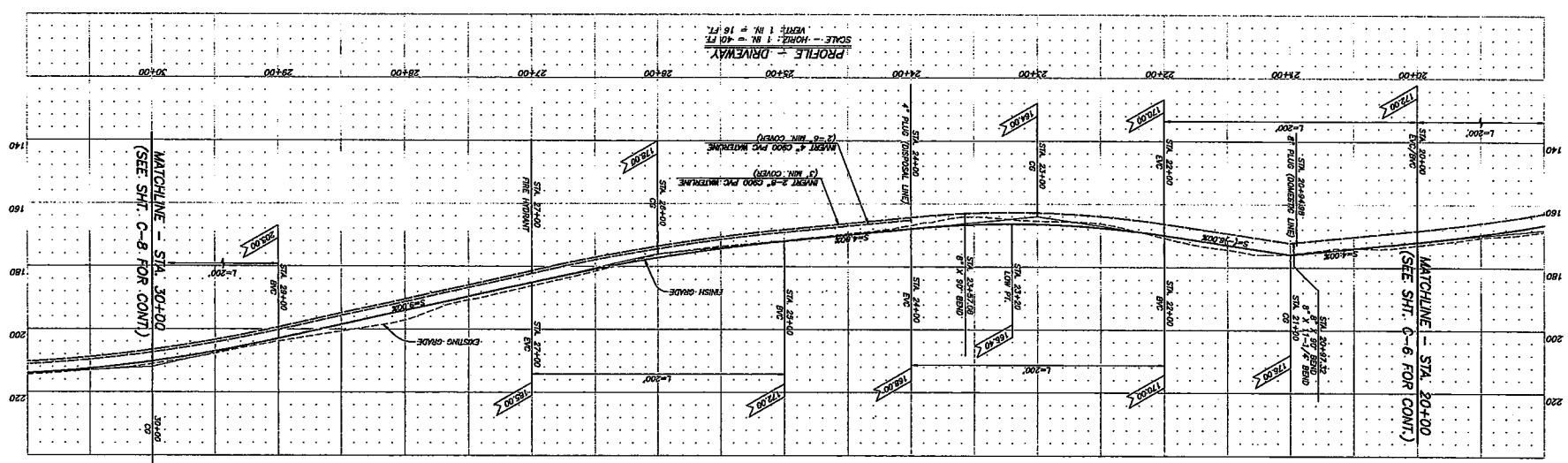
OTOMO ENGINEERING, INC.

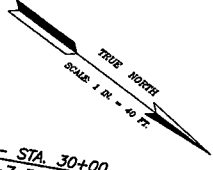
301 S. HAWAIIAN BLVD. SUITE 200 HONOLULU, HI 96813

PH: (808) 741-5779 FAX: (808) 741-0025

REGISTERED PROFESSIONAL ENGINEER LICENSE NO. 5115-G

STATE OF HAWAII

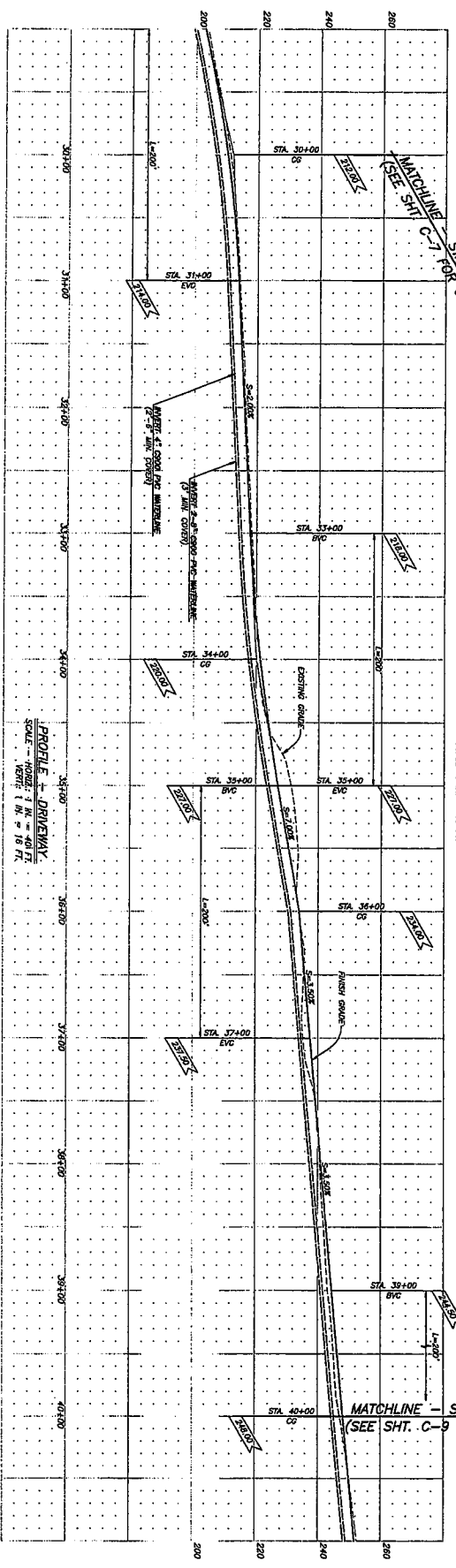




MATCHLINE - STA. 30+00
(SEE SHT. C-7 FOR CONT.)

MATCHLINE - STA. 30+00
(SEE SHT. C-7 FOR CONT.)

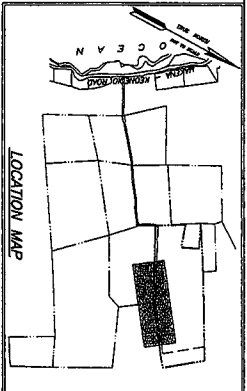
PLAN - DRIVEWAY
SCALE: 1 IN. = 40 FT.



PROFILE - DRIVEWAY
SCALE: HORIZ. 1 IN. = 40 FT.
VERT. 1 IN. = 10 FT.

NOTE
DRIVEWAY TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRAVEL FROM STA. 27+00 TO END. (SEE DET. SHT. C-13)

MATCHLINE - STA. 40+00
(SEE SHT. C-9 FOR CONT.)



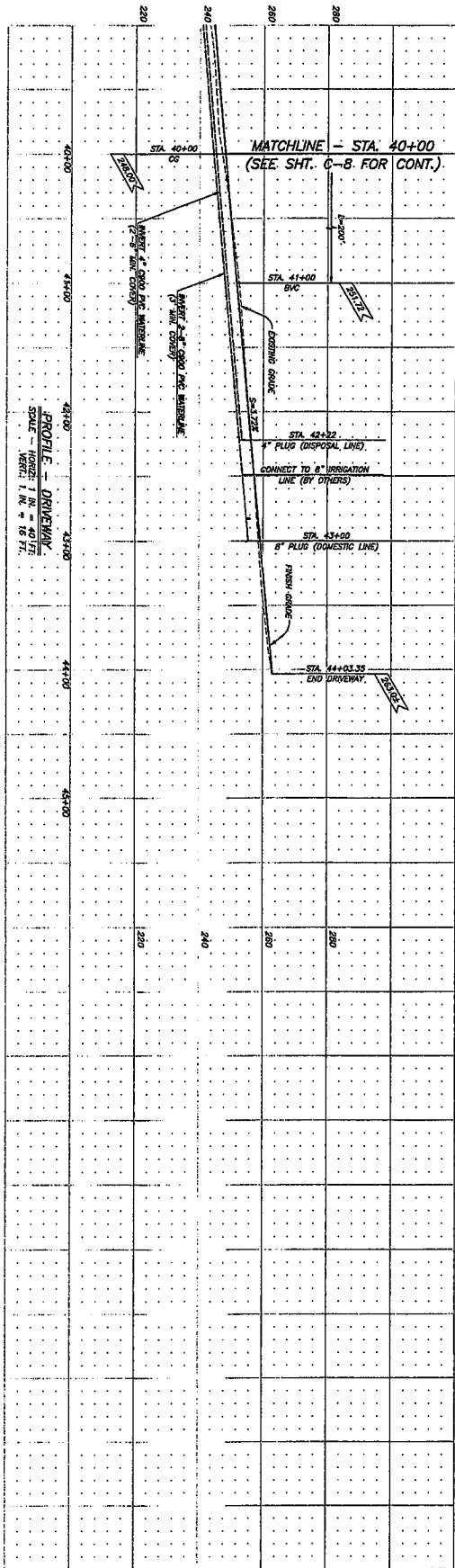
RESIDENCE FOR EVANS HOLDINGS, LLC

T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
PLAN & PROFILE - DRIVEWAY

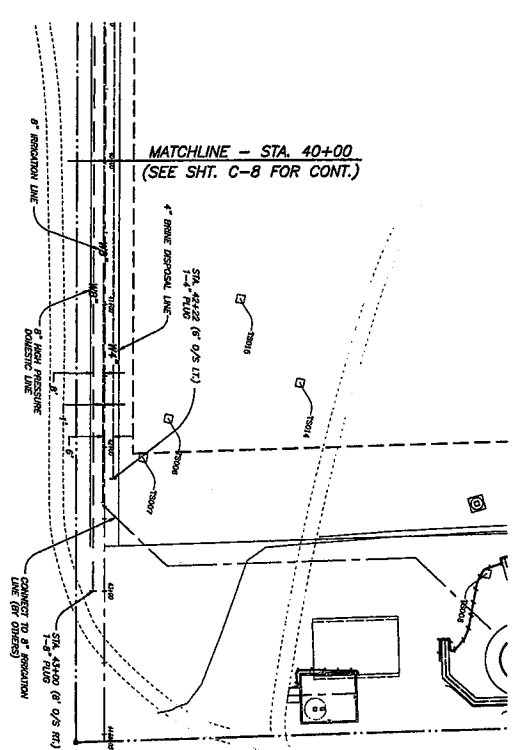
REVISION	DATE	NOTE

RECORDED BY S.A.O.
DRAWN BY L.L.O.
PROJECT NO. 2014-38
DATE: 3-10-15
SHEET NO. C-9 OF SHEETS

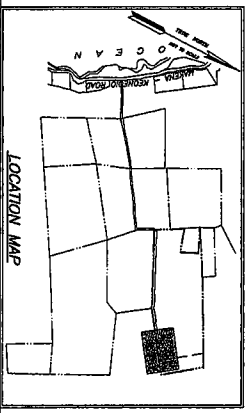
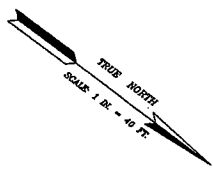
Professional Engineer Seal for Stephen J. Oshiro, License No. 1111-C, State of Hawaii. The seal includes the text 'STEPHEN J. OSHIRO', 'LICENSED PROFESSIONAL ENGINEER', 'STATE OF HAWAII', and 'NO. 1111-C'. Below the seal is the text 'I hereby certify that I am a duly Licensed Professional Engineer in the State of Hawaii and that I am the author of the design shown on this drawing.' and 'DATE: 3-10-15'.



PLAN - DRIVEWAY
SCALE 1" = 40 FT.



NOTE:
CONNECTION TO BE A.C. PAVEMENT FROM STA. 0+00 TO STA. 27+00 AND GRASS FROM STA. 27+00 TO END. (SEE DET. SHT. C-12)



C-10 OF SHEETS	SHEET NO.	
	DESIGNED BY: J.A.O.	
	DRAWN BY: L.C.O.	
	PROJECT NO.: 2011-23	
	DRAWING NAME: PP-DRW	
	DATE: 3-17-13	
REVISION	DATE	NOTE

RESIDENCE FOR EVANS HOLDINGS, LLC
 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
PLAN & PROFILE - DRIVEWAY

4/20/13
 J.A.O.

CONSTRUCTION NOTES WITHIN COUNTY RIGHT-OF-WAY

- Contractor shall obtain a permit to Perform Work on County Highways from the Development Services Administration two weeks prior to commencement of work.
- Standard detail drawings and standard specifications of the Department of Public Works shall be included as part of the construction plans.
- All construction work shall conform strictly to the applicable sections of the "Hawaii Standard Specifications for Road, Bridge, and Public Works Construction, 2005", as amended and "Standard Details" September, 1984, for Public Works Construction of the Department of Public Works, as amended.
- If existing utilities, whether or not shown on the plans, are damaged during construction, the Contractor shall be responsible for repair or replacement of work.
- Contractor shall provide, install and maintain all necessary signs, lights, flares, barricades, and other protective devices for the protection, safety and convenience of the public according to the Manual on Uniform Traffic Control Devices for Street and Highways, 2009, and to the rules and regulations governing the use of traffic control devices at workites on/for adjacent to public streets and highways adopted by the Highway Safety Coordinator and the U. S. Federal Highway Administration Manual on Uniform Traffic Control Devices for Highway Construction and Maintenance Operations, dated 2009.
- The Director of Public Works and/or the Director of the Department of Water Supply has the right to stop construction should any work be found contrary to the approved construction plan or detrimental to the public's interest.
- The Contractor shall schedule a pre-construction meeting with the Development Services Administration five (5) days prior to commencement of construction.
- The Contractor, at his own expense, shall keep the project area and surrounding area free from dust nuisance. The work shall be in conformance with the Air Pollution Control Standards and Regulations of the State Department of Health and County Grading Ordinance.
- The Contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action ordered by the Director of Public Works shall be paid by the Contractor.
- Construction debris and wastes shall be deposited at appropriate sites. The Contractor shall inform the Director of Public Works of the location of the disposal sites. The disposal site must fulfill the requirements of the grading ordinance.
- The Contractor shall submit a "T" file and five (5) copies of the as-built drawings prior to the final approval of the improvements.
- If the clearance between a wastewater line and a new or existing waterline is eighteen inches (18") or less, the wastewater line shall be encased/in-letted in accordance with the Standard Details for Public Works Construction dated September, 1984.
- Should historic sites such as walls, platforms, pavements, or mounds, or remains such as artifacts, burials, concentration of shell or charcoal be encountered during construction activities, work shall cease immediately in the immediate vicinity of the find and the find shall be protected from further damage. The contractor and/or landowner shall immediately contact the State Historic Preservation Division (692-8010 or 243-5169), which shall assess the significance of the find and recommend an appropriate mitigation measure, if necessary.
- Pursuant to Maui County Code Section 3.44.015(C), the County of Maui is not responsible for any park, roadway, easement (including but not limited to drainage, sewer, access, reclaimed water, or aviation easement), or any other interest in real property shown on this map or shown on these plans, unless the Maui County Council has accepted a resolution approved by a majority of Council's members at a regular or special meeting of the Maui County Council.
- Steel plate warning signs are required for all steel plates in the right-of-way.
- Wheelchair ramp inspection/certification forms shall be required for all newly constructed ramps.
- All striping and pavement markings shall be of thermoplastic material.
- Compaction Requirements
 - Testing of materials shall be conducted by an approved independent testing agency in accordance with ASTM standard methods or as specified by the Department of Public Works, Engineering Division, as follows:
 - Embankment/Select Borrow and Subgrade Materials: one (1) compaction test per 600 square yards per lift.
 - Aggregate Subbase Course: one (1) compaction test per 400 square yards; one (1) gradation and sand equivalent test per lift per project.
 - Aggregate Base Course: one (1) compaction test per 300 square yards; one (1) gradation and sand equivalent test per lift per project.
 - Asphalt Concrete Pavement or Asphalt Treated Base Course; three (3) A.C. cores for thickness and density test per project.
 - Trench Backfill Material: one (1) test for each 300 lineal feet trench per lift of material.
 - Contractor shall submit all testing reports including results to the County's inspection agency for review and approval prior to County's acceptance of work.
 - The contractor shall be required to notify the County of any testing failures and correct each failure prior to proceeding to the next phase of construction.

GRADING

- The Contractor shall obtain a "grading Permit" from the Development Services Administration, Department of Public Works and Environmental Management, four (4) weeks prior to commencement of any clearing and grubbing. A satisfactory dust and erosion control plan and/or outline shall be submitted by the Contractor.
- The Contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action by the Chief Environmentalist shall be borne entirely by the Contractor.
- The Contractor, at his sole expense, shall keep the project area and surrounding area free from dust nuisance. The work shall be in conformance with the Air Pollution Control Standards and Regulations of the State Department of Health.
- All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of Public Health Regulations, State Department of Health and Chapter 20.08 of the Maui County Code.
- Construction debris and wastes shall be deposited at appropriate sites. Solid sites shall also fulfill the requirements of Chapter 20.08 of the Maui County Code.
- The Contractor shall be responsible for all construction sitework.

EXISTING GRADES

- Existing grades shall be verified by the contractor before proceeding with grading work. Should any discrepancies be discovered in the existing grades or dimensions given on the plans, the Contractor shall immediately notify the Engineer before proceeding further with any work, otherwise he will be held responsible for any cost involved in correction of construction placed due to such discrepancies.

EXISTING UTILITIES

- The location, depth and type of the various existing utility lines shown on the construction plans were determined on the basis of the best information possible. The Contractor shall verify exact location, depth, and type prior to commencement of work.
- Contractor shall immediately notify the Engineer of any discrepancies between the existing utilities as shown on the construction plans and that located in ground, and not proceed with any further work until written notification is received from the Engineer. Any work done without written notification from the Engineer shall be the sole responsibility of the Contractor.
- All existing utilities whether or not shown on the plans, if damaged during construction by the Contractor, shall be repaired solely at his expense.

STATE HISTORIC PRESERVATION DIVISION REQUIREMENTS

Should historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentration of shell or charcoal be encountered during construction activities, work shall cease in the immediate vicinity of the find and the find shall be protected from further damage. The contractor and/or landowner shall immediately contact the State Historic Preservation Division (692-8010), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary.

SECTION 3.44.015(C)—MAUI COUNTY CODE

NOTE: Pursuant to Maui County Code Section 3.44.015(C), the County of Maui is not responsible for any park, roadway, easement (including but not limited to drainage, sewer, access, reclaimed water, or aviation easement), or any other interest in real property shown on this map or shown these plans, unless the Maui County Council has accepted its dedication by a resolution approved by a majority of Council's members at a regular or special meeting of the Maui County Council.

EROSION CONTROL

The following measures shall be taken to control erosion during the site development period:

- Minimize the time of construction.
- Retain existing ground cover until latest date to complete construction.
- Early construction of drainage control features.
- Use temporary area sprinklers in non-active construction areas when ground cover is removed.
- Station water truck on site during construction period to provide for immediate sprinkling, as needed in active construction zones (weekends and holidays included).
- Use temporary berms and cut-off ditches, where needed, for control of erosion.
- Graded areas shall be thoroughly watered after construction activity has ceased for the day and on weekends.
- All cut and fill slopes shall be sodded immediately after grading work has been completed.

MINIMUM BEST MANAGEMENT PRACTICES

Drainage. Handle drainage to control erosion, prevent damage to downstream properties and return waters to the natural drainage course in a manner which minimizes sedimentation or other pollution to the maximum extent practicable.

Dust Control. Control dust emissions to the maximum extent practicable through BMP's such as water sprinkling, dust fences, limiting area of disturbance and timely grassing of finish areas.

Vegetation. Retain natural vegetation, especially grasses, wherever feasible. Avoid storage of grubbed material near watercourses.

Erosion Controls. Stabilize all disturbed areas with erosion control measures such as vegetation, runoff diversion, check dams, mulching, blankets, bonded fiber matrices, and wheel tracks.

Sediment Control. Capture sediment transported in runoff to minimize the sediment from leaving the site with methods such as sediment basins, sediment traps, silt fences, sand bags, and vegetated filter strips.

Material and Waste Management. Properly store toxic material and prevent the discharge of pollutants associated with construction material.

Timing of Control Measure Implementation. Timing of control measures shall be in accordance with the approved erosion control plan. Disturbed areas of construction sites that will not be re-disturbed for twenty-one days or more will be stabilized (grassed or grooved) by no later than the fourteenth day after the last disturbance.

Shoreline Area. Use of soil as fill is prohibited within any shoreline area, except for sand.

Coastal Dune. Grading or mining of a coastal dune is prohibited.

EROSION CONTROL PLAN REQUIREMENTS

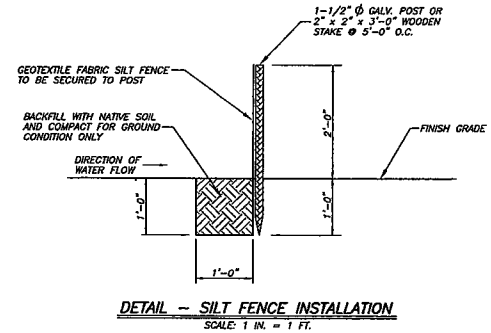
The erosion control plan shall employ Best Management Practices to the maximum extent practicable to prevent or reduce pollutants from water bodies, including sediment and other contaminants, in discharging from a construction site.

The following must be addressed if applicable:

- Stabilization of denuded areas.
- Protection/stabilization of soil stockpiles.
- Permanent soil stabilization.
- Establishment and maintenance of permanent vegetation.
- Protection of adjacent properties and water bodies.
- Sediment trapping measures.
- Sediment basins.
- Cut and fill slopes (terracing).
- Stormwater management.
- Sequence of construction operations, including phased and successive development projects.
- Stabilization of waterways and outlets.
- Storm sewer inlet protection.
- Control of access and vehicular movement.
- Vehicular control on residential lots during construction.
- Working in or crossing watercourses.
- Underground utility construction.
- Timely installation of permanent erosion and sediment control.
- Maintenance of erosion control facilities.
- Protection of existing vegetation.
- Dust control.

ENVIRONMENTAL PROTECTION

- The contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The costs incurred for any necessary remedial action by the Chief Environmentalist shall be borne by the Contractor.
- The Contractor shall keep the project area and surrounding areas free from dust nuisance, all in accordance with the Air Pollution Control Standards and Regulations of the State Department of Health. All costs shall be borne by the Contractor.
- All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of the Public Health Regulations of the State Department of Health and the County's Grading Ordinance.
- All cut and fill slopes shall be sodded or planted immediately after grading work has been completed.
- Construction debris and wastes shall be deposited at appropriate sites. The Contractor shall inform the Engineer of the location of the disposal sites. The disposal sites shall also fulfill the requirements of the Grading Ordinance.
- The Contractor shall not demolish or clear any structure, site, or vacant lot without first ascertaining the presence or absence of rodents which may endanger the public health by dispersal from such premises. Should such inspection reveal the presence of such rodents, the Contractor shall eradicate such rodents before demolishing or clearing said structure, site or vacant lot.



OTOMO
ENGINEERING, INC.
ENGINEERING ONE CENTER
305 S. HIGH STREET, 2ND FLOOR
HONOLULU, HAWAII 96813
PHONE: (808) 242-2032
FAX: (808) 242-9779

MAUI COUNTY
LICENSED PROFESSIONAL ENGINEER
NO. 0116-5
HONOLULU, HAWAII
4-30-18

THIS SEAL WAS PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMES INTO COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 20.08 OF THE MAUI COUNTY CODE AND THE REQUIREMENTS OF THE HAWAIIAN ENGINEERING BOARD AS SET FORTH IN H.A.B.C. 10-1-10.

MAUI COUNTY
4-30-18

SIGNATURE: _____ DATE: _____

NOTE: THE CONTRACTOR SHALL OBTAIN AND MAINTAIN THIS SEAL THROUGHOUT THE CONSTRUCTION PERIOD.

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
MISCELLANEOUS DETAILS AND CONSTRUCTION NOTES

REVISION	DATE	NOTE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNED BY: S.A.D.
DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: NOTES-00
DATE: 3-12-15

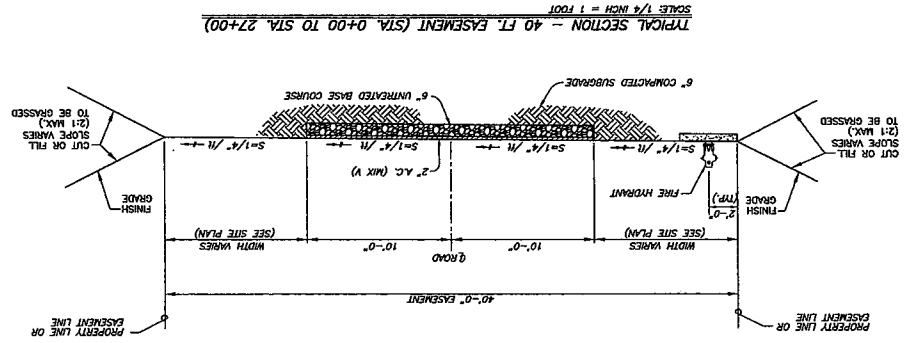
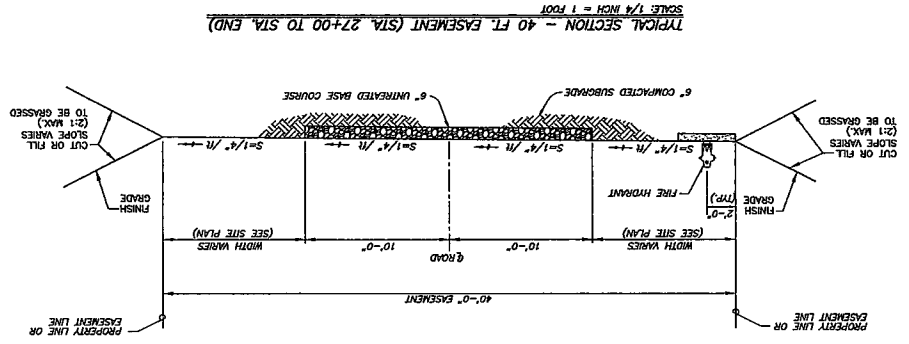
REVISION	DATE	NOTE

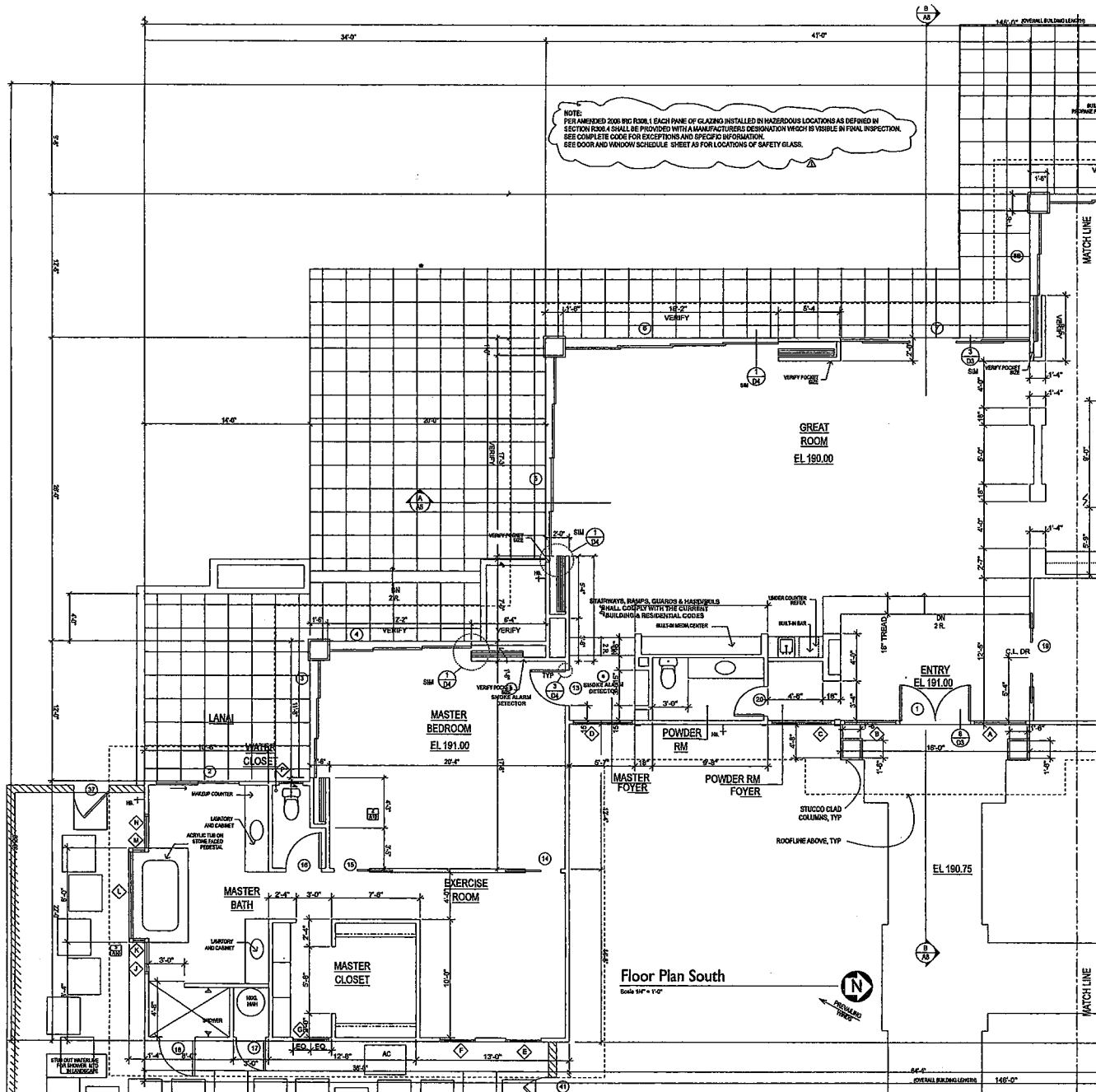
RESIDENCE FOR EVANS HOLDINGS, LLC
 T.M.K.: (2) 2-1-005: 135
 MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
 MISCELLANEOUS DETAILS

ENGINEERING, INC.
 201 A HAWAIIAN DRIVE, SUITE 201
 MOLOKAI, HAWAII 96768
 PHONE: (808) 242-8778
 FAX: (808) 242-8779

REGISTERED PROFESSIONAL ENGINEER
 STATE OF HAWAII
 NO. 515-C
 EXPIRES 12/31/15

DATE: 2-12-15
 DRAWN BY: S.A.O.
 PROJECT NO.: 2014-28
 DRAWING TITLE: C-12
 SHEET NO.: C-12





DEE BELL
 ARCHITECT
 P.O. BOX 2115
 KIHAI, MAUI, HI 95753
 808 250-3245



RESIDENCE
 FOR
 EVANS HOLDINGS
 LLC

MO'OMOKU, HONUAULA,
 MAKAWAO, MAUI, HAWAII

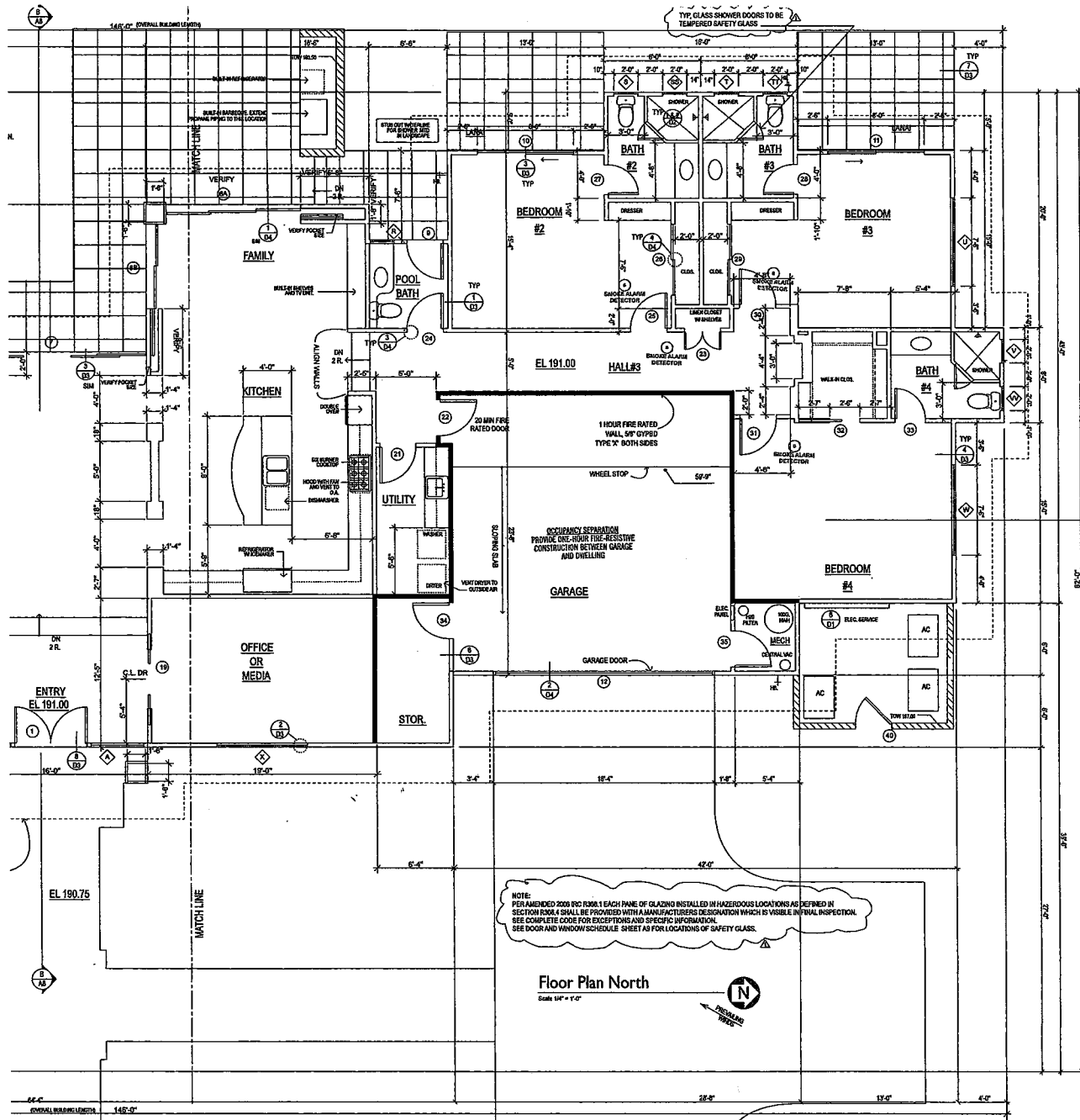
TMK: (2)-2-1-005-135

FLOOR PLAN SOUTH

15175	glazing classification
17214	slab classification
Master	Door
	Description of Function

Scale: as noted
 Date: AUGUST 6, 2014 Job Number

Sheet Number: A-2



DEE BELL
 ARCHITECT
 P.O. BOX 2115
 KIHAI, MAUI, HI 95753
 808 250-3245



RESIDENCE
 FOR
 EVANS HOLDINGS
 LLC
 MO'OMOKU, HONUAULA,
 MAKAWAO, MAUI, HAWAII
 TMK: (2)-2-1-005-135

FLOOR PLAN NORTH

Number	Date	Description of Revision
1	12/15	glazing clarification
2	12/21/14	etc block clarification

Scale: as noted
 Date: AUGUST 6, 2014 Job Number:
 Sheet Number: **A-3**

DEE BELL
ARCHITECT
P.O. BOX 2115
KIHEI, MAUI, HI 95753
808 250-3245



RESIDENCE
FOR
EVANS HOLDINGS
LLC

MO'OMOKU, HONUAULA,
MAKAWAO, MAUI, HAWAII

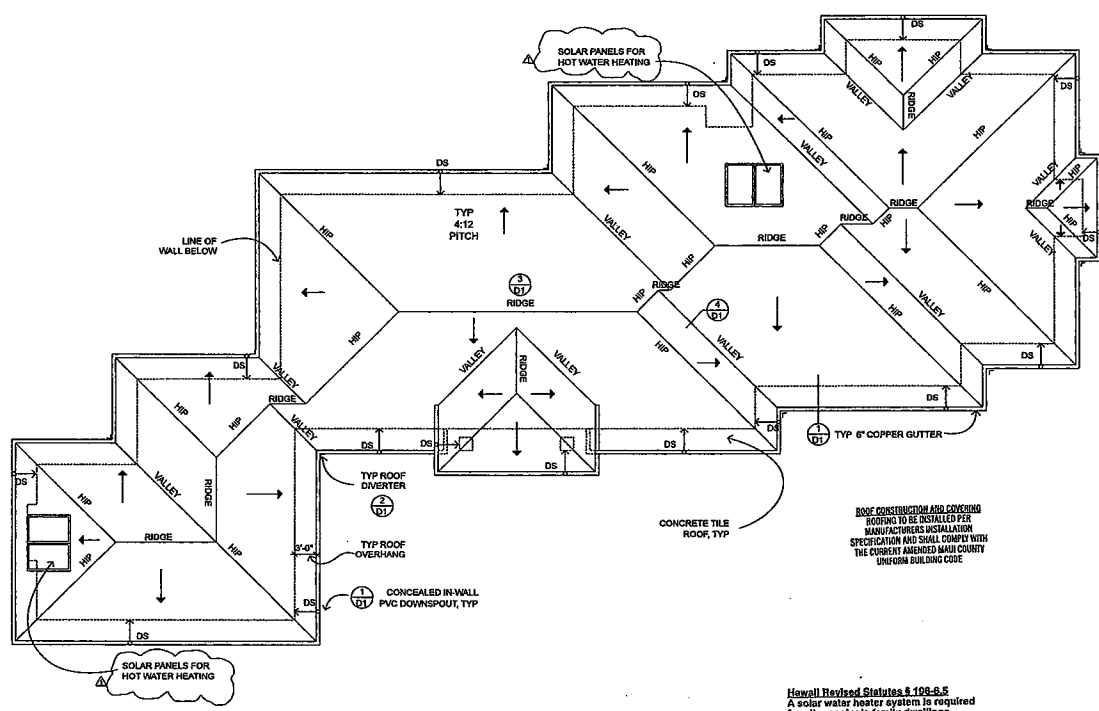
TMK: (2)-2-1-005-135

ROOF PLAN

Number	Date	Description of Revisions
1	12/26/14	solar hot water panels
2		tile block classification

Scale: as noted
Date: AUGUST 6, 2014 Job Number:

Sheet Number: **A-6**

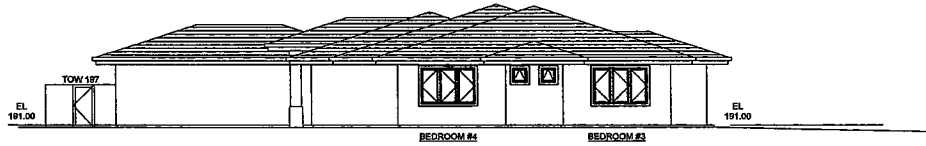


Hawaii Revised Statutes § 195-5.5
A solar water heater system is required for all new single family dwellings.

CONSTRUCTION SHALL BE APPROVED BY AN ARCHITECT OR STRUCTURAL ENGINEER WHEN REQUESTED BY THE BUILDING INSPECTOR

Roof Plan
Scale 1/8" = 1'-0"

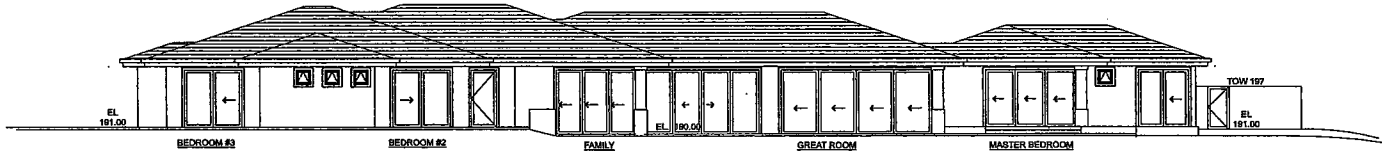




NORTH ELEVATION

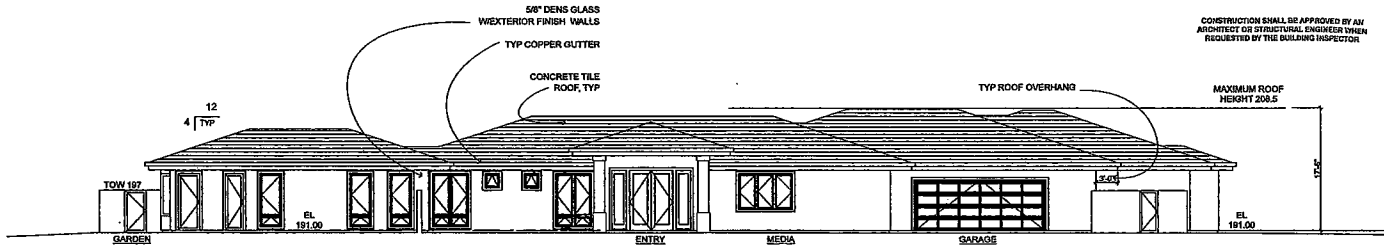
Scale 1/8" = 1'-0"

NOTE:
 PER AMENDED 2008 IRC R602.1 EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY SECTION R604 SHALL BE PROVIDED WITH A MANUFACTURERS DESIGNATION WHICH IS VISIBLE IN FINAL INSPECTION. SEE COMPLETE CODE FOR EXCEPTIONS AND SPECIFIC INFORMATION.
 SEE DOOR AND WINDOW SCHEDULE SHEET AS FOR LOCATIONS OF SAFETY GLASS.



WEST ELEVATION

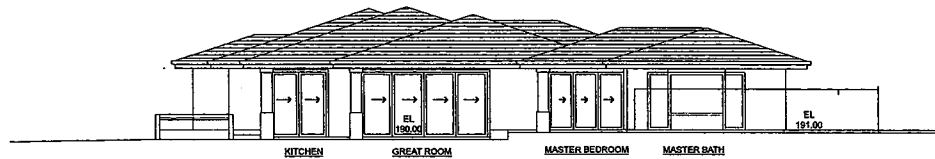
Scale 1/8" = 1'-0"



EAST ELEVATION

Scale 1/8" = 1'-0"

Hawaii Revised Statutes 5.196-6.5
 A solar water heater system is required for all new single family dwellings.



SOUTH ELEVATION

Scale 1/8" = 1'-0"

DEE BELL
 ARCHITECT
 P.O. BOX 2115
 KIHAI, MAUI, HI 95753
 808 250-3245



RESIDENCE
 FOR
 EVANS HOLDINGS
 LLC

MO'OMOKU, HONUAULA,
 MAKAWAO, MAUI, HAWAII

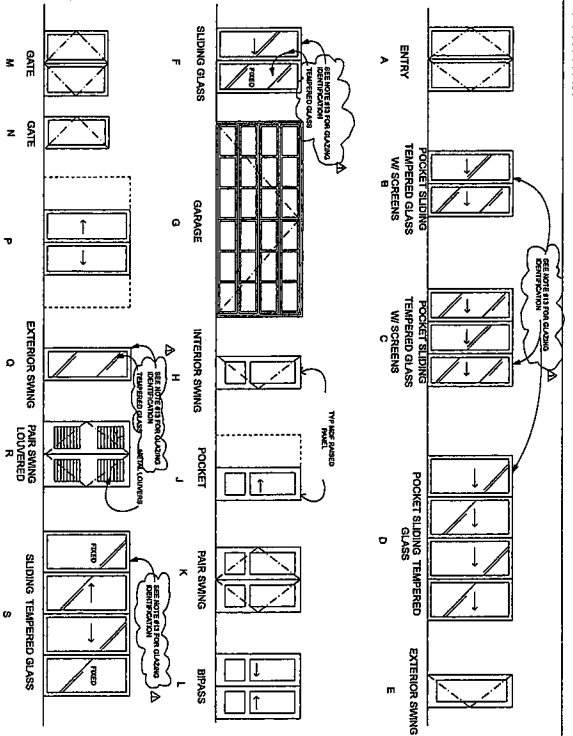
TMK: (2)-2-1-005-135

ELEVATIONS

Number	Date	Description of Revision
1	12/15/15	glazing clarification
2	12/21/14	Site block clarification

Scale: AS NOTED
 Date: AUGUST 6, 2014 Job Number:
 Sheet Number: **A-7**

DOOR TYPES



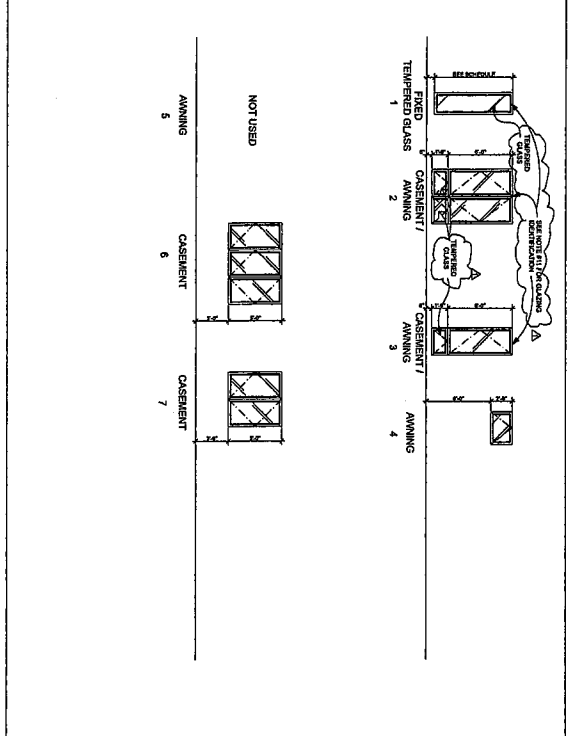
DOOR AND FRAME SCHEDULE

REF.	ROOM	FR.	FR.M.	SIZE	REMARKS	TEMPERED GLASS
1	ENTRY	A	WOOD	6' x 7' 6"	CUSTOM DOOR	TEMPERED
2	MASTER BATH	F	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
3	MASTER BEDROOM	G	WOOD	11'-0" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
4	MASTER BEDROOM	G	WOOD	11'-0" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
5	MASTER BEDROOM	G	WOOD	11'-0" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
6	LIVING	D	WOOD	16'-0" x 7' 6"	4 PANELS @ 4'-2"	TEMPERED
7	DINING	D	WOOD	16'-0" x 7' 6"	4 PANELS @ 4'-2"	TEMPERED
8A	PAINT ROOM	B	WOOD	12' x 7' 6"	2 PANELS @ 4'-2"	TEMPERED
8B	PAINT ROOM	B	WOOD	12' x 7' 6"	2 PANELS @ 4'-2"	TEMPERED
9	POOL BATH	E	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
10	POOL BATH	E	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
11	POOL BATH	E	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
12	GARAGE	H	WOOD	16' x 7' 6"	16' x 7' 6"	TEMPERED
13	MASTER BEDROOM	J	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
14	MASTER BEDROOM	J	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
15	MASTER BEDROOM	J	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
16	MASTER BEDROOM	J	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
17	WOMEN LEAVEN CLOSET	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
18	SHOWER	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
19	HEADWATER	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
20	POWDER	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
21	UTILITY	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
22	UTILITY	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
23	POOL BATH	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
24	POOL BATH	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
25	POOL BATH	I	WOOD	2'-6" x 7' 6"	2'-6" x 7' 6"	TEMPERED
26	BEDROOM #2	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
27	BEDROOM #2	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
28	BEDROOM #2	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
29	BEDROOM #2	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
30	BEDROOM #2	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
31	BEDROOM #4	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
32	BEDROOM #4	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
33	BEDROOM #4	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
34	STORAGE	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
35	STORAGE	I	WOOD	7' 6" x 7' 6"	3 PANELS @ 2'-2"	TEMPERED
36	NOT USED					
37	MASTER GARDEN GATE	N	WOOD	3' x 6'	3' x 6'	TEMPERED
38	NOT USED					
39	NOT USED					
40	AC GATE	N	WOOD	3' x 6'	3' x 6'	TEMPERED
41	MASTER GARDEN GATE	N	WOOD	3' x 6'	3' x 6'	TEMPERED

DOOR AND FRAME NOTES

- CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SPECIFICATIONS. THEREAFTER, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF PROCEEDINGS WITH THE WORK.
- ALL SPECIFICATIONS ARE FOR THE CONFORMANCE OF THE CONTRACTOR TO THE SCHEDULES AND CONSTRUCTION OF THE PROJECT TO THE SCHEDULES WITH THE PLANS, ELEVATIONS, AND DETAILS.
- ALL DOORS SHALL BE 2" MIN. CLEARANCE UNLESS OTHERWISE NOTED.
- SET DOOR PLANT TO DETERMINE THE ACTING LEAF OF SLIDING GLASS DOORS.
- CONTRACTOR SHALL VERIFY ALL DOOR TYPES AND SIZES PRIOR TO COMMENCEMENT OF PROCEEDINGS WITH THE WORK.
- SLIDING GLASS DOORS SHALL BE 1/2" CLEARANCE FROM THE FRAME.
- ALL EXTENSION DOORS SHALL HAVE WEATHER THRESHOLDS AND JAMB WEATHER STRIPS, UNLESS OTHERWISE NOTED.
- DOOR BESS NOTED ON THE DOOR SCHEDULES ARE NOMINAL DOOR ACTUAL, UNLESS OTHERWISE NOTED.
- PRIME AND INSTALL LAB MUST BE APPROVED.
- DOOR LABELS SHALL BE INSTALLED AS NOTED.
- CONTRACTOR SHALL VERIFY DOOR COORDINATE THE CORNER AND BESS 300, ON FLEETWOOD BESS 300 AT POCKET DOORS ONLY TO BE INSTALLED.
- GARAGE DOOR SHALL BE 2" CLEARANCE FROM THE FRAME.
- LEAFMASTER 24 SP BELT DRIVE BELT DRIVE.
- DOOR AND FRAME TO BE DELIVERED.
- PREPARED DRAWING SHALL BE 1/4" SCALE OF GLASS INSTALLATION IN HAZARDOUS LOCATIONS AS NOTED IN SECTION 08110 SHALL BE PROVIDED INSPECTION. SEE COMPLETE CODE FOR EXCEPTIONS AND SPECIFIC INFORMATION.

WINDOW TYPES



WINDOW SCHEDULE

REF.	ROOM	FR.	FR.M.	SIZE	REMARKS	TEMPERED GLASS
A	ENTRY	1	FIBERGLASS	7'-6" x 7'-6"	TEMPERED	TEMPERED GLASS SEE NOTES 1 & 2
B	POWDER ROOM COVER	2	FIBERGLASS	6' x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
C	MASTER BATH	2	FIBERGLASS	6' x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
D	MASTER BATH	2	FIBERGLASS	6' x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
E	POWDER ROOM	2	FIBERGLASS	7'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
F	POWDER ROOM	2	FIBERGLASS	7'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
G	MASTER CLOSET	3	FIBERGLASS	3' x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
H	NOT USED					
J	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
K	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
L	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
M	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
N	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
P	MASTER BATH	3	FIBERGLASS	2'-6" x 7'-6"	TEMPERED AWNING	TEMPERED AWNING
Q	NOT USED					
R	POOL BATH	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
S	POOL BATH	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
T	BATH #2	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
U	BATH #3	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
V	BATH #4	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
W	BATH #4	4	FIBERGLASS	2' x 2'	TEMPERED	TEMPERED
X	HEAD ROOM	6	FIBERGLASS	7'-6" x 6'	TEMPERED	TEMPERED
Y	HEAD ROOM	6	FIBERGLASS	7'-6" x 6'	TEMPERED	TEMPERED
Z	HEAD ROOM	6	FIBERGLASS	7'-6" x 6'	TEMPERED	TEMPERED

WINDOW NOTES

- CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SPECIFICATIONS. THEREAFTER, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF PROCEEDINGS WITH THE WORK.
- ALL SPECIFICATIONS ARE FOR THE CONFORMANCE OF THE CONTRACTOR TO THE SCHEDULES AND CONSTRUCTION OF THE PROJECT TO THE SCHEDULES WITH THE PLANS, ELEVATIONS, AND DETAILS.
- ALL WINDOWS SHALL BE 2" MIN. CLEARANCE UNLESS OTHERWISE NOTED.
- SET WINDOW PLANT TO DETERMINE THE ACTING LEAF OF SLIDING GLASS DOORS.
- CONTRACTOR SHALL VERIFY ALL WINDOW TYPES AND SIZES PRIOR TO COMMENCEMENT OF PROCEEDINGS WITH THE WORK.
- SLIDING GLASS DOORS SHALL BE 1/2" CLEARANCE FROM THE FRAME.
- ALL EXTENSION WINDOWS SHALL HAVE WEATHER THRESHOLDS AND JAMB WEATHER STRIPS, UNLESS OTHERWISE NOTED.
- WINDOW BESS NOTED ON THE WINDOW SCHEDULES ARE NOMINAL WINDOW ACTUAL, UNLESS OTHERWISE NOTED.
- PRIME AND INSTALL LAB MUST BE APPROVED.
- WINDOW LABELS SHALL BE INSTALLED AS NOTED.
- CONTRACTOR SHALL VERIFY WINDOW COORDINATE THE CORNER AND BESS 300, ON FLEETWOOD BESS 300 AT POCKET WINDOWS ONLY TO BE INSTALLED.
- WINDOW AND FRAME TO BE DELIVERED.
- PREPARED DRAWING SHALL BE 1/4" SCALE OF GLASS INSTALLATION IN HAZARDOUS LOCATIONS AS NOTED IN SECTION 08110 SHALL BE PROVIDED INSPECTION. SEE COMPLETE CODE FOR EXCEPTIONS AND SPECIFIC INFORMATION.

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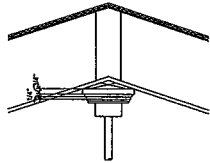
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MAKAWAO, MAUI, HAWAII
TEL: (924) 405-1155

SCHEDULES

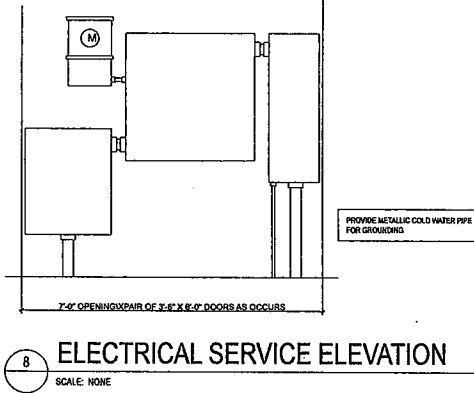
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ARCHITECT
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808.250.5245

DATE: 04/18/2024
DRAWN BY: A-9
CHECKED BY: A-9
SCALE: AS SHOWN

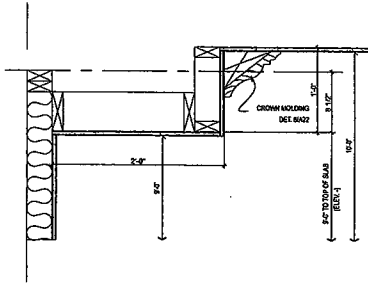
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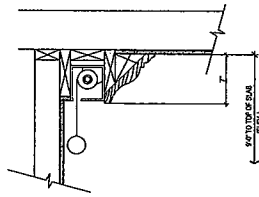
9 CEILING FAN DETAIL
SCALE: 1 1/2"=1'-0"



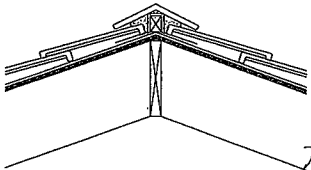
8 ELECTRICAL SERVICE ELEVATION
SCALE: NONE



7 COVE LIGHT DETAIL
SCALE: 1 1/2"=1'-0"

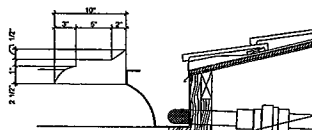


6 SOLAR SHADE DET.
SCALE: 1 1/2"=1'-0"

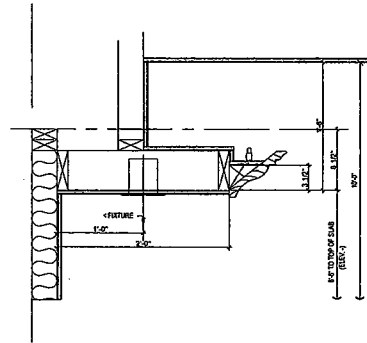


NOTE:
APPLY CONTINUOUS BEAD OF ROOFERS CEMENT CARVED OVER NOSE ENDS OF
PROVIDE NAILING AND WIND CLIPS PER MANUFACTURER'S INSTALLATION PROCEDURES.
PAINT ALL EXPOSED MOISTURE TO MATCH ROOF TILE. PAINT ALL LEAD FLASHING TO MATCH ROOF TILE.

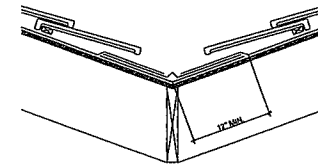
3 ROOF RIDGE DETAIL
SCALE: 1 1/2"=1'-0"



2 RAIN DIVERTER DET.
SCALE: 1 1/2"=1'-0"

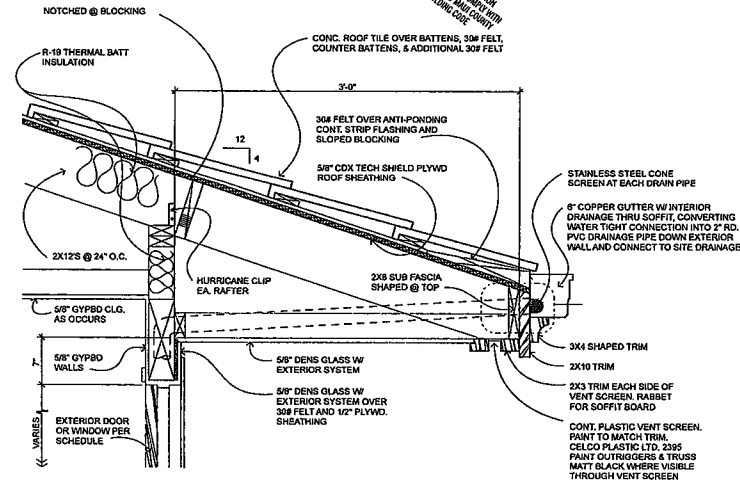


5 COVE LIGHT DETAIL
SCALE: 1 1/2"=1'-0"

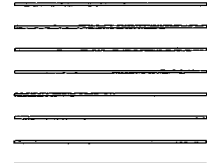


NOTE:
PROVIDE NAILING AND WIND CLIPS PER MANUFACTURER'S INSTALLATION PROCEDURES.

4 ROOF VALLEY DET.
SCALE: 1 1/2"=1'-0"



1 TYPICAL EAVE DETAIL
SCALE: 1 1/2"=1'-0"



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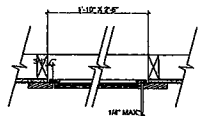


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MAKAWAO, MAUI, HAWAII
TMK: (2)-2-1-005-135

MISCELLANEOUS DETAILS

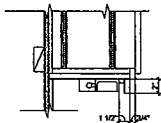
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Sheet Number:

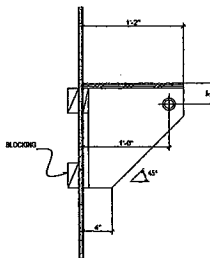


NOTE:
WHERE DIMAPPEARING STAIRS IS SPECIFIED ON
CEILING PLAN, PROVIDE BESSER STAIRWAY CO.
MODEL 1W OR APPROVED EQUAL.

6 ATTIC SCUTTLE DET.
SCALE: 1 1/2"=1'-0"

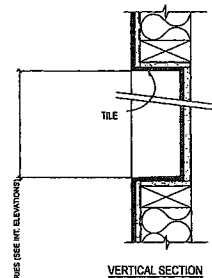


5 UNDERCAB. LIGHT DET.
SCALE: 1 1/2"=1'-0"

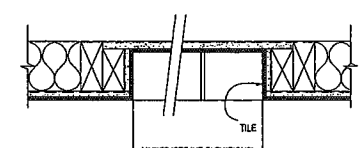


4 ROD & SHELF DETAIL
SCALE: 1 1/2"=1'-0"

NOTE:
PROVIDE FULL TILE MODULE OPENING. LOCATE OPENING NEAR
CENTER OF SHOWERTUB, NOT NECESSARILY EXACTLY AT
CENTER. FRAME OPENING LARGER AND REDUCE AS NEEDED
TO ACCOMMODATE TILE. VERIFY TILE SIZE PRIOR TO FRAMING.

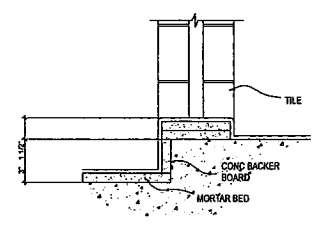


VERTICAL SECTION

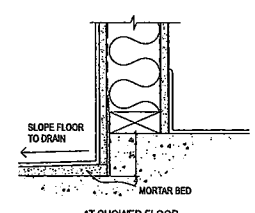


PLAN SECTION

2 NICHE AT SHOWER DET.
SCALE: 3"=1'-0"

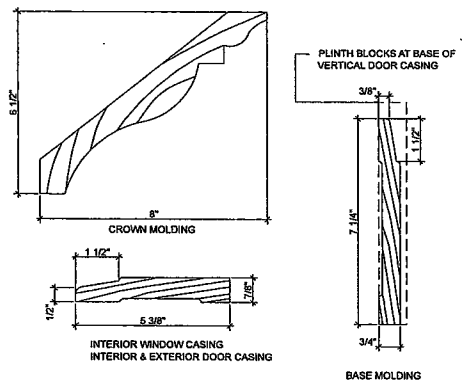


AT SHOWER OPENING

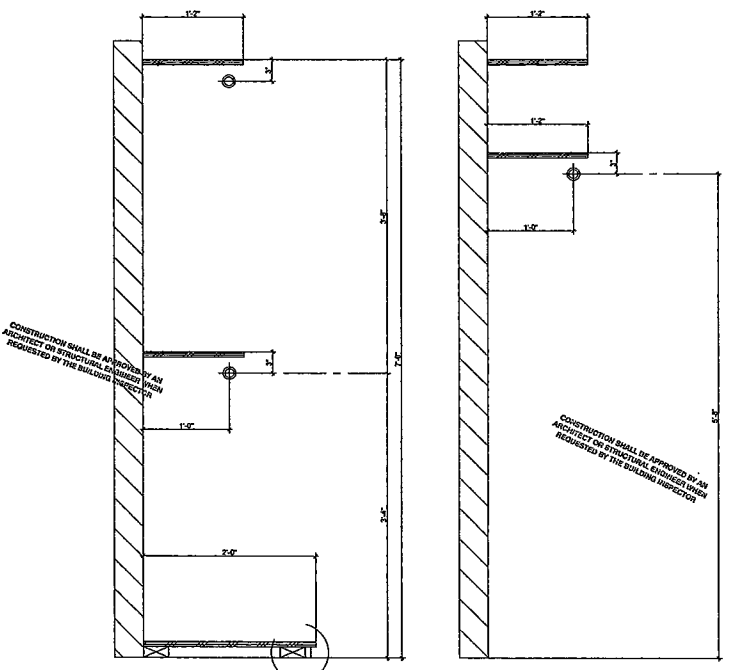


AT SHOWER FLOOR

1 SHOWER FLOOR DET.
SCALE: 3"=1'-0"

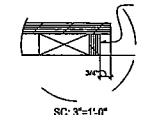


7 MOLDING & CASING
SCALE: HALF SIZE

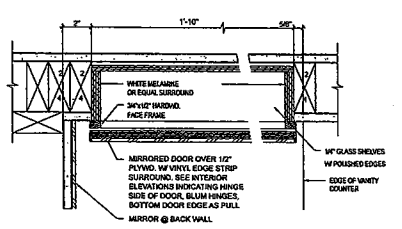


DOUBLE HANGING

SINGLE HANGING W/
2 SHELVES ABOVE
(NO TOE KICK)



3 TYPICAL ROD AND SHELF DETAIL
SCALE: 1 1/2"=1'-0"



8 SIDE WALL MEDICINE CABINET - PLAN SECTION
SCALE: 3"=1'-0"

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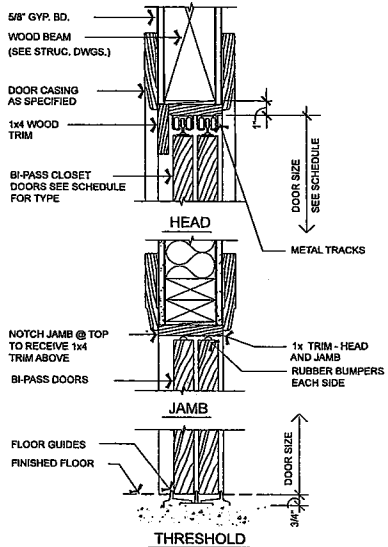
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TMK: (2)-2-1-005-135

MISCELLANEOUS DETAILS

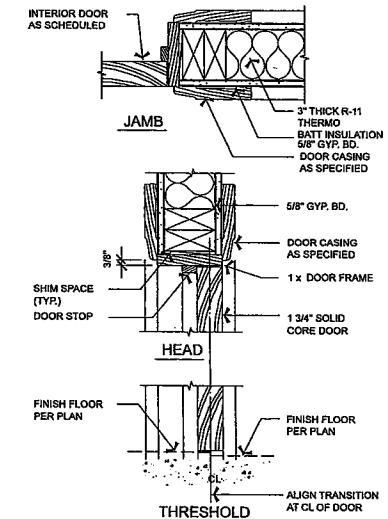
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Date: AUGUST 6, 2014 Job Number:

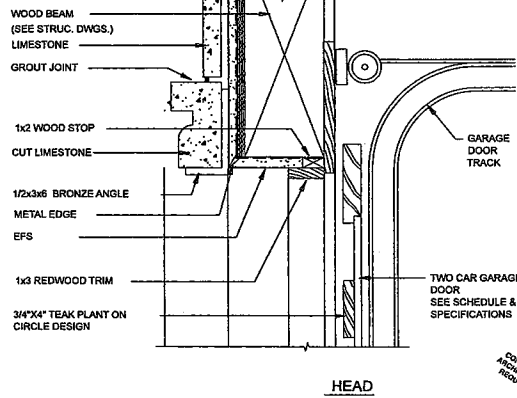
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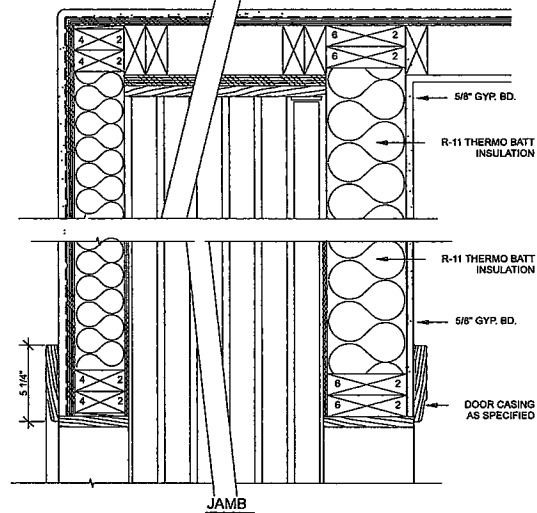
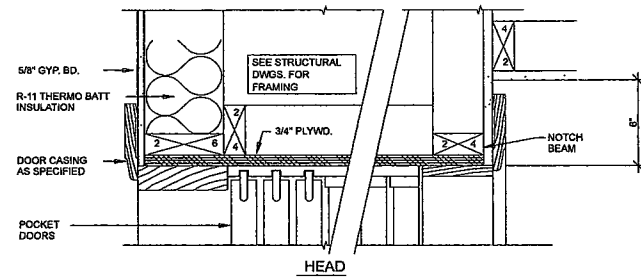
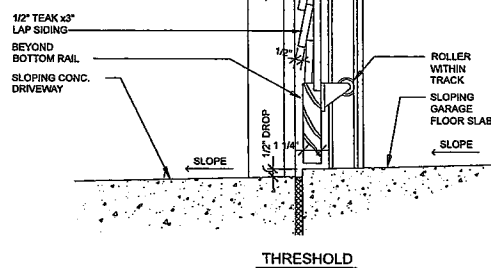
4 BI-PASS DOOR DETAIL
SCALE: 3/4"=1'-0"



3 INTERIOR DOOR DETAIL
SCALE: 3/4"=1'-0"



2 GARAGE DOOR DETAIL
SCALE: 3/4"=1'-0"



1 SLIDING POCKET DOORS
SCALE: 3/4"=1'-0"

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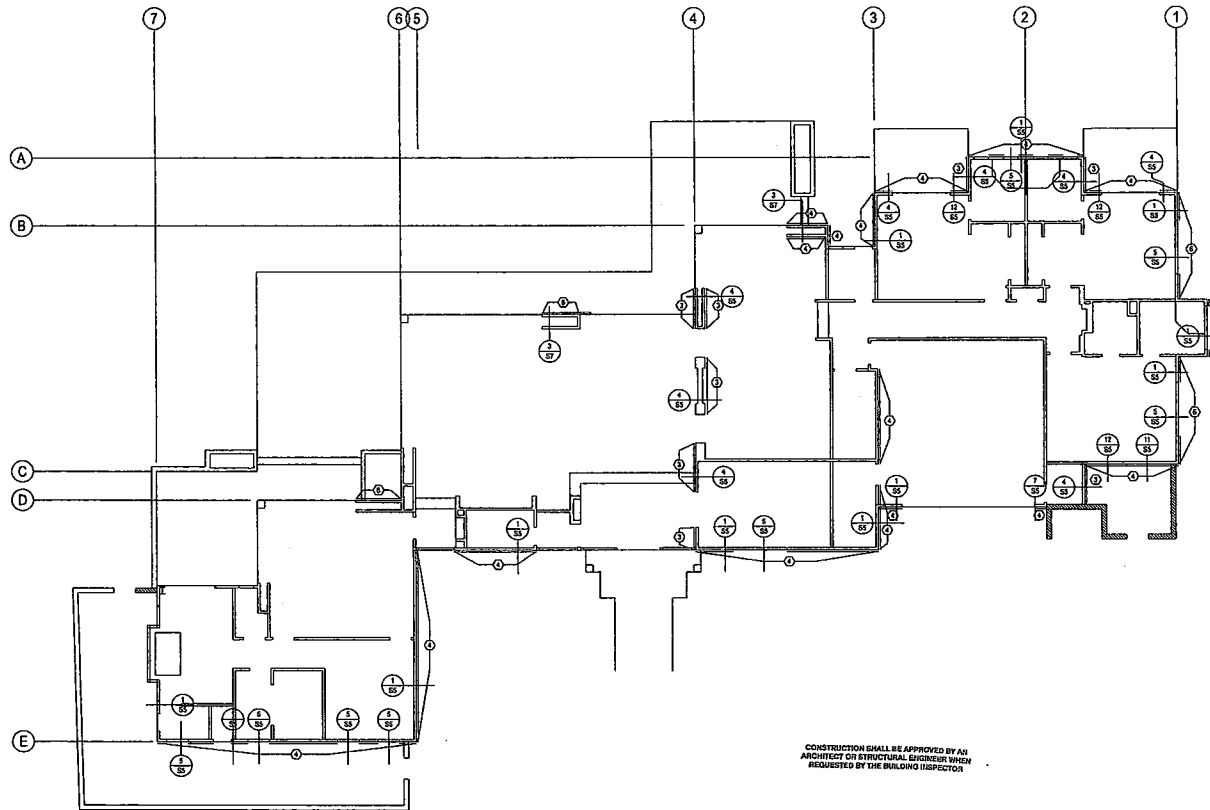
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MISCELLANEOUS DETAILS

Number	Date	File block classification	Description of Revision
	12/2/14		

Scale: as noted
Date: AUGUST 6, 2014
Job Number

Sheet Number



CONSTRUCTION SHALL BE APPROVED BY AN ARCHITECT OR STRUCTURAL ENGINEER WHEN REQUESTED BY THE BUILDING INSPECTOR.

MAIN LEVEL - SHEARWALL PLAN
SCALE: 1/4" = 1'-0"



SHEARWALL NOTES - WALLS

Ⓢ INDICATES SHEAR WALL. SEE SHEETS S5 FOR FRAMING & WALLING.
 FOR 20'-0" x 20'-0" SHEAR WALL PANELS, INSTALL 3X FRAMING MEMBERS AT ALL PANEL JOINTS.
 SEE SHEETS S5 & S6 FOR SHEAR WALL NOTES, SCHEDULES, ANCHOR BOLT PLACEMENT, PRESSURE TREATED SILL SIZES, AND INSTALLATION DETAILS.
 NOTIFY ENGINEER OF ANY REVISIONS TO SHEAR WALL OR FLD MODIFICATIONS DUE TO UNFORSSEEN CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
 DETAILS INDICATE TOP OF SHEAR WALL CONNECTION TO HORIZONTAL PLYWOOD SHEATHING.
 DIMENSION SHEARWALL ANGLES SHALL BE GIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.
 THE FASTENERS USED IN THE SHEAR WALL DESIGN ARE 1/4" COMMONS OR 1/2" GALVANIZED BOX ANGLS. ANY FASTENER SUBSTITUTION WILL HAVE TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.
 HOLDINGS FOR SHEAR WALLS ARE INDICATED ON FOUNDATION PLAN.
 SEE DETAIL S153 FOR TYPICAL SHEAR WALL.

SHEARWALL LEGEND

- DW-P18' Ⓢ
- DW-P14' Ⓢ
- DW-P13' Ⓢ

SEE SHEETS S5 FOR SHEARWALL SCHEDULE, NOTES & DETAILS

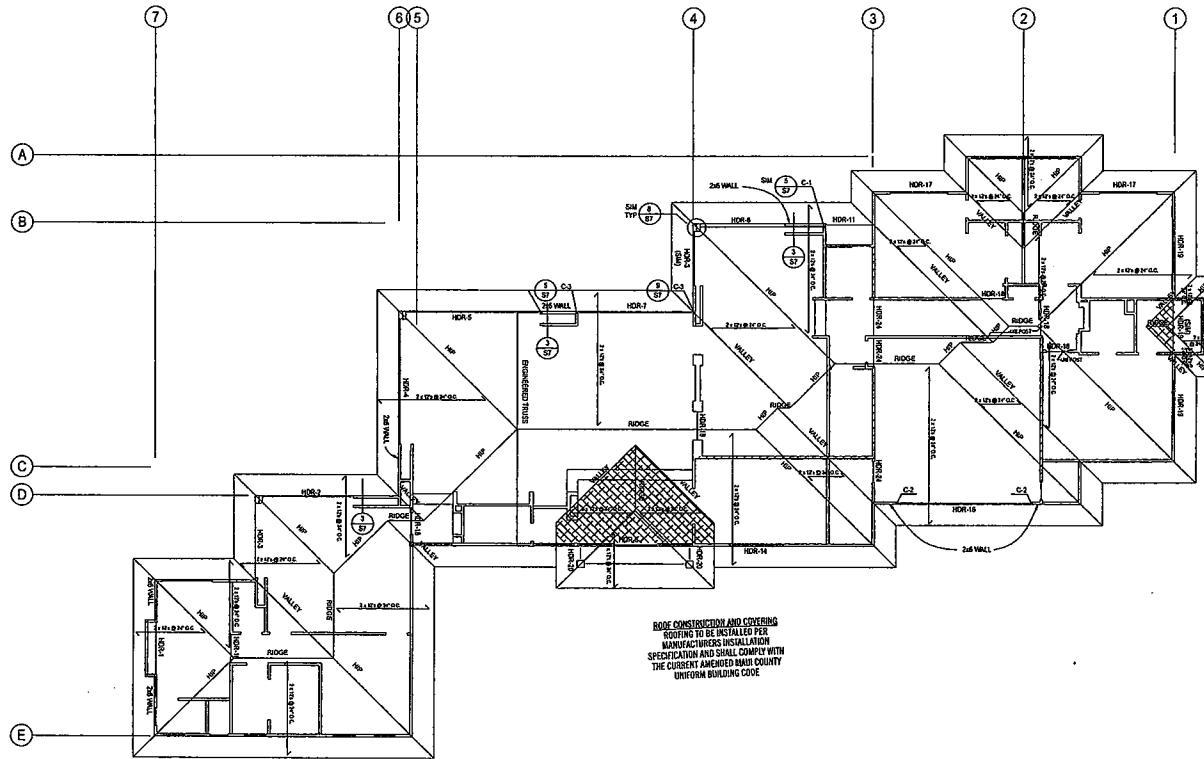
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 FOR
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SHEAR WALL PLAN

Number	Date	Description of Revision
12/5/14		file block clarification



ROOF CONSTRUCTION AND COVERING
 ROOFING TO BE INSTALLED PER
 MANUFACTURERS INSTALLATION
 SPECIFICATION AND SHALL COMPLY WITH
 THE CURRENT AMENDED HAWAII COUNTY
 UNIFORM BUILDING CODE

CONSTRUCTION SHALL BE APPROVED BY AN
 ARCHITECT OR STRUCTURAL ENGINEER WHEN
 REQUESTED BY THE BUILDING INSPECTOR.

Hawaii Revised Statutes § 196-6.6
 A solar water heater system is required
 for all new single family dwellings.

ROOF FRAMING PLAN

SCALE: - 1"=1'-0"

NOTES:

- UNLESS OTHERWISE NOTED ROOF FRAMING TO BE 2 x 12 @ 24" O.C.
- INDICATES INTERIOR BEARING WALL
- INDICATES UPPER ROOF OVER FRAMING

BEAM SCHEDULE

HDR-1	3-2x10-0' GLB 24PV8	C-1	T210a-3
HDR-2	3-2x10' GLB 24PV4	C-2	T230a-4
HDR-3	3-2x10' GLB 24PV4	C-3	T510a-3
HDR-4	3-2x10-0' GLB 24PV4		
HDR-5	W4x8 STEEL BEAM		
HDR-6	3-2x10' GLB 24PV4		
HDR-7	3-2x10-0' GLB 24PV2		
HDR-8	W4x8 STEEL BEAM		
HDR-9	NOT USED		
HDR-10	NOT USED		
HDR-11	3-2x10-0' GLB 24PV4		
HDR-12	NOT USED		
HDR-13	3-2x10-0' GLB 24PV4		
HDR-14	4x10		
HDR-15	6x8 DFR		
HDR-16	W10x26		
	W8 TUBE STEEL COLUMNS		
	OR 3-2x10' GLB 24PV4		
HDR-17	3-2x10-0' GLB 24PV4		
HDR-18	4x10		
HDR-19	4x10		
HDR-20	4x8		
HDR-21	NOT USED		
HDR-22	3-2x10-0' GLB 24PV4		
HDR-23			
HDR-24	4x10 DFR		
RS-3	2x8 15'x2 @ 24"OC		
RS-4	6x8 DFR		

WINDOW & DOOR HEADERS TO BE 4x10 DFRS UNLESS
 NOTED OTHERWISE ON PLANS.

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RESIDENCE
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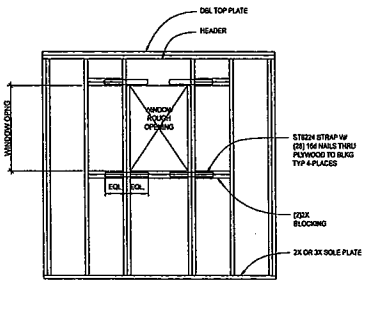
TMK: (2)-2-1-005-135

ROOF FRAMING PLAN

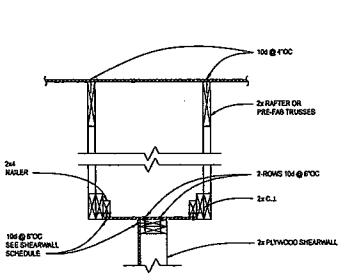
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125/14		Site block clarification

Sheet Number

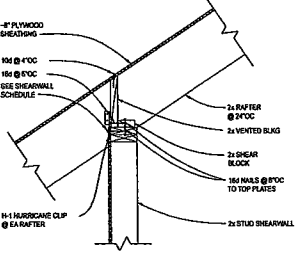
S4



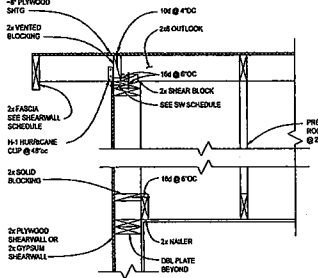
SHEARWALL @ WINDOW OPENING SCALE: 1/4\"/>



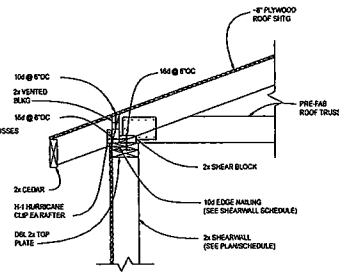
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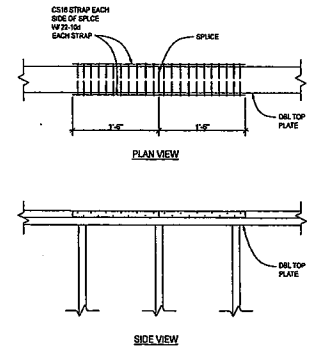
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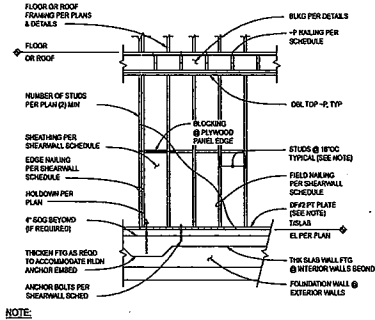
RAKE DETAIL SCALE: 1/4\"/>



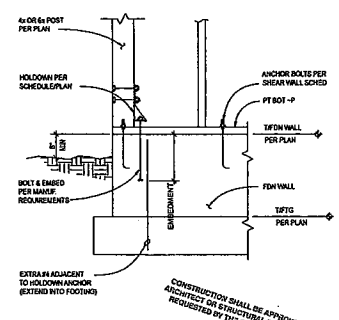
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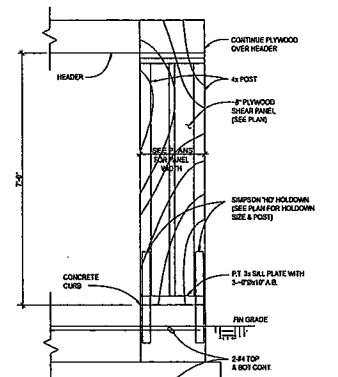
DOUBLE TOP PLATE SPLICE SCALE: 1/4\"/>



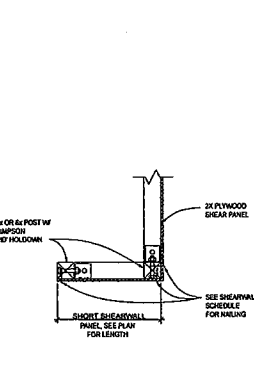
TYPICAL SHEARWALL ELEVATION SCALE: NTS



TYPICAL SHEARWALL/HOLDOWN CONN @ FDN SCALE: 1/4\"/>



LATERAL RETRAINT PANEL SCALE: NTS



CORNER DETAIL SCALE: 1/4\"/>

NOTE: P1, P2, P3 AND ALL 12\"/>

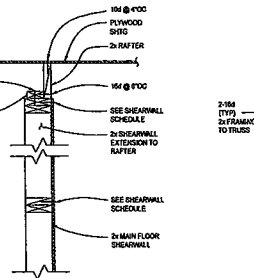
- NOTES:
- P1 INDICATES PLYWOOD ON ONE SIDE OF SHEARWALL ONLY.
 - P2 INDICATES PLYWOOD ON TWO SIDES OF SHEAR WALL. FRAMING MEMBERS SHALL BE 2x. CORSET PANELS TO FALL ON OPPOSITE SIDES ON OPPOSITE ENDS OF THE WALL.
 - PLYWOOD MAY BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY ON NEARER STAGE.
 - FRAMING SHALL BE 2\"/>
 - FOR HOLDOWN AT 2\"/>
 - SOLID BLOCK ALL PANEL EDGES WITH FULL DEPTH BLOCKING.
 - USE 1/4\"/>
 - HAIRING MUST BE FLUSH DRIVEN WITH OVERLAP ON SURFACE.
 - ANCHOR BOLTS TO HAVE MINIMUM 2\"/>
 - FINISH JOINTED STUDS ARE NOT TO BE USED AT HOLDOWN LOCATIONS.
 - HAIRING FOR PANEL EDGES SHALL BE 1/4\"/>
 - WHERE BOTTOM PLATE HAIRING REQUIRES (S) HAIRING AT A SPECIFIC SPACING, BLOCK FLOOR SPACE BELOW THE SOLE PLATE CONSISTING OF A MINIMUM OF TWO FRAMING MEMBERS. HAIRING PATTERN SHALL CONSIST OF TWO IN EACH MEMBER OFFSET 1/4\"/>
 - OFFSET FLOOR DAP/BRAG HAIRING OVER BOTTOM SILL HAIRING.
 - SCREWS MAY BE SUBSTITUTED FOR BOTTOM PLATE HAIRING (CHECK WITH ENGINEER BEFORE SUBSTITUTING).

SHEARWALL SCHEDULE:

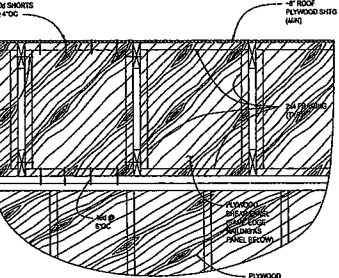
1/4\"/>

USE 1/4\"/>

WALL TYPE	MIN. SIZE	PANEL SIZE SPACING	TOYEM STUDS	VERT. EDGES	BLDG	REQUIRED ANCHORS FT SILL	REQUIRED ANCHORS BOTTOM PLATE	ALLOWABLE MAX. SIZE (S)
P1-4'	108	8" x 12"	8"	2x6 (4)	-7/8 @ 48"OC	1/4 @ 48"OC	280	
P1-4'	156	8" x 12"	8"	3x6 (4)	-7/8 @ 32"OC	(1) 1/4 @ 48"OC	428	
P1-3'	108	7" x 12"	7"	3x6 (4)	-7/8 @ 24"OC	(1) 1/4 @ 48"OC	150	
P1-2'	108	7" x 12"	7"	3x6 (4)	-7/8 @ 24"OC	(1) 1/4 @ 24"OC	710	
P2-6'	108	8" x 12"	8"	3x6 (4)	-7/8 @ 36"OC	(2) 1/4 @ 48"OC	300	
P2-4'	108	8" x 12"	8"	3x6 (4)	-7/8 @ 36"OC	(2) 1/4 @ 48"OC	300	
P2-2'	108	7" x 12"	7"	3x6 (4)	-7/8 @ 18"OC	(4) 1/4 @ 48"OC	1100	
P2-2'	108	7" x 12"	7"	3x6 (4)	-7/8 @ 12"OC	(4) 1/4 @ 48"OC	1420	



DETAIL SCALE: 1/4\"/>



DETAIL SCALE: 1/4\"/>

DEE BELL ARCHITECT P.O. BOX 2115 KIHIE, MAUI, HI 95753 808 250-3245



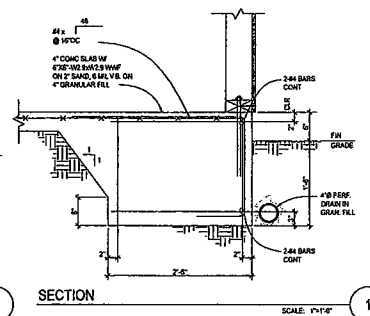
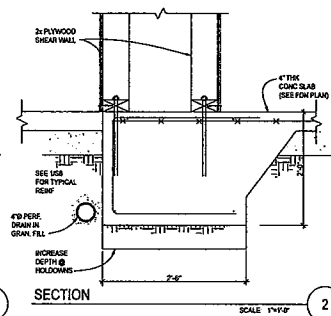
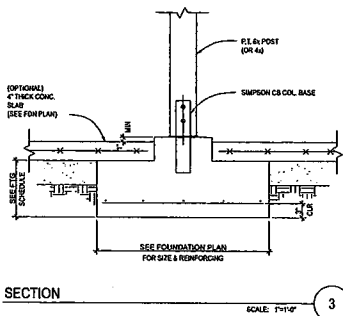
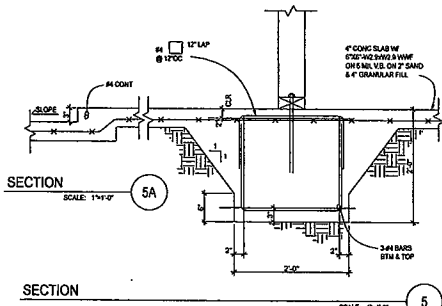
RESIDENCE FOR EVANS HOLDINGS LLC MO'OMOKU, HONUAULA, MAKAHAWO, MAUI, HAWAII TMK: (2)-2-1-005-135

SHEARWALL DETAILS

Number	Date	Description of Revision
125/14		file block clarification

Scale: AS NOTED
Date: AUGUST 6, 2014
Job Number:

S5

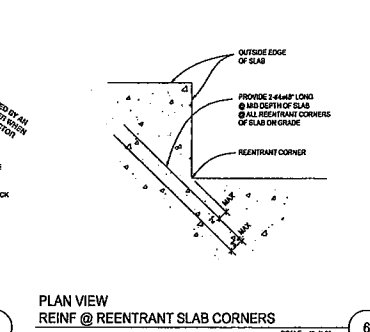
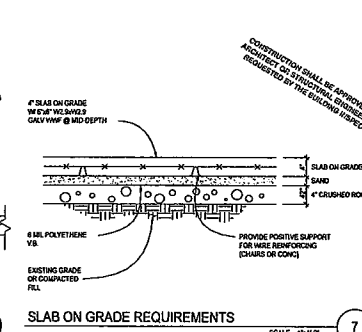
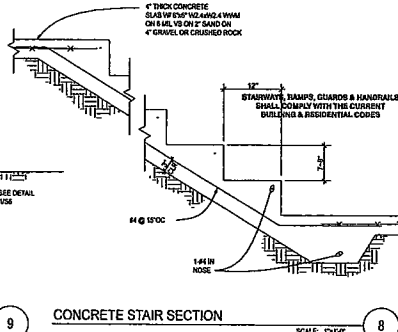
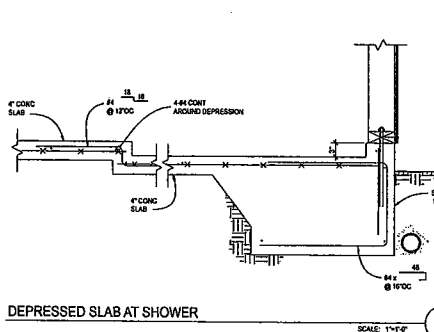


SECTION SCALE: 1/4"=1'-0" 5A

SECTION SCALE: 1/4"=1'-0" 5

SECTION SCALE: 1/4"=1'-0" 2

SECTION SCALE: 1/4"=1'-0" 1

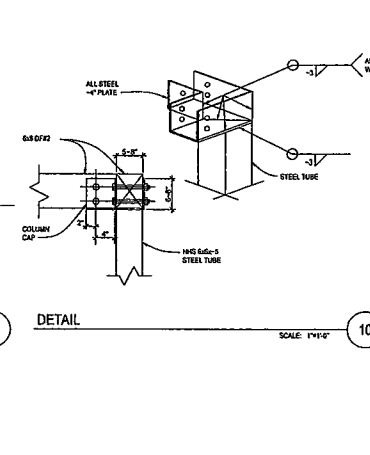
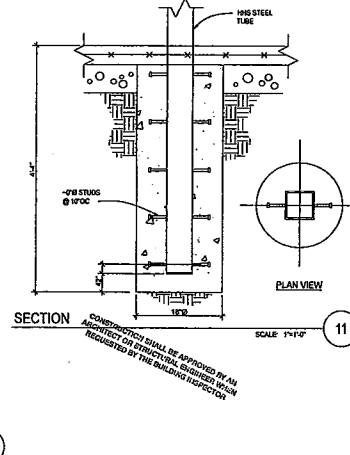
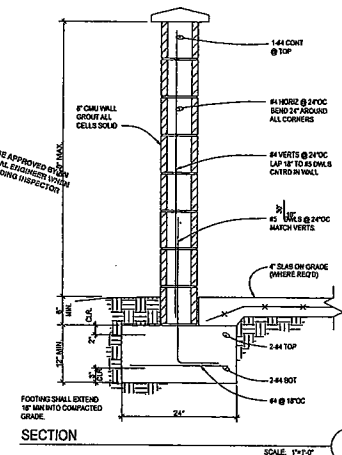
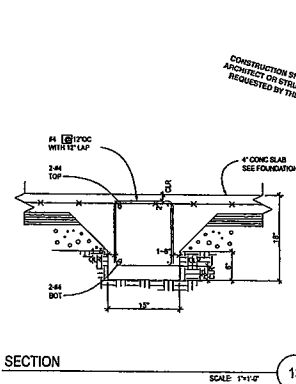
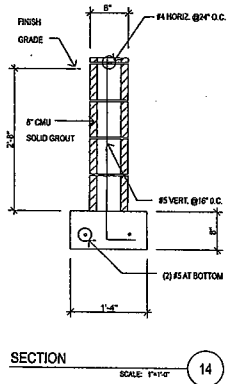


DEPRESSED SLAB AT SHOWER SCALE: 1/4"=1'-0" 9

CONCRETE STAIR SECTION SCALE: 1/4"=1'-0" 8

SLAB ON GRADE REQUIREMENTS SCALE: 1/4"=1'-0" 7

PLAN VIEW REINFT @ REENTRANT SLAB CORNERS SCALE: 1/4"=1'-0" 6



SECTION SCALE: 1/4"=1'-0" 14

SECTION SCALE: 1/4"=1'-0" 13

SECTION SCALE: 1/4"=1'-0" 12

SECTION SCALE: 1/4"=1'-0" 11

DETAIL SCALE: 1/4"=1'-0" 10

DEE BELL
ARCHITECT
 P.O. BOX 2115
 KIHEI, MAUI, HI 95753
 808 250-3245

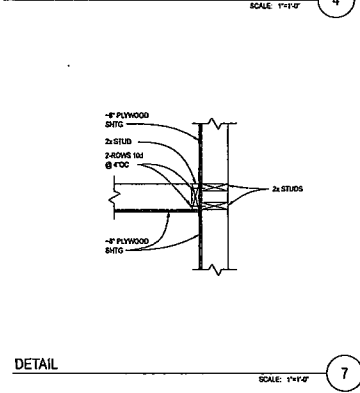
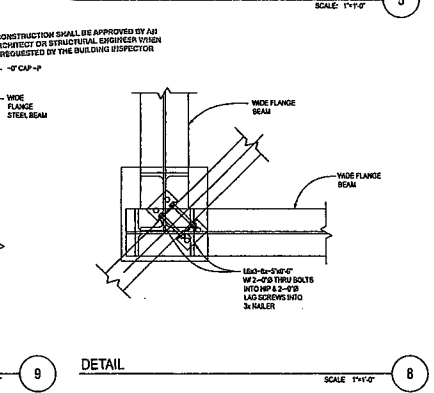
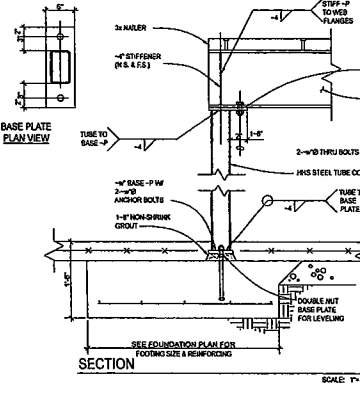
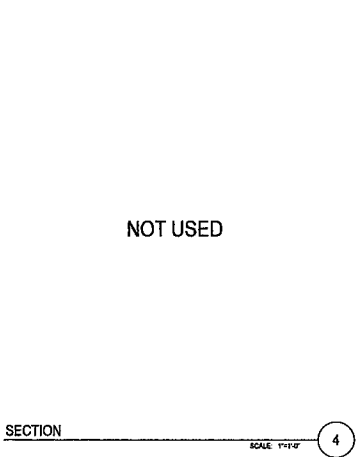
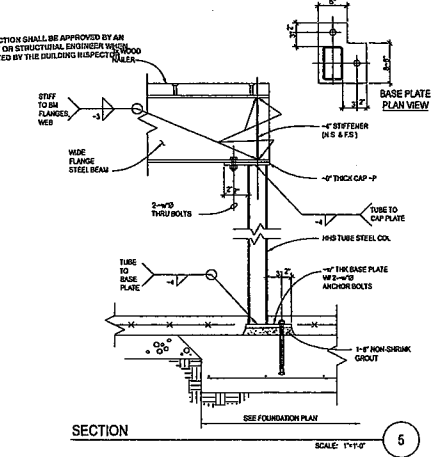
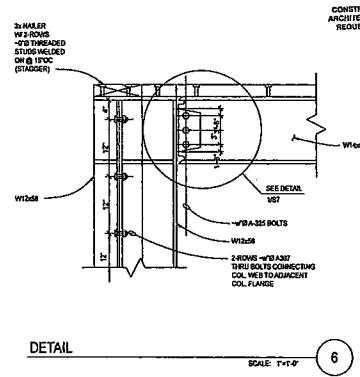
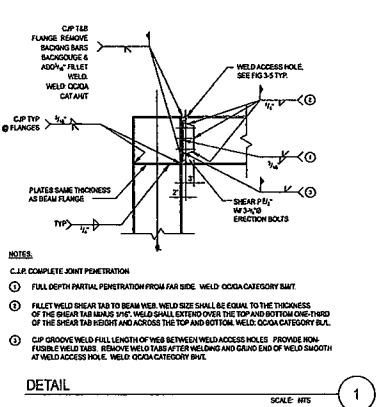
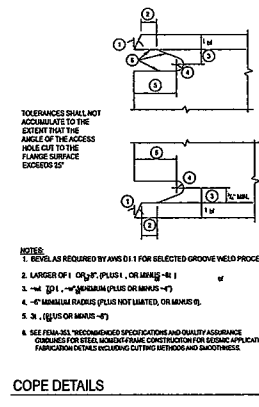
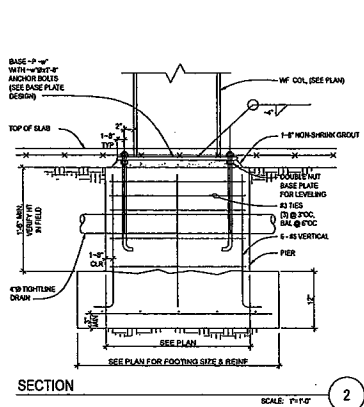
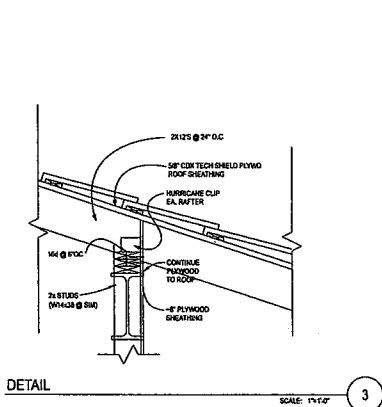


RESIDENCE
FOR
EVANS HOLDINGS
LLC
 MO'OMOKU, HONUUALA,
 MAKAWAO, MAUI, HAWAII
 TMK: (2)-2-1-005-135

FOUNDATION DETAILS

Number	Date	Revision / Description of Revision
12/5/14		5th block clarification

Scale: AS NOTED
 Date: AUGUST 6, 2014
 Job Number:
 Sheet Number:



DEE BELL ARCHITECT
 P.O. BOX 2115
 KIHAI, MAUI, HI 95753
 808 250-3245

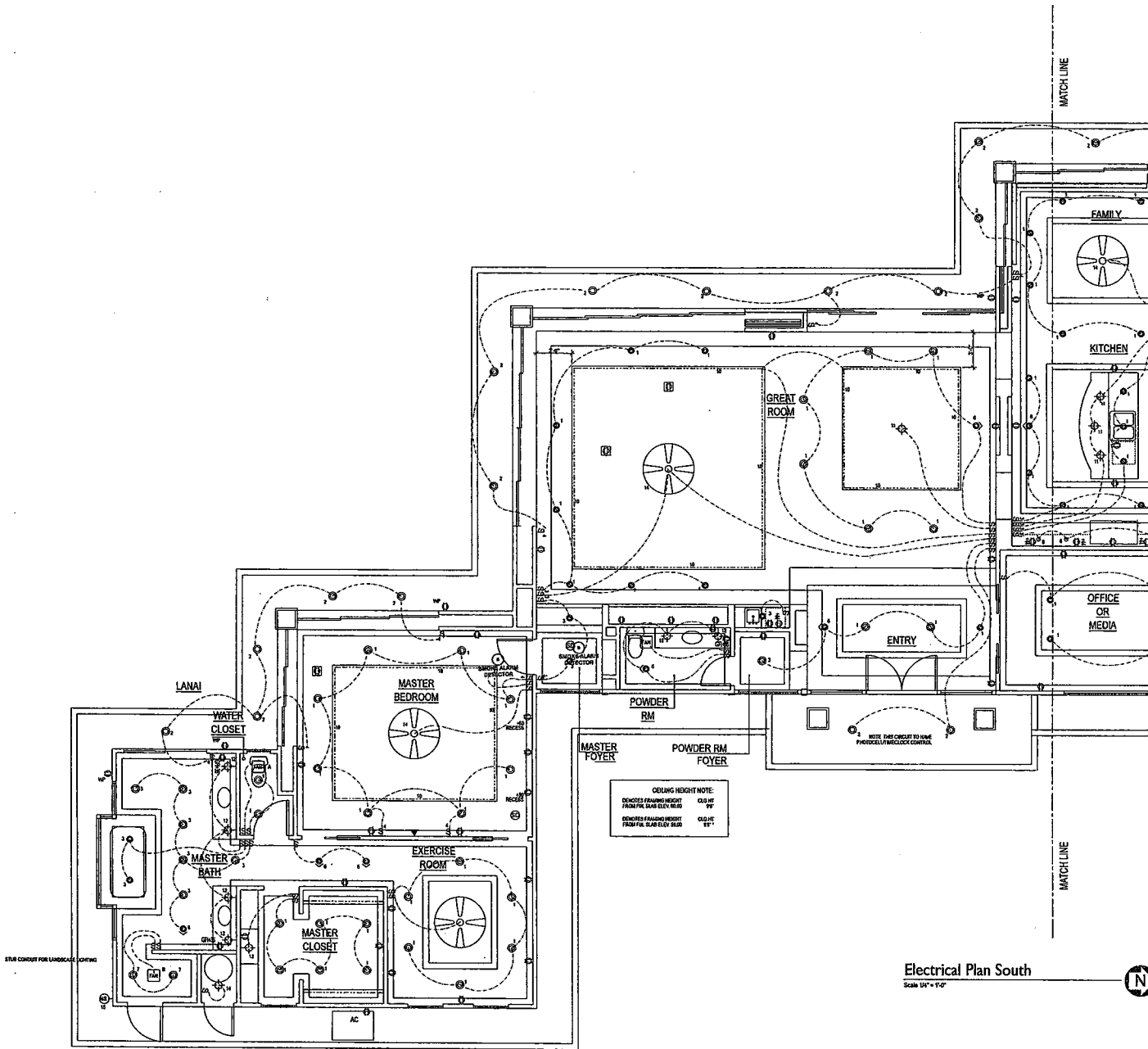


RESIDENCE FOR
 EVANS HOLDINGS LLC
 MO'OMOKU, HONUAULA,
 MAKAWAO, MAUI, HAWAII
 TMK: (2)-2-1-005-135

FRAMING DETAILS

Number	Date	File	Description of Revisions
	12/5/14		File block classification
S7			

NOT USED



DEE BELL
ARCHITECT
P.O. BOX 2115
KIHAI, MAUI, HI 95763
808 250-3245



exp. 4/30/16
This seal and registration are the property of the licensee and shall not be used for any other project without the consent of the licensee.

RESIDENCE
FOR
EVANS HOLDINGS
LLC

MO'OMOKU, HONUAULA,
MAKAWAO, MAUI, HAWAII

TMK: (2)-2-1-005-135

ELECTRICAL PLAN

1/25/14 File block classification

Months Date Description of Partitions

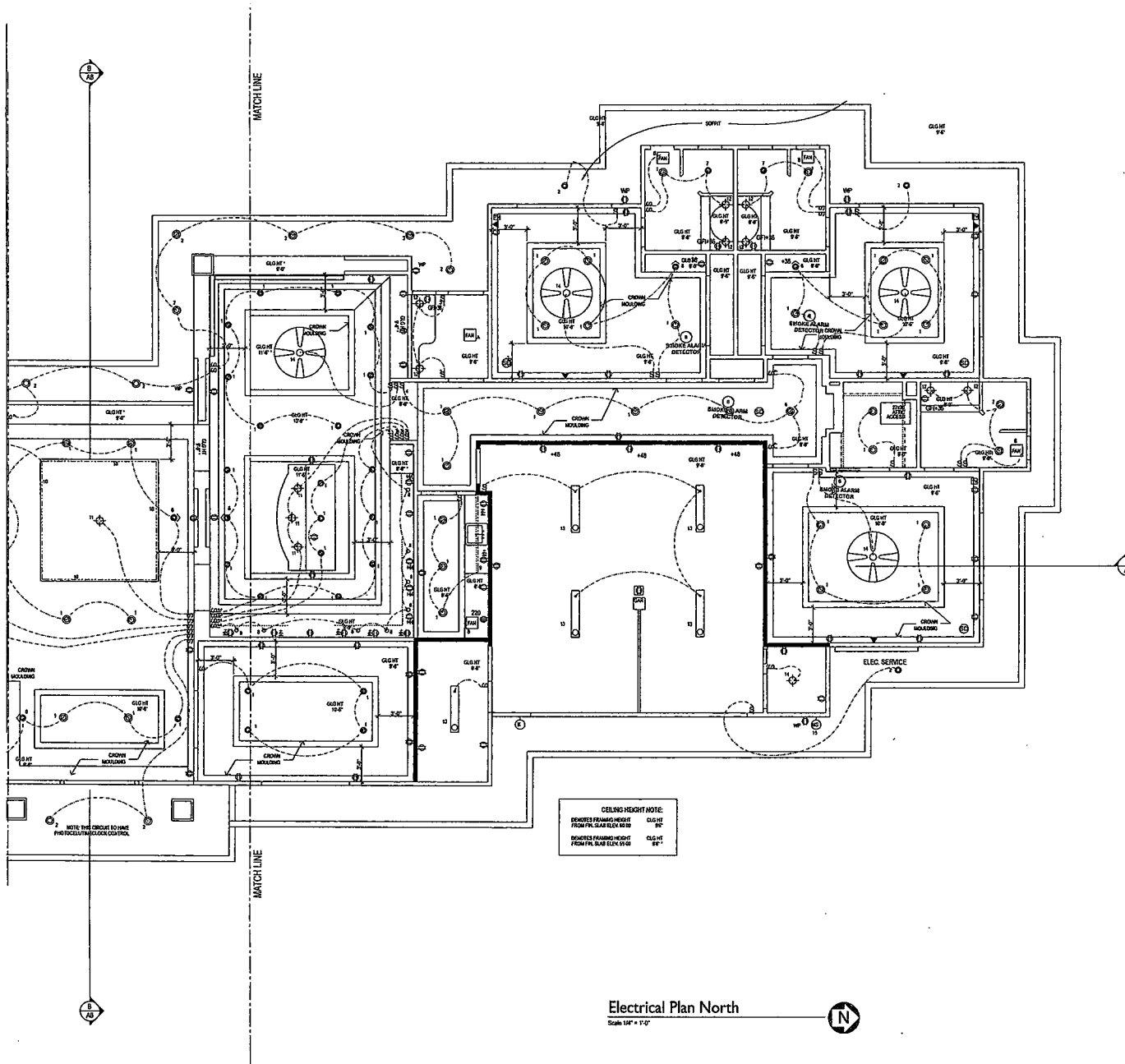
Scale: AS NOTED
Date: AUGUST 8, 2014 Job Number

Sheet Number

Electrical Plan South
Scale 1/8" = 1'-0"



E - 2



DEE BELL
 ARCHITECT
 P.O. BOX 2115
 KIHEI, MAUI, HI 95753
 808 250-3245



RESIDENCE
 FOR
 EVANS HOLDINGS
 LLC
 MO'OMOKU, HONUUALA,
 MAKAWAO, MAUI, HAWAII
 TMK: (2)-2-1-005-135

ELECTRICAL PLAN

Number	Date	Rev	Block clarification	Description of Revisions

Scale: as noted
 Date: AUGUST 6, 2014 Job Number: _____

Sheet Number: **E - 3**

**INDIVIDUAL WASTEWATER DESIGN FOR:
EVANS HOLDINGS INC
TMK: (2) 2-1-005:135
December 15, 2014**

**5 BEDROOM SOIL ABSORPTION BED:
1100 SF: 22' WIDE X 50' LONG
4-LINES of 4" perf. pipe, spaced 6' APART,
2' FROM SIDES with 12" gravel and
continuous filter fabric
SEE DETAILS**

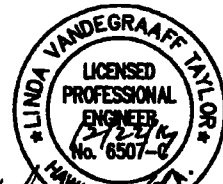
**INSPECTION PORTS (4):
EACH CORNER, SEE DETAIL
DISTRIBUTION BOX:
6" MIN INSPECTION PORT TO GRADE
1250 GALLON (MIN) SEPTIC TANK,
IAPMO CERT. : BRING MANHOLES TO
GRADE & SECURE OR WITHIN 12" & MARK.
SEE NOTES**

NOTES:

1. Contractor shall visit site and be completely familiar with the existing conditions and work to be performed. Contractor shall verify the location, invert, size, materials and conditions of existing structures and utilities and notify the Engineer immediately if any discrepancies are encountered.
2. Exact location of IWS to be field determined. All dimensions shown are minimums, locations approximate.
3. Contact Engineer 48 hours prior to construction observation.
4. Regrade where necessary to install system according to details.
5. Septic tank manhole covers can be either buried not more than 12 inches below the finish grade or brought to grade and secured. For septic tank manhole covers that are buried, provide some type of permanent marker, magnetic identification or GIS coordinates of the cover. For septic tank manhole covers brought to grade, the cover shall be secured to prevent unauthorized entry/opening of the tank. All septic tank manhole covers need to be watertight to prevent inflow from entering the tank and odors from venting. All manhole risers/extensions shall be the same diameter or greater than the septic tank's manhole openings (minimum, 20 inch diameter opening). For septic tanks that have effluent filters installed in them, the manhole at the effluent end of the septic tank shall be extended to grade and the manhole cover secured. Effluent filter shall have a handle extension.
6. If a distribution box or header is used, a permanent inspection port with a minimum of 6 inches diameter shall be secured to the box cover, brought to the finished grade and fitted with a screw type cap or cover.
7. System to be installed in stabilized fill only.
8. Plumbing from building to tank and from tank to distribution box must have a minimum slope of 1/4" per foot. If the slope between the tank and the distribution box exceeds 2" per foot, contact the Engineer before construction.
9. The depths to the pipe inverts of the septic tank, distribution box and absorption system are controlled by topographic features and the invert of the building sewer which may impact the depths shown on the drawings. The Engineer should be notified of all changes to the designed system.
10. Outside showers to drain into septic tank.

SETBACKS:

BUILDINGS:	5 FT
PROPERTY LINES:	5 FT
LARGE TREES:	10 FT
CESSPOOL/PL:	9 FT



SIGNATURE: *Linda VanDeGraff Taylor* EXP. 07/30/16
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.

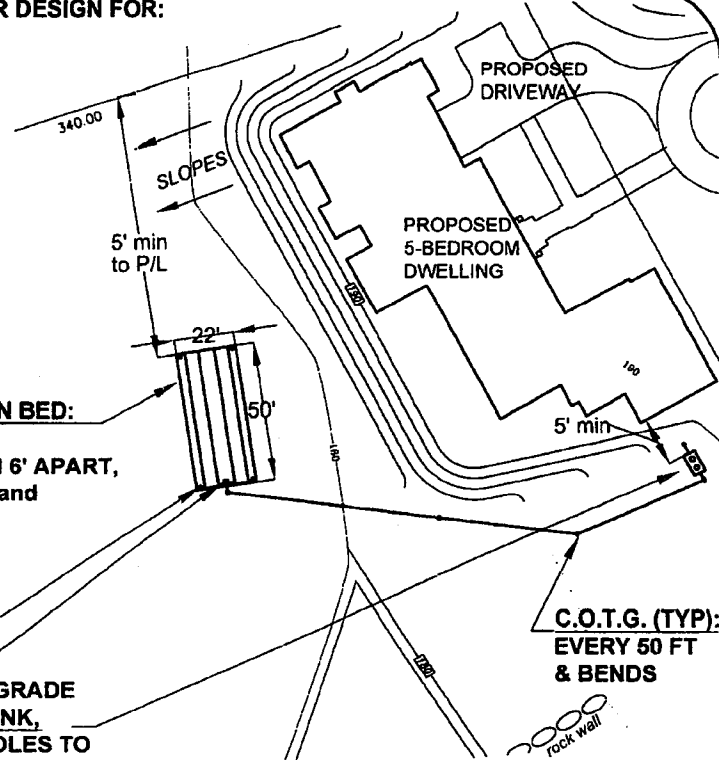


Linda Taylor Engineering, Inc.
Post Office Box 779, Makawao, Maui, Hawaii



SITE PLAN

SCALE: 1" = 50'



Exact location to be field determined.
****Grade to provide positive drainage over bed and meet maximum slope of 8% over bed.**

Evans Holdings, Inc.
TMK : (2) 2-1-005:135
December 22, 2014

SUMMARY

Design Information: Number of bedrooms (or equivalent): 5 Design Absorption Area required: 215 SF /BR

Septic Tank: A 1250 gallon (minimum liquid volume) septic tank is required.

Tank must be IAMPO certified by the Hawaii Department of Health.

Effluent Disposal Area: 1100 SF of Soil Absorption bed required with 4 inch perforated pipe, maximum 3 feet deep with 12 inches of gravel and continuous filter fabric,

22 ft wide x 50 ft long: 4 lines spaced 6 feet on center, 2 feet from side walls

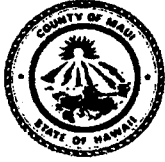
Refer to Site Plan and Typical Soil Absorption Bed details.

Installation Notes:

1. The Wastewater System site plan, layout, dimensions, distribution box, septic tank and soil absorption system may be affected by onsite conditions. Installer must verify any deviations from approved drawings with Engineer before installation of IWS.
2. All manholes, inspection ports, and cleanouts for Wastewater System to be brought to finished grade for maintenance purposes.
3. Wastewater system is designed for use of Low Flow Plumbing fixtures only.
4. **Installation Contractor to contact Engineer 48 hours prior to installation of Wastewater System to arrange for construction observation.**
5. Installation Contractor to provide ASBUILT drawings and minimum of Five (5) photographs of installation process to Engineer WITHIN 2 WEEKS OF COMPLETION OF INSTALLATION. These photos should include at a minimum: (1) View of Leach field excavation before any components are installed, (2) Installed Septic Tank with inlet/out exposed, (3) Wastewater system with perforated pipe or Infiltrators exposed with distribution box *showing inspection port to grade before* covering with fabric and gravel; (4) Wastewater system covered with fabric and gravel, and (5) Finished grading showing all ports brought to grade and landscaping of the system. Please label pictures with client name.
6. Watertight couplings shall be mechanical such as Calder or Fernco couplings or equivalent and be used at all pipe joints on outlet and inlet of septic tanks/aerobic units.
7. GEOTEX OR POLY-FILTER fabric shall be used as a silt barrier over the top of the filter rock in soil absorption system
8. Installation Contractor to insure minimum compaction of soil in soil absorption area.
9. Cleanouts to be used to septic tank on bends greater than 45 degrees.
10. Septic tanks/aerobic units and soil absorption areas to be installed on level undisturbed or properly compacted soil and approved by the Department of Health. ONLY IAMPO APPROVED TANKS AFTER 12/9/06.
11. Construction area should not be left overnight unless protected with barricades.
12. Maximum length of Soil absorption trenches is 100 feet. Minimum spacing between trenches is 5 feet. Slope on pipes shall be 2" to 4" per 100 feet.
13. Septic Tank: Inspect tank for physical damage to insure warranty. Top of tank to be 12 inches minimum and 36 inches maximum below finished grade. Backfill with clean fill void of large or sharp rocks, sticks or other hard objects. Backfill in lifts of less than 12 inches uniformly around the tank and across top.
14. **Risers and inspections ports: shall be installed with continuous bead of silicone seal on the contact surfaces and then secure with screws. These shall be installed prior to backfilling top to septic tank. Manholes or removable covers to septic tank and distribution box shall be extended to within 12 inches of finished grade. Septic tank manhole rises/extensions shall be the same diameter or greater than the septic tank's manhole openings (minimum 20 inch diameters). For septic tanks that have effluent filters, the manhole at the effluent end shall be extended to grade and secured. Effluent filter shall have a handle extension. If manhole or removable cover is brought to grade, it shall be properly secured from unwanted entry. If manhole or removable cover does not extend to finished grade (FG), there shall be a permanent marker at FG.**
15. Avoid driving over tank or soil absorption system

MATERIAL SPECIFICATIONS

Solid Pipe:	4 inch schedule 40 PVC ASTM D3034/PE ASTM 1248/Ductile Iron, Class 50, Cast Iron.
Perforated Pipe:	4 inch PVC 1500 lbs., crush strength ASTM 3350 or equivalent.
Septic Tank:	Fiberglass/Polyethylene/Pre-cast Concrete Tanks must be approved by the Hawaii State DOH.
Gravel Size:	Pass 1 1/2 inch retained on 3/4 inch for shallow trench and soil absorption beds. Pass 3 inch retained on 1 1/2 inch for deep soil trench and seepage pits.
Filter Fabric:	Geo Tex or Poly-Filter X
Infiltrators:	H-10 or Quick4 Infiltrator Chambers



COUNTY OF MAUI
 DEPARTMENT OF PUBLIC WORKS
 DEVELOPMENT SERVICES ADMINISTRATION
 250 SOUTH HIGH STREET
 WAILUKU, HAWAII 96793
 Ph: (808) 270-7242 Fax: (808) 270-7972 Inspector: (808) 270-7366

GRADING AND GRUBBING PERMIT APPLICATION

PROJECT/PROPERTY INFORMATION

PROJECT NAME Evans Holdings Water Systems
 TAX MAP KEY (2) 2-1-005:135 ADDRESS 7191 Makena Road Kihei HI 96753

OWNER / PERMITTEE INFORMATION **DECLARATION:** *The undersigned accepts the permit subject to conditions described in the General Provisions, construction plans, County Code Section 20.08, and any other document associated with the permit.*

OWNER NAME Evans Holdings
 ADDRESS 1100 Alakea St. Suite 2100 Honolulu, HI 96813

PHONE _____ EMAIL _____

SIGNATURE See letter of authorization PRINT NAME _____

If Permittee different from owner:

PERMITTEE NAME Nohelani U'u

ADDRESS 2035 Main St. Suite 1 Wailuku, HI 96793

PHONE 808.249.2224 EMAIL nohelani@fwmaui.com

SIGNATURE Nohelani U'u PRINT NAME Nohelani U'u

PERMIT INFORMATION

GRADING PERMIT

Fill:	<u>2 ft.</u> (cubic yards)
Excavate:	<u>260.4</u> (cubic yards)
Graded Area:	(<input type="checkbox"/> acres <input type="checkbox"/> sq. ft.)
Maximum height/depth of excavation or fill:	(feet)

GRUBBING PERMIT Grubbed Area: .86 (acres sq. ft.)

IDENTIFY CRITICAL AREAS LOCATED ON OR AFFECTING THE PROPERTY

Yes No Is any portion of the property located in the Special Management Area?
 Yes No Are there Special Flood Hazard Areas or drainageways on the property?
 Yes No Is the property located along the shoreline?
 Yes No Are there wetlands located on the property?
 Yes No Are there known burials, cemeteries, or other historic sites on the property?
 Yes No Will grading affect an existing slope with a height greater than 15 feet and with a grade steeper than 35% (10H:3.5V)?

Estimated Dates: Start: _____ Completion: _____

PERMIT APPROVAL (For county use only) APPLICATION NUMBER: GT 2016-0154

Fee \$ 180.00 Bond \$ NA

SPECIAL CONDITIONS
419443 / Goodfellow Bros

APPROVED BY: [Signature] 10/19/16 PERMIT NUMBER: 62016-0205

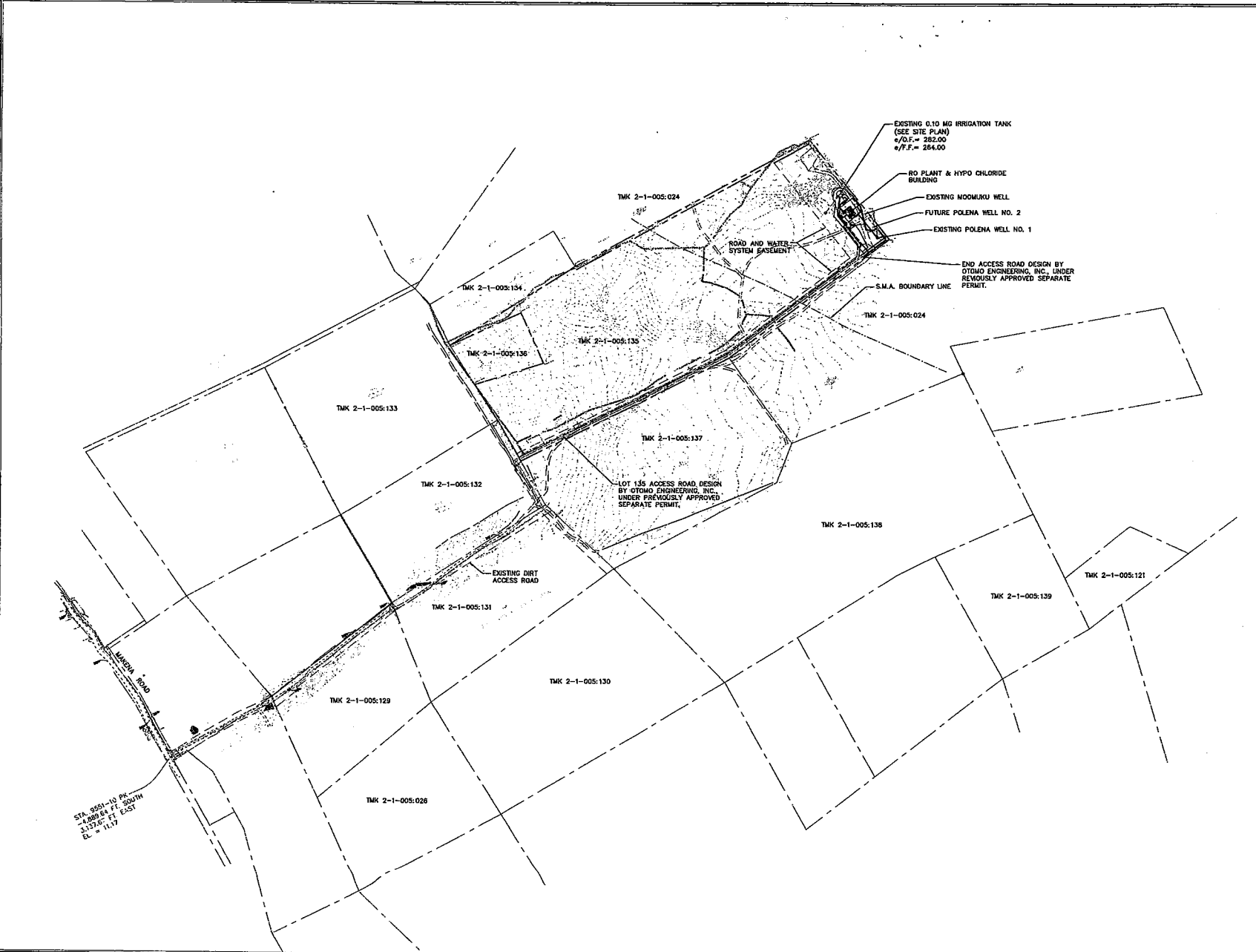
For: Department of Public Works DATE OF ISSUANCE: 12-2-16

GENERAL PROVISIONS are considered a part of this permit and are included herein by reference. Hard copy is available at Development Services Administration or can be viewed/downloaded online at County website: www.co.maui.hi.us

TM FINAL DRAINAGE EFFORT OWNERS REVIEW
 HAWAII - 3000 THE PACKAGE - NO. 01040 - PROJECT: S-1

\\V:\PROJECTS\2014\2014-08-20 GRANITE.dwg

8-5-16 8-5-16
 7-28-16 7-28-16
 7-22-16 7-22-16

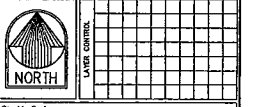


Tom Nance Water Resource Engineering
 3010 W. SHARPE HIGHWAY, SUITE 211
 HONOLULU, HAWAII 96817
 TELEPHONE: 808/573-1541, FACSIMILE: 808/578-7737

Consultant:

OTOMOTO & FURUKI LTD.
 LICENSED PROFESSIONAL ENGINEER
 NO. 5126-C
 HAWAII, USA

Angus S. Belmont
 LICENSED PROFESSIONAL ENGINEER
 NO. 5126-C
 HAWAII, USA
 Registered Professional Engineer, State of Hawaii
 Registered Professional Engineer, State of California
 Registered Professional Engineer, State of Florida
 Registered Professional Engineer, State of Georgia
 Registered Professional Engineer, State of Illinois
 Registered Professional Engineer, State of Indiana
 Registered Professional Engineer, State of Iowa
 Registered Professional Engineer, State of Kansas
 Registered Professional Engineer, State of Kentucky
 Registered Professional Engineer, State of Louisiana
 Registered Professional Engineer, State of Maryland
 Registered Professional Engineer, State of Massachusetts
 Registered Professional Engineer, State of Michigan
 Registered Professional Engineer, State of Minnesota
 Registered Professional Engineer, State of Missouri
 Registered Professional Engineer, State of Montana
 Registered Professional Engineer, State of Nebraska
 Registered Professional Engineer, State of Nevada
 Registered Professional Engineer, State of New Jersey
 Registered Professional Engineer, State of New York
 Registered Professional Engineer, State of North Carolina
 Registered Professional Engineer, State of North Dakota
 Registered Professional Engineer, State of Ohio
 Registered Professional Engineer, State of Oklahoma
 Registered Professional Engineer, State of Oregon
 Registered Professional Engineer, State of Pennsylvania
 Registered Professional Engineer, State of Rhode Island
 Registered Professional Engineer, State of South Carolina
 Registered Professional Engineer, State of South Dakota
 Registered Professional Engineer, State of Tennessee
 Registered Professional Engineer, State of Texas
 Registered Professional Engineer, State of Utah
 Registered Professional Engineer, State of Vermont
 Registered Professional Engineer, State of Virginia
 Registered Professional Engineer, State of Washington
 Registered Professional Engineer, State of West Virginia
 Registered Professional Engineer, State of Wisconsin
 Registered Professional Engineer, State of Wyoming



Graphic Scales:

Client:
EVANS HOLDINGS, INC.
 1100 ALANZA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
GENERAL SITE PLAN

Rev.	Date	Description	Eng.	App.

Designed by: GF
 Drawn by: LF
 Date: JULY 2016
 Project No. 14-08

Approved by:

_____ Date _____

_____ Date _____

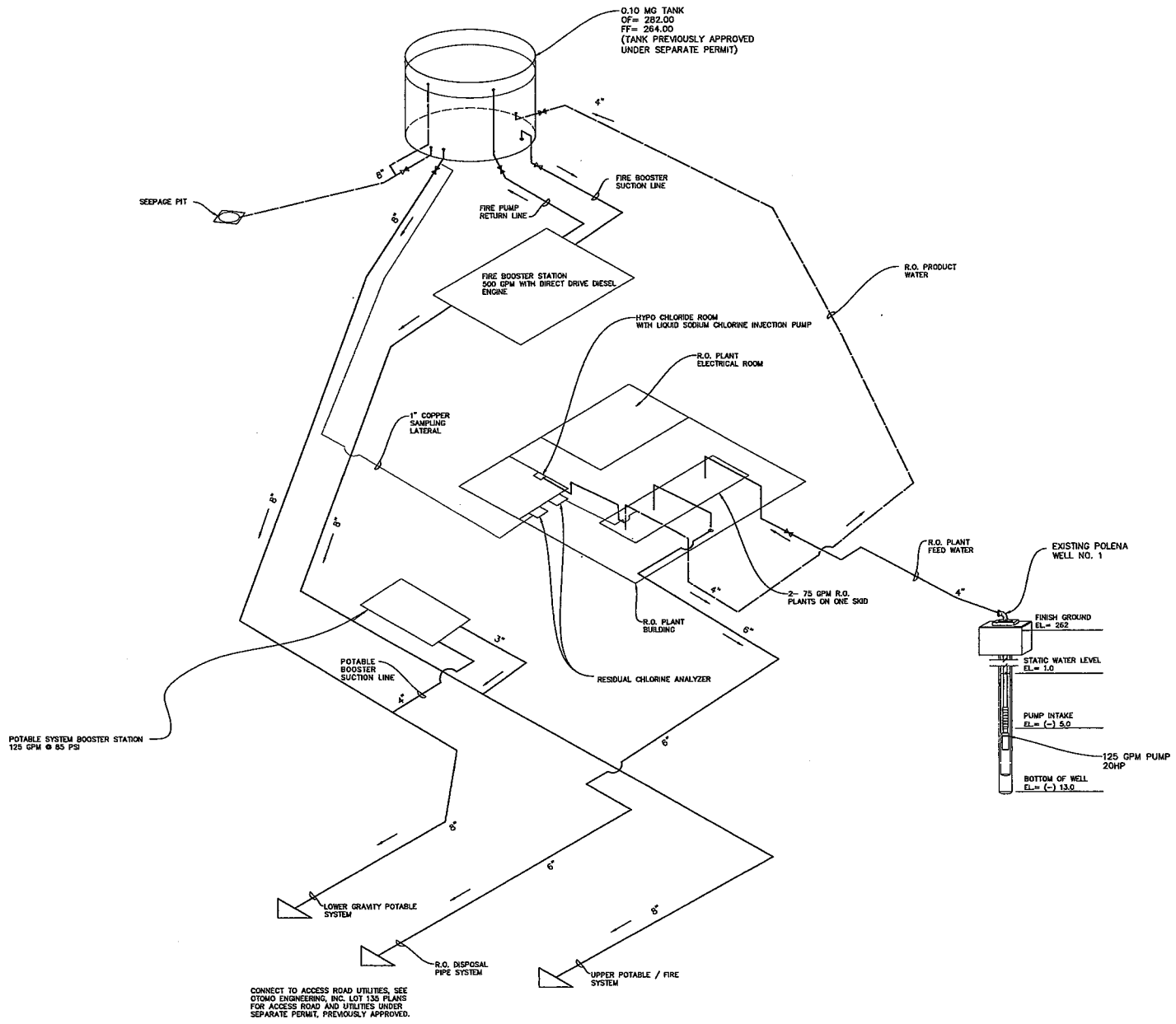
_____ Date _____

_____ Date _____

SHEET C-1 OF 1 SHEETS

**THIS SET OF PLANS
 BE KEPT ON JOB SITE
 DURING CONSTRUCTION**

\ZOOBSERFER\DATA\F\03\PROJECTS\14-08\DWGS\NOV14-08_RO_WATER-SYS-SCHFM_EH_WS-SCHMATIC.dwg
 FINA - REDD IN PACKAGE - NO DTDMD, PROCHLSS SET
 IN FINA - UNPACKAGE REPORT, OWNERS SIGNATURE, PROCHLSS SET
 7-28-16 8-8-16 8-5-16 8-2-16
 5-16-16 7-5-16 7-5-16

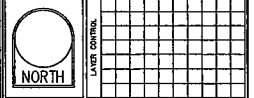


Consultant:

CHEGGY S. PURUTILE
 LICENSED PROFESSIONAL ENGINEER
 NO. 5128-C
 HAWAII, USA

Gregory S. Purutile

I hereby certify that I am the author or creator of the design and/or engineering work shown on this project and that I am a duly licensed professional engineer in the State of Hawaii. The project is approved by me on the date of this signature as indicated by the signature of the professional engineer, the State of Hawaii, Department of Commerce and Consumer Affairs, Chapter 116, Professional Engineers, Architects, Surveyors and Landscape Architects, Expiration Date of the License: 2021.



Graphic Scale:

THIS SET OF PLANS BE KEPT ON-JOB SITE DURING CONSTRUCTION

Client:
EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
WATER SYSTEM SCHEMATIC

Rev	Date	Description	Eng	App

Designed by: **GF**

Drawn by: **LF**

Date: **JULY 2016**

Project No.: **14-08**

Approved by: _____

8-6-16 9-5-16 8-2-16
 7-28-16 7-25-16 7-15-16 5-16-16
 IN FINAL DRAWING PREPARE FOR PROGRESS REVIEW
 FINAL RFD IN PACKAGE - NO OTHER PROGRESS SET
 O:\PROJECTS\14-08-70-03\DWGS\14-08-70-03-GENSET.dwg

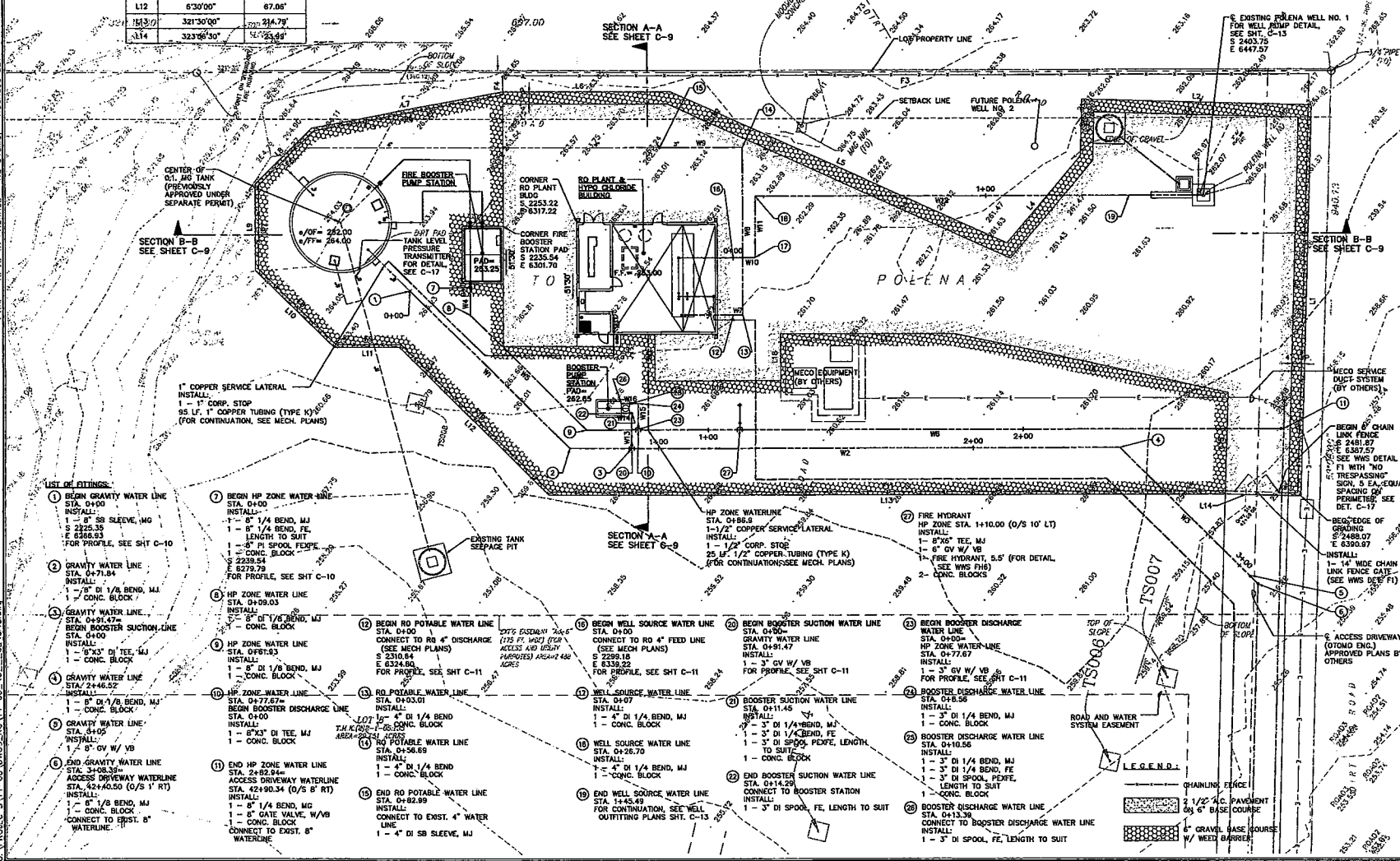
FENCE LINE TABLE		
#	DIRECTION	LENGTH
F1	323°06'30"	6.00'
F2	233°06'30"	134.53'
F3	141°30'00"	256.02'
F4	51°30'00"	8.24'
F5	130°40'00"	61.33'
F6	96°30'00"	24.64'
F7	51°30'00"	26.81'
F8	6°30'00"	34.53'
F9	321°30'00"	20.68'
F10	6°30'00"	67.06'
F11	321°30'00"	214.37'

EDGE OF GRADED PAD LINE TABLE		
L#	DIRECTION	LENGTH
L1	53°06'30"	125.44'
L2	143°06'30"	72.73'
L3	53°06'30"	18.01'
L4	61°30'00"	36.35'
L5	166°00'00"	117.45'
L6	141°30'00"	53.29'
L7	130°40'00"	61.82'
L8	96°30'00"	25.36'
L9	51°30'00"	27.64'
L10	6°30'00"	35.36'
L11	321°30'00"	20.68'
L12	6°30'00"	67.06'
L13	321°30'00"	214.37'
L14	323°06'30"	6.00'

EDGE OF PAVEMENT LINE TABLE		
L#	DIRECTION	LENGTH
L15	233°06'30"	32.83'
L16	154°00'00"	88.64'
L17	141°30'00"	55.45'
L18	51°30'00"	15.00'
L19	141°30'00"	40.00'
L20	231°30'00"	15.00'

GRAVITY WATERLINE			RO POTABLE WATERLINE			BOOSTER SUCTION LINE		
W#	DIRECTION	LENGTH	W#	DIRECTION	LENGTH	W#	DIRECTION	LENGTH
W1	186°30'00"	71.84'	W7	321°30'00"	3.01'	W13	231°30'00"	11.45'
W2	321°30'00"	174.69'	W8	231°30'00"	53.69'	W14	141°30'00"	2.63'
W3	6°30'00"	61.87'	W9	141°30'00"	26.30'			

HP ZONE WATERLINE			WELL SOURCE WATERLINE			BOOSTER DISCHARGE LINE		
W#	DIRECTION	LENGTH	W#	DIRECTION	LENGTH	W#	DIRECTION	LENGTH
W4	51°30'00"	9.03'	W10	321°30'00"	7.00'	W15	231°30'00"	0.56'
W5	6°30'00"	52.32'	W11	231°30'00"	19.70'	W16	141°30'00"	4.83'
W6	321°30'00"	221.39'	W12	321°30'00"	116.79'			



Tom Nance Water Resource Engineering
 3025 SOUTH HAWAII, SUITE 203
 HONOLULU, HAWAII 96817
 TELEPHONE (808)741-7444, FACSIMILE (808)243-7727

Contract No. _____

Graphic Scale: 1" = 15'

Client: EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: EVANS HOLDINGS WATER SYSTEM

Sheet Title: SITE PLAN

Rev. Date Description Eng. App.

Designed by: GF

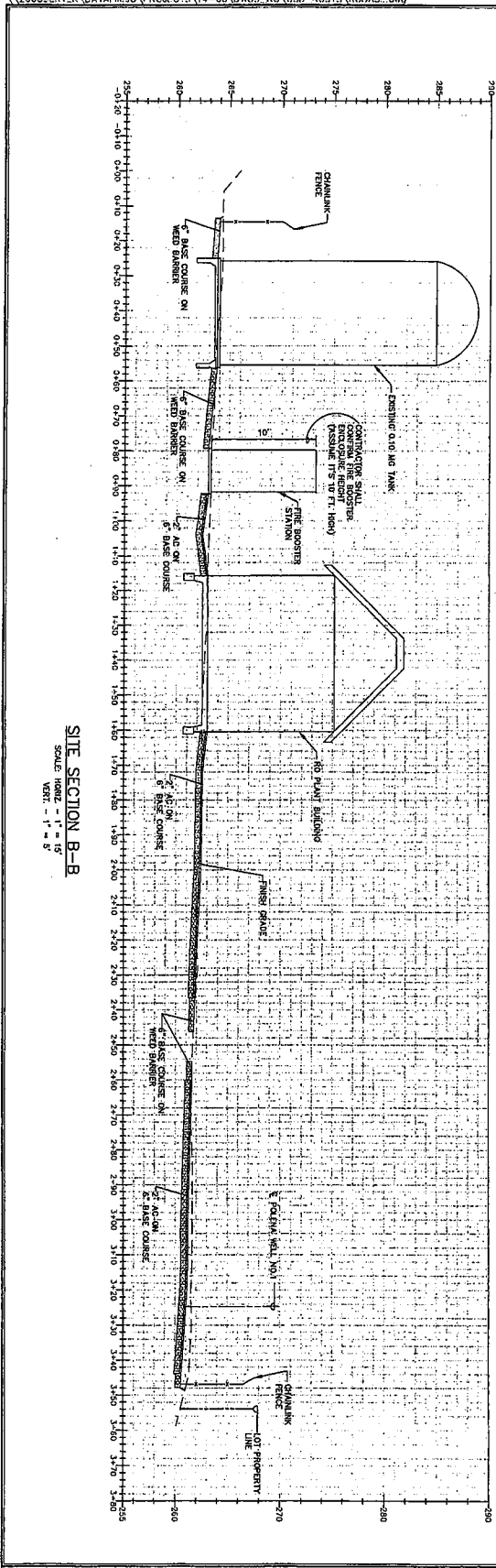
Drawn by: LF

Date: JULY 2016

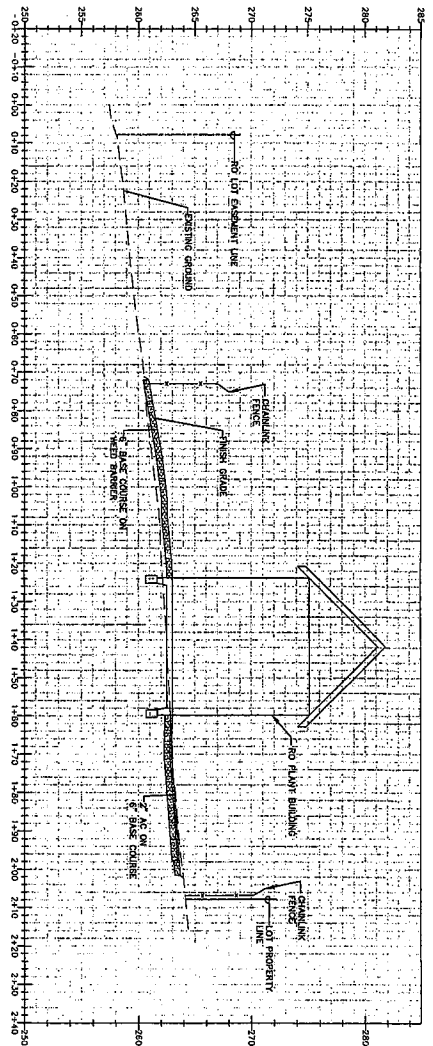
Project No. 14-08

Approved by: _____

SHEET C-6
 SHEET C-6 OF ___ SHEETS



SITE SECTION B-B
SCALE: HORIZ. = 1" = 15'
VERT. = 1" = 5'



SITE SECTION A-A
SCALE: HORIZ. = 1" = 15'
VERT. = 1" = 5'

NO.	DATE	DESCRIPTION	BY	CHK.
1		DESIGNED BY	GF	
2		DRAWN BY	LF	
3		PROJECT NO.	14-08	
4		APPROVED BY		

SITE SECTIONS A-A & B-B

EVANS HOLDINGS WATER SYSTEM

**THIS SET OF PLANS
IS TO BE KEPT ON THE SITE
FOR ALL WORKS AND
CONSTRUCTION**

PROJECT: EVANS HOLDINGS WATER SYSTEM

DATE: JULY 2016

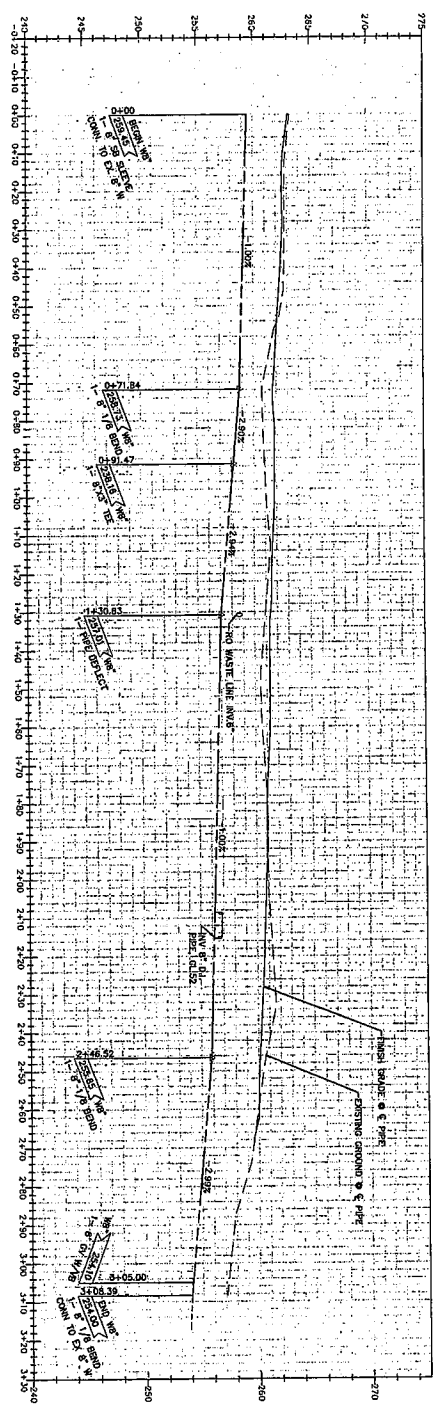
SCALE: 1" = 15'

TOM NANCE WATER Resource Engineering

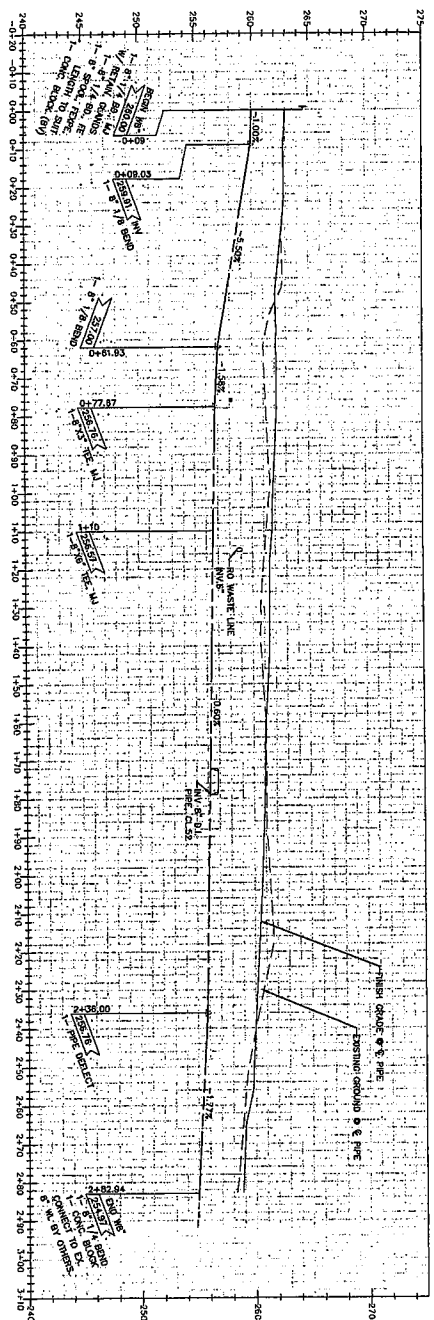
100 ALASKA STREET, SUITE 200
DENVER, COLORADO 80202
TEL: 303.733.1111
WWW.TOMNANCE.COM

Tom Nance Water Resource Engineering

100 ALASKA STREET, SUITE 200
DENVER, COLORADO 80202
TEL: 303.733.1111
WWW.TOMNANCE.COM



GRAVITY WATER LINE
 SCALE HORIZ. - 1" = 15'
 VERT. - 1" = 5'

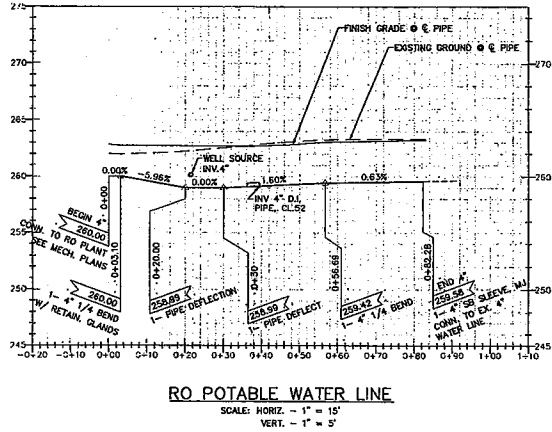


HP ZONE WATER LINE
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 VERT. - 1" = 5'

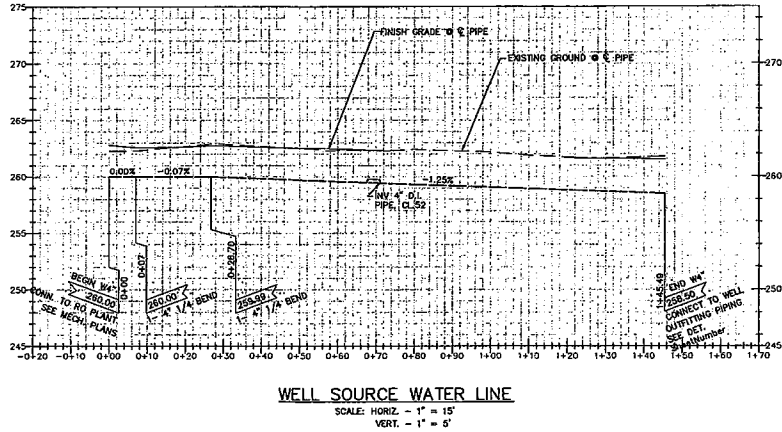
<p>Tom Nance Water Resource Engineering 10000 Highway 100, Suite 100 Houston, Texas 77036 (281) 415-1111</p>																
<p><i>Gregory S. Zinn</i> Professional Engineer State of Texas, No. 3185-C License Expires 12/31/2018</p>																
<p>THIS SET OF PLANS IS TO BE KEPT ON JOB SITE AT ALL TIMES. NO REVISIONS TO BE MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.</p>																
<p>Client: EVANS HOLDINGS, INC. 10000 Highway 100, Suite 100 Houston, Texas 77036</p>																
<p>Project: EVANS HOLDINGS WATER SYSTEM</p>																
<p>Sheet Title: PROFILES - 1</p>																
<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>By</th> <th>App'd</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>07/14/16</td> <td>Initial Design</td> <td>GE</td> <td>GE</td> </tr> <tr> <td>2</td> <td>07/14/16</td> <td>Final Design</td> <td>GE</td> <td>GE</td> </tr> </tbody> </table>	Rev.	Date	Description	By	App'd	1	07/14/16	Initial Design	GE	GE	2	07/14/16	Final Design	GE	GE	<p>Drawn by: GE Date: JULY 2016 Project No: 14-08</p>
Rev.	Date	Description	By	App'd												
1	07/14/16	Initial Design	GE	GE												
2	07/14/16	Final Design	GE	GE												
<p>Approved by: _____</p>																
<p>SHEET C-10 SHEET 13.00 OF 13 SHEETS</p>																

8-8-16, 8-5-16, 8-3-16, 7-28-16, 7-25-16, 7-15-16, 5-16-16
 IN FINAL DRAINAGE REPORT OWNERS REVIEW
 FINAL - RECD IN PACKAGE - NO D.V.O. PROGRESS SET

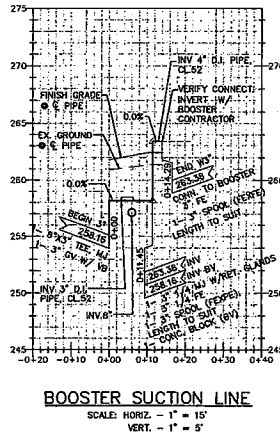
\\2008SCHV\A\DATE\PROF\CTS\14-08\UM\G\ROV\CSD\ROV\S\A\ROBASE.dwg



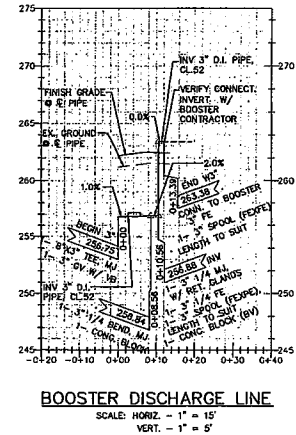
RO POTABLE WATER LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



WELL SOURCE WATER LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



BOOSTER SUCTION LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



BOOSTER DISCHARGE LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'

Tom Nance Water Resource Engineering
 848 K. HALEY AVENUE, SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808) 531-1414 FAX: (808) 531-7711

Consultant:

Gregory S. Fung
 LICENSED PROFESSIONAL ENGINEER
 NO. 5128-C
 HAWAII, USA

Gregory S. Fung
 This document prepared by me or under my supervision is published in the project as under my professional seal and is subject to the jurisdiction of the Board of Professional Engineers, Architects, Surveyors and Landscape Architects - License Law of the State of Hawaii, Chapter 133, Part of the Hawaii Revised Statutes.

Graphic Scale:

HORIZ. 15' 7.5' 0 15' 30'
 1" = 15'

VERT. 5' 2.5' 0 5' 10'
 1" = 5'

NORTH

Client:
EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
PROFILES - 2

Rev	Date	Description	Eng	App

Designed by: **GF**
 Drawn by: **LF**
 Date: **JULY 2016**
 Project No. **14-08**

Approved by:

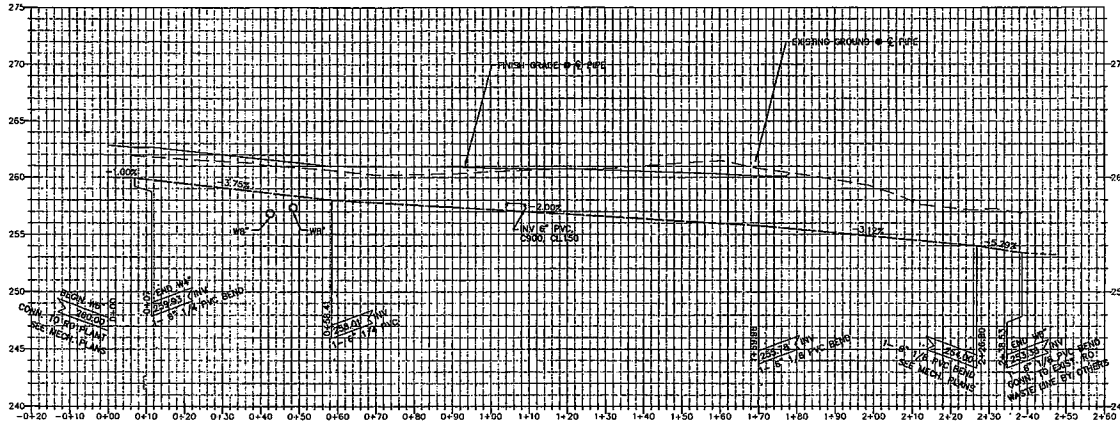
_____ Date: _____
 _____ Date: _____
 _____ Date: _____

SHEET C-11
 SHEET C-11 OF 11 SHEETS

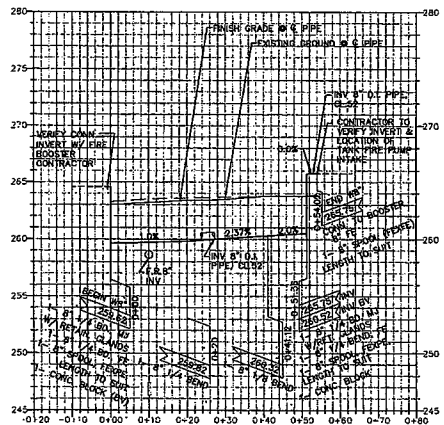
7-28-16 8-5-16 8-2-16

7-28-16 8-5-16 8-2-16
 FINAL - REVISED PACKAGE - RS SOUND PROGRESS

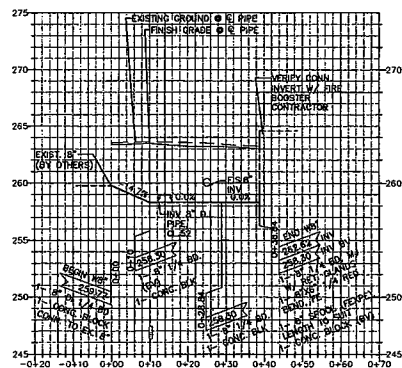
0. VPK&C(S)14-08 DWS - RO CD - RO'S VCS BASE SHEET



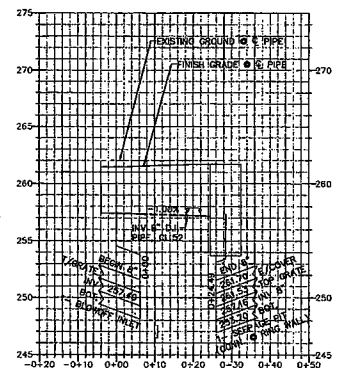
RO WASTE LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



FIRE SUCTION LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



FIRE RETURN LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'



WELL DRAIN LINE
 SCALE: HORIZ. - 1" = 15'
 VERT. - 1" = 5'

Tom Nance Water Resource Engineering
 200 S. HOLEI ROADWAY, SUITE 212
 HONOLULU, HAWAII 96817
 TELEPHONE: (808) 271-4141, FACSIMILE: (808) 271-7721

Contract No.

Gregory S. Edmund
 I am a duly licensed Professional Engineer in the State of Hawaii, License No. 5128-C, and I am the author of the designs and specifications herein. I am not providing any services in the State of Hawaii, License No. 5128-C, and I am not providing any services in the State of Hawaii, License No. 5128-C.

Graphic Scale:
 HORIZ. 1" = 15' 0 7.5 15 30'
 VERT. 1" = 5' 0 2.5 5 10'

Client: **EVANS HOLDINGS, INC.**
 1100 ALAHEA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

Sheet Title: **PROFILES - 3**

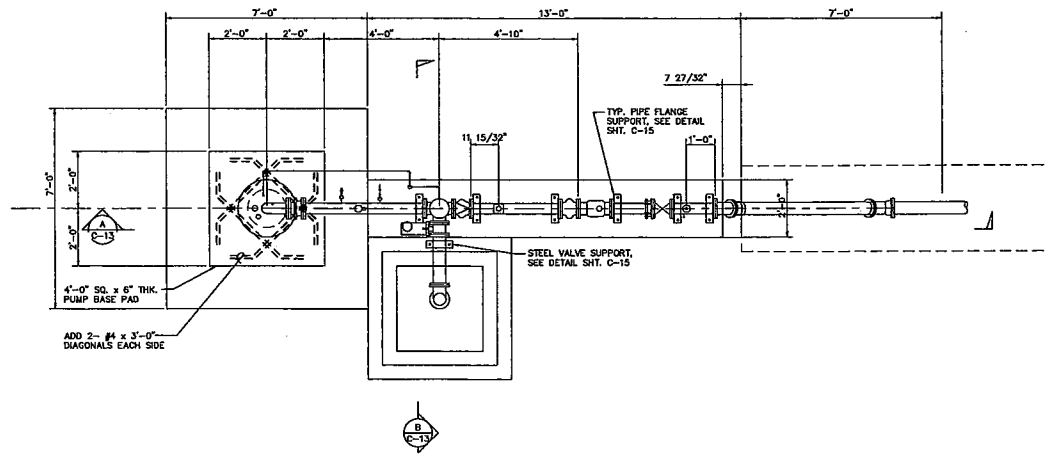
Rev	Date	Description	Eng	App

Designed by: **GF**
 Drawn by: **LF**
 Date: **JULY 2016**
 Project No.: **14-08**

Approved by:

SHEET C-12
 SHEET C-12 OF 12 SHEETS

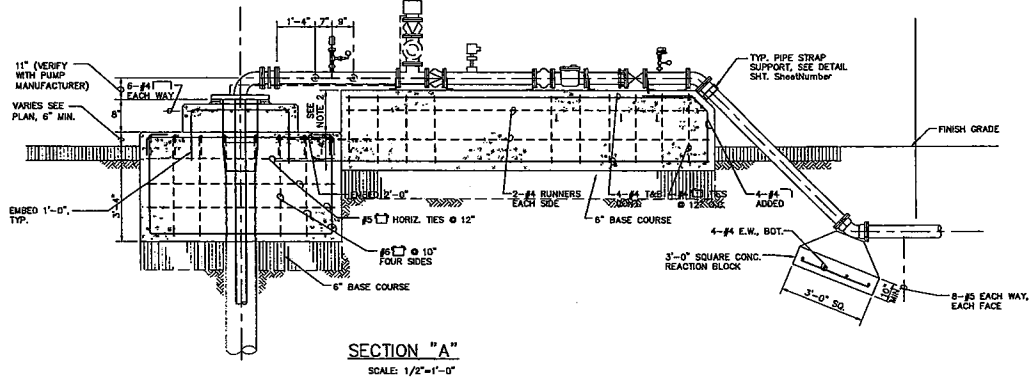
**THIS SET OF PLANS
 BE KEPT ON JOB SITE
 DURING CONSTRUCTION**



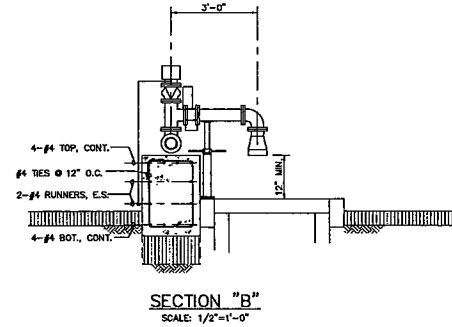
NOTE:

- FOR PUMP PAD DIMENSIONS AND DETAILS NOT SHOWN SEE SHT. SheetNumber.
- CONTRACTOR TO ADJUST PAD DIMENSIONS TO MATCH PUMP DISCHARGE ELBOW AS REQUIRED.

PLAN
SCALE: 1/2"=1'-0"



SECTION "A"
SCALE: 1/2"=1'-0"



SECTION "B"
SCALE: 1/2"=1'-0"

Tom Nance Water Resource Engineering
 800 K. WEIERS ROADWAY, SUITE 213
 HONOLULU, HAWAII 96817
 TELEPHONE: (808)271-1111, FACSIMILE: (808)276-7770

Consultant:

GEORGE S. FUKUNAGA
 LICENSED PROFESSIONAL ENGINEER
 NO. 5128-C
 HAWAII, USA

George S. Fukunaga
 The undersigned prepared the project and is responsible for the accuracy of the project and the engineering calculations. He is a member of the American Society of Civil Engineers, American Society of Professional Engineers, and the Hawaii Professional Engineers Association. He is also a member of the Hawaii State Bar Association. His license expires on the 31st day of December 2016.

NORTH
 GRAPHIC SCALE

Graphic Scale:

0	1	2	3	4	5	6	7	8	9	10
FOOT										

Client: **EVANS HOLDINGS, INC.**
 1100 ALAKEA STREET, SUITE 200
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

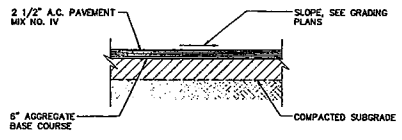
Sheet Title: **WELL PUMP STRUCTURAL DETAILS**

Rev.	Date	Description	Eng.	App.

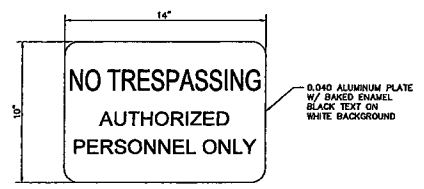
Designed by: **GF**
 Drawn by: **LF**
 Date: **JULY 2016**
 Project No. **14-08**

Approved by:

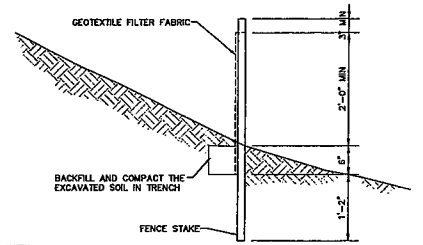
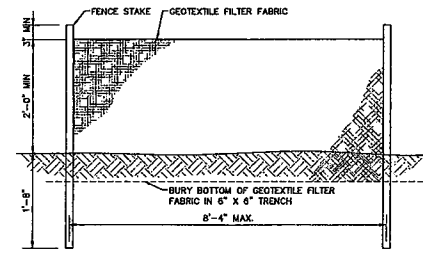
8-8-16, 8-5-16, 8-2-16, 7-28-16, 7-23-16, 7-15-16, 8-18-16
 BY FINAL DRAINAGE REPORT CHANGES SEE NEW
 FINAL - RECD IN PACKAGE - 11/10/16
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TYPICAL A.C. SITE PAVING
NOT TO SCALE

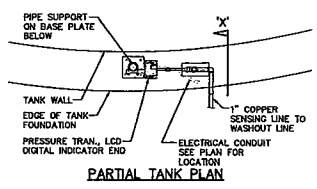


NO TRESPASSING SIGN DETAIL
SCALE: 3" = 1'-0"

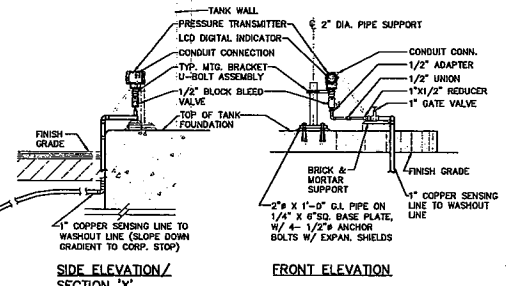
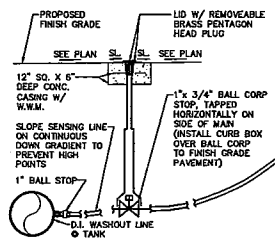


- NOTES:**
1. THE FILTER FABRIC SHALL BE A MINIMUM OF 36" WIDE.
 2. IF SILT FENCE IS OBTAINED FROM MANUFACTURER AS A PACKAGE (I.E. FABRIC ATTACHED TO POST) THE MANUFACTURER'S INSTALLATION INSTRUCTION SHALL BE ADHERED TO.
 3. FENCE STAKES MAY BE WOOD OR METAL, MUST BE CAPABLE OF SUPPORTING ANTICIPATED LOADS.

SILT FENCE DETAIL
NOT TO SCALE



PARTIAL TANK PLAN



TANK LEVEL PRESSURE TRANSMITTER DETAIL
NOT TO SCALE

Tom Nance Water Resource Engineering
 865 N. HANAU ROAD SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808) 711-1141 FAX: (808) 711-1142

LICENSED PROFESSIONAL ENGINEER
NO. 5126-G
HAWAII, USA

Gregory S. Funderburk

100% of the project was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Hawaii. I am duly Licensed Professional Engineer in the State of Hawaii, License No. 5126-G. I am duly Licensed Professional Engineer in the State of Hawaii, License No. 5126-G. I am duly Licensed Professional Engineer in the State of Hawaii, License No. 5126-G.

NORTH

LAYER	CONTENTS

Graphic Scale:

Client:

THIS SET OF PLANS BE KEPT ON JOB SITE DURING CONSTRUCTION

EVANS HOLDINGS, INC.
1100 ALAKA STREET, SUITE 210
HONOLULU, HAWAII 96813

Project:

EVANS HOLDINGS WATER SYSTEM

Sheet Title:

SITE DETAILS

Rev	Date	Description	Eng	App

Designed by: **GF**

Drawn by: **LF**

Date: **JULY 2016**

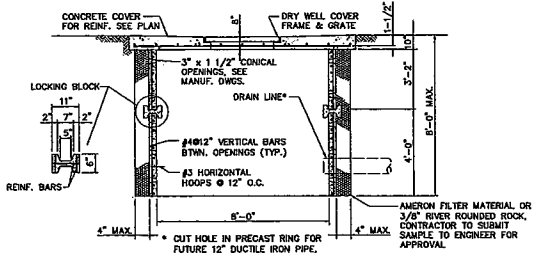
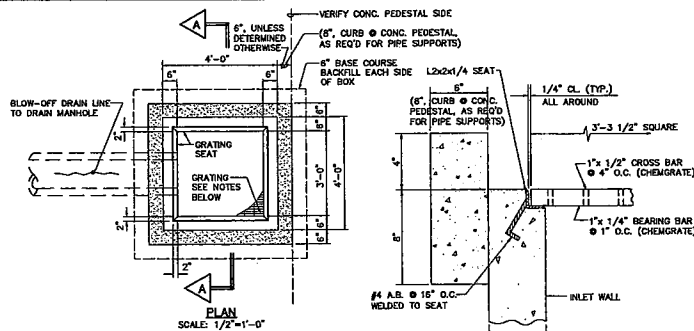
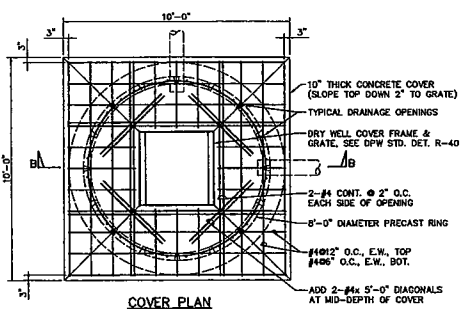
Project No. **14-08**

Approved by:

SHEET **C-17**

SHEET **C-17** OF SHEETS

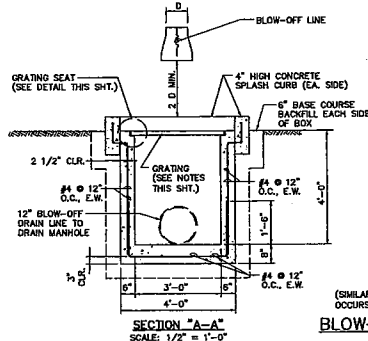
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SECTION "B-B" CYLINDER REINFORCING & DRAINAGE DETAILS

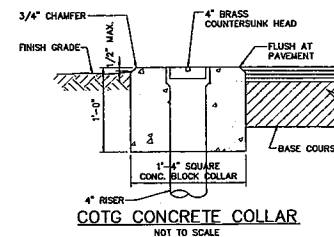
NOTE: 28 DAY COMPRESSIVE CONCRETE STRENGTH = 4000 PSI

SEEPAGE PIT DETAIL
NOT TO SCALE

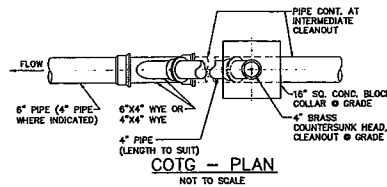


SECTION "A-A" BLOW-OFF INLET DETAILS
SCALE: 1/2" = 1'-0"

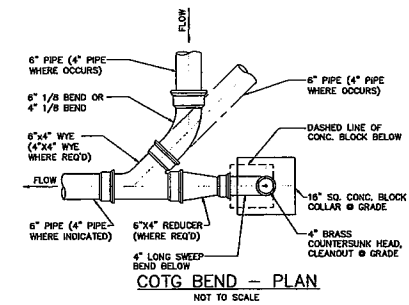
- NOTES:
1. ALL WELDS 1/4".
 2. ALL STEEL SHALL BE STRUCTURAL GRADE. FRAME SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
 3. GRATING SHALL BE A CHEMGRATE 1" STANDARD OR APPROVED EQUAL. PROVIDE APPROPRIATE FASTENERS FOR GRATING.
 4. GRATE OPENING SHALL BE 1" WIDE x 4" LENGTH.



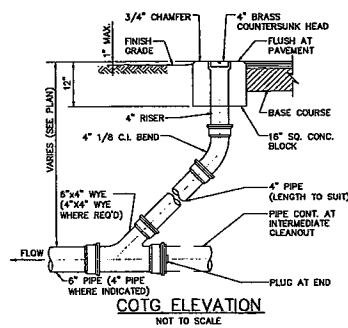
COTG CONCRETE COLLAR
NOT TO SCALE



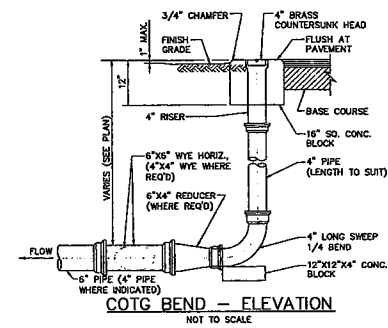
COTG - PLAN
NOT TO SCALE



COTG BEND - PLAN
NOT TO SCALE



COTG ELEVATION
NOT TO SCALE



COTG BEND - ELEVATION
NOT TO SCALE

Tom Nance Water Resource Engineering
1100 ALAKEA STREET, SUITE 2100
HONOLULU, HAWAII 96813

DESIGNED BY
G.F.

DRAWN BY
L.F.

DATE
JULY 2016

PROJECT NO.
14-08

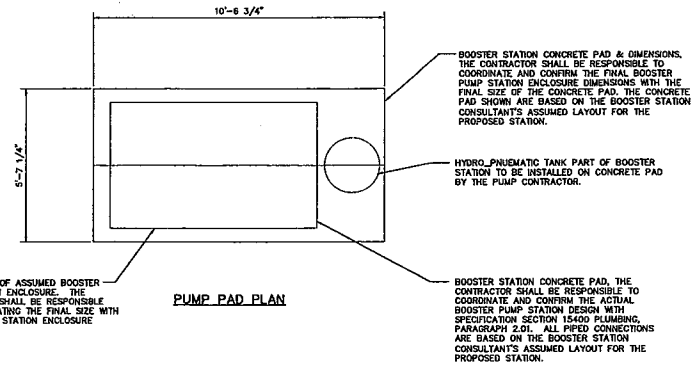
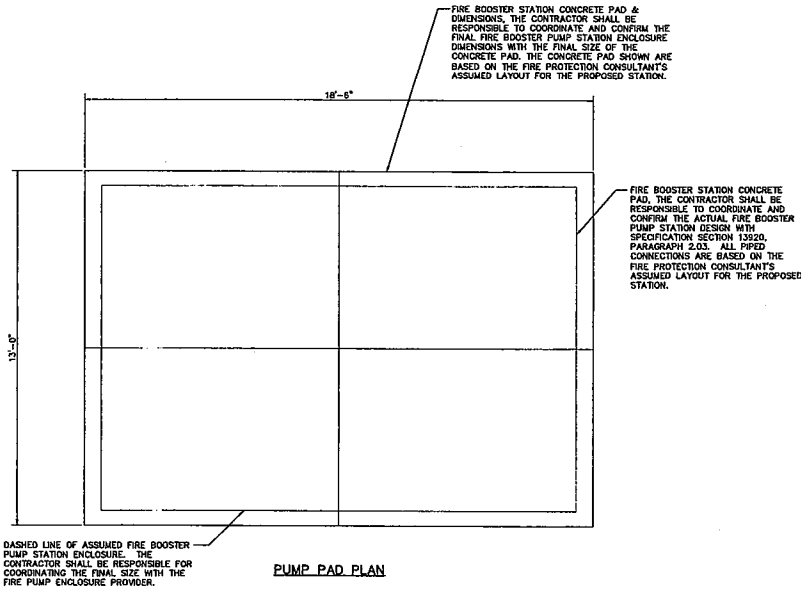
APPROVED BY

Rev **Date** **Description** **Eng** **App**

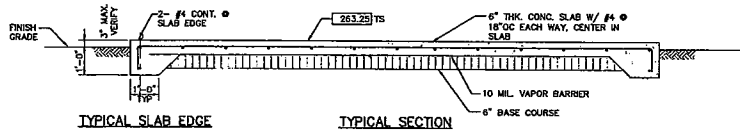
SHEET C-18
SHEET C-18 OF 18 SHEETS

IN FINAL PACKAGE, REFERENCE TO "FINAL" DIMENSIONS SHALL BE TO THE "FINAL" DIMENSIONS SHOWN IN THE FINAL PACKAGE - NO. 01010 - PROGRESS SET

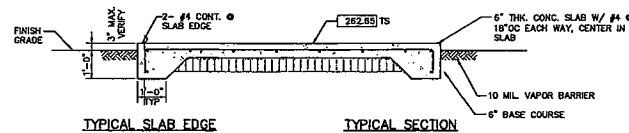
IN FINAL PACKAGE, REFERENCE TO "FINAL" DIMENSIONS SHALL BE TO THE "FINAL" DIMENSIONS SHOWN IN THE FINAL PACKAGE - NO. 01010 - PROGRESS SET



- PAD STRUCTURAL NOTES:**
- VERIFY PAD DIMENSIONS AND ENCLOSURE DIMENSIONS WITH ACTUAL EQUIPMENT.
 - ENCLOSURE SKID SHALL BEAR ON THE SLAB PERIMETER THICKENED EDGES.
 - SKID ANCHOR BOLTS SHALL BE SET IN THE SLAB PERIMETER THICKENED EDGES. ANCHOR BOLT SIZE PER MANUFACTURER.
 - PREPARE SUBGRADE UNDER PAD IN ACCORDANCE WITH GEOTECHNICAL REPORT.



FIRE BOOSTER PUMP SLAB DETAILS
SCALE: 1/2" = 1'-0"



POTABLE BOOSTER PUMP SLAB DETAILS
SCALE: 1/2" = 1'-0"

Tom Nance Water Resource Engineering
 300A MAUI HIGHWAY - SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808) 941-1144 FACSIMILE: (808) 259-7157

CONSULTANT:

DESIGNED & PROVIDED BY:
 GREGORY S. PURVIS, PE
 LICENSED PROFESSIONAL ENGINEER
 NO. 5126-C
 HAWAII, USA

Gregory S. Purvis
 My work is prepared by me or under my direct supervision and I am a duly licensed Professional Engineer in the State of Hawaii. I am duly licensed in the State of Hawaii as a Professional Engineer, License No. 5126-C. I am duly licensed in the State of Hawaii as a Professional Engineer, License No. 5126-C. I am duly licensed in the State of Hawaii as a Professional Engineer, License No. 5126-C.

CLIENT:
 EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 210
 HONOLULU, HAWAII 96813

PROJECT:
 EVANS HOLDINGS WATER SYSTEM

SHEET TITLE:
 MISCELLANEOUS DETAILS

DESIGNED BY: GF
DRAWN BY: LF
DATE: JULY 2016
PROJECT NO.: 14-08

APPROVED BY:

SHEET C-19
 SHEET C-19 OF 19 SHEETS

Rev	Date	Description	Eng	App

Designed by: CS
 Drawn by: JB
 Date: AUGUST 2016
 Project No. 14-08

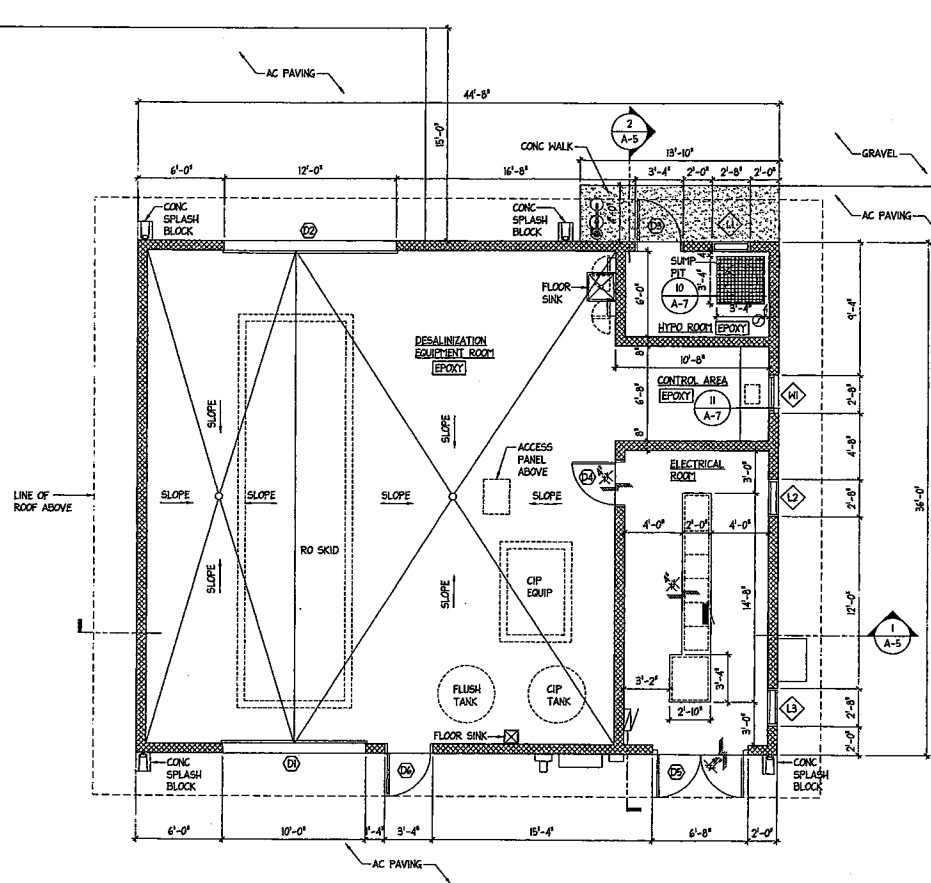
Approved by:

_____ Date: _____

_____ Date: _____

_____ Date: _____

_____ Date: _____



ZONING CODE DATA:
 ZONING: AGRICULTURAL DISTRICT
 USE: UTILITY FACILITIES

BUILDING CODE DATA:
 JURISDICTION: MAUI, HAWAII
 CODE: 2006 IBC
 OCCUPANCY: U (UTILITY & MISCELLANEOUS GROUP)
 CONSTRUCTION TYPE: V B
 FLOOR AREA: 1,608 SF
 FIRE SPRINKLER: NONE

1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- NOTE:
1. SLOPE DENOTES SLOPE ON CONCRETE FLOOR TO DRAIN. SLOPE FLOOR 1/8" PER FOOT. ALL SLOPES, INCLUDING CROSS SLOPES, SHALL NOT EXCEED 2%.
 2. SLOPE FINISHED GRADES AWAY FROM THE BUILDING.

FINISH SCHEDULE				
SYMBOL	COLOR	FINISH	LOCATION	REMARKS
PT-1	DETERMINED BY OWNER	SEMI-GLOSS	EXTERIOR WALLS, DOORS & TRIMS	
PT-2	DETERMINED BY OWNER	SEMI-GLOSS	EXTERIOR FASCIA, RAFTERS, SOFFITS & TRIMS	
PT-3	DETERMINED BY OWNER	SEMI-GLOSS	INTERIOR WALLS, DOORS, TRIMS & CEILING	

Contract:

CELENE H. SHINDO
 LICENSED PROFESSIONAL ARCHITECT
 No. 4845
 HAWAII, U.S.A.

Celine H. Shindo
 This work was prepared by me or under my supervision in accordance with the provisions of the laws of the State of Hawaii, Chapter 100, Part II, Article 15, Section 15-15, Chapter 115, Professional Engineers, Architects, Surveyors and Landscape Architects, Registration Code of the State of Hawaii, Chapter 100, Part II, Article 15, Section 15-15.

LAYER CONTROL	

Graphic Scales:

Client:
EVANS HOLDINGS, INC.
 1700 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

**THIS SET OF PLANS
 BE KEPT ON JOB SITE
 DURING CONSTRUCTION!**

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
REFLECTED CEILING PLAN

Rev	Date	Description	Eng	App

Designed by: CS
 Drawn by: JB
 Date: AUGUST 2016
 Project No. 14-08

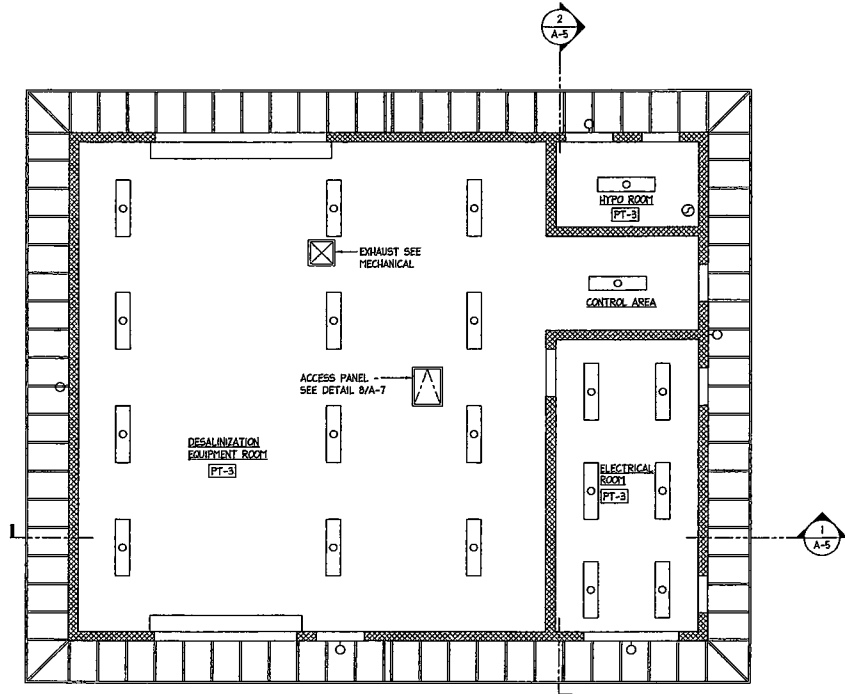
Approved by:

_____ Date _____

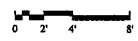
_____ Date _____

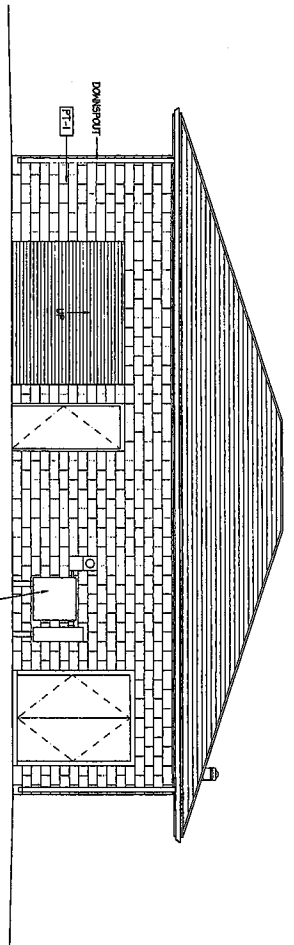
_____ Date _____

_____ Date _____

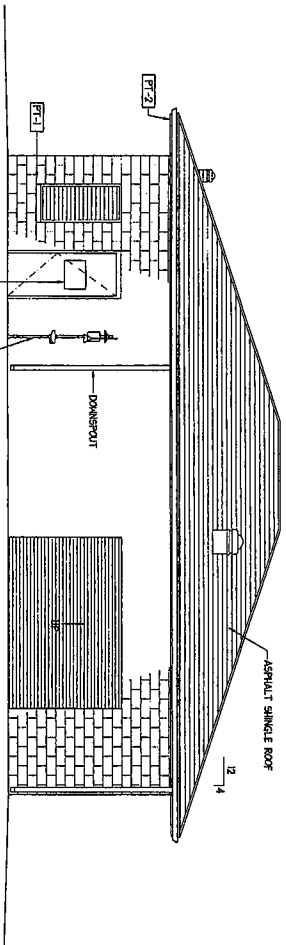


1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

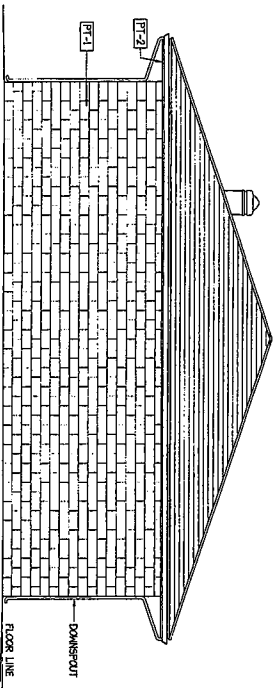




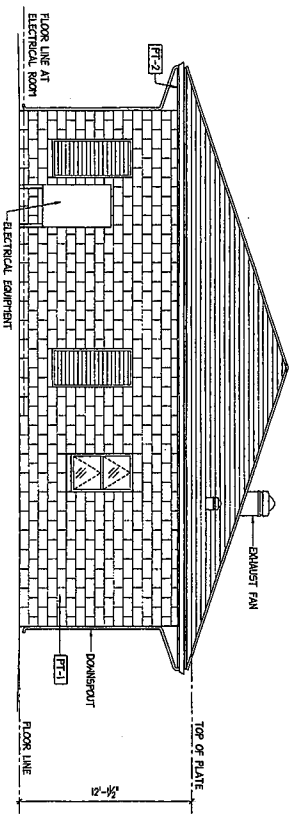
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Tom Nance Water
Resource Engineering
100 ALASKA STREET, SUITE 210
HONOLULU, HAWAII 96813
PH: (808) 551-7111 FAX: (808) 551-7119



Tom Nance
Professional Engineer
State of Hawaii
License No. 4548

DATE: AUGUST 2016
PROJECT: EVANS HOLDINGS WATER SYSTEM BUILDING ELEVATIONS

NO.	REVISION

THIS SET OF PLANS IS ACCEPTED FOR THE BUILDING CONSTRUCTION.

Project: EVANS HOLDINGS WATER SYSTEM BUILDING ELEVATIONS

Scale: AS SHOWN

REV	DATE	DESCRIPTION	BY	CHK

Designed by: CS
 Drawn by: JB
 Date: AUGUST 2016
 Project No: 14-08
 Approved by: _____

SHEET A-4 OF 4 SHEETS

Consultant:



Colin H. Shingwana
 LICENSED PROFESSIONAL ARCHITECT
 NO. 4845
 HAWAII, U.S.A.

This work was prepared by me or under my supervision & control and I am a duly registered and licensed professional architect in the State of Hawaii. I am a member of the American Institute of Architects, the Hawaii State Board of Architecture, the Hawaii State Bar Association, the Hawaii State Engineers, Architects, Surveyors and Landscape Architects Association and the Hawaii State Bar Association.

DATE CHANGES

Graphic Scales:

Client: EVANS HOLDINGS, INC.
 1100 ALAHEA STREET, SUITE 100
 HONOLULU, HAWAII 96813

THIS SET OF PLANS BE KEPT ON JOB SITE DURING CONSTRUCTION

Project: EVANS HOLDINGS WATER SYSTEM

Sheet Title: BUILDING SECTIONS

Rev	Date	Description	Eng	App

Designed by: CS

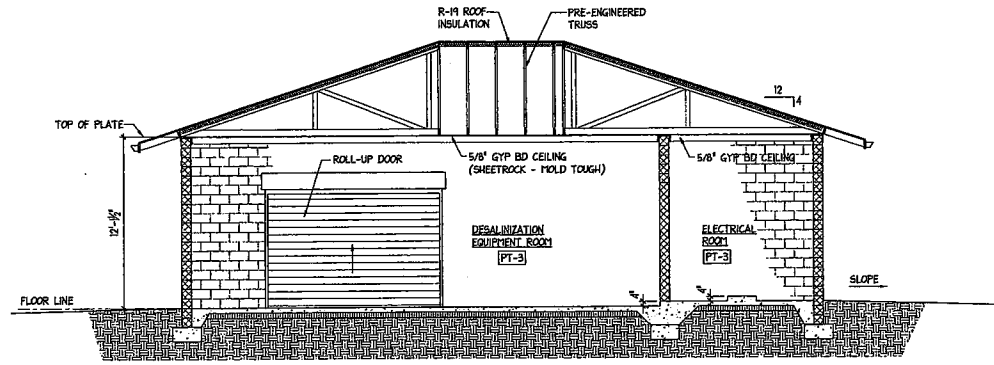
Drawn by: JB

Date: AUGUST 2016

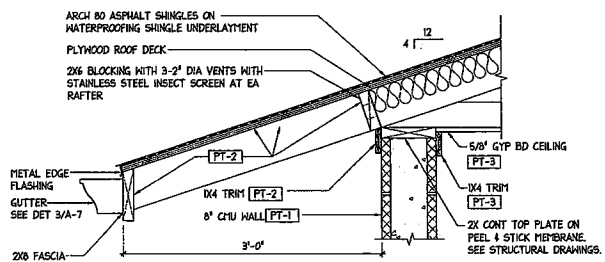
Project No. 14-08

Approved by:

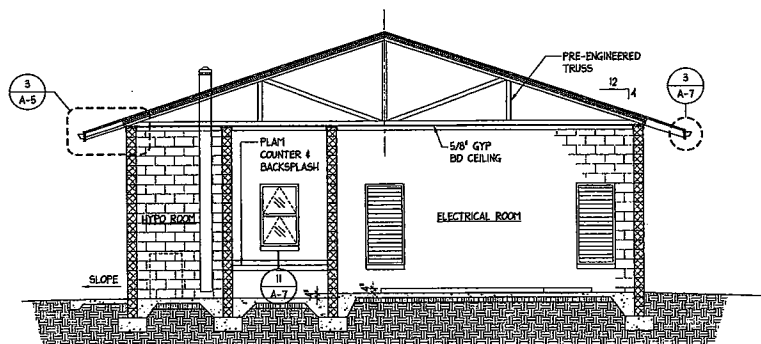
	Date
	Date
	Date
	Date



1 LONGITUDINAL SECTION
 SCALE: 1/4" = 1'-0"

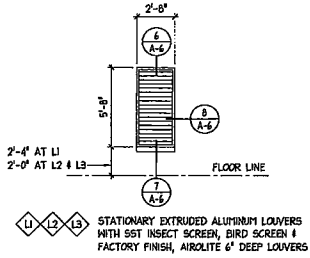


3 EAVE DETAIL
 SCALE: 1 1/2" = 1'-0"

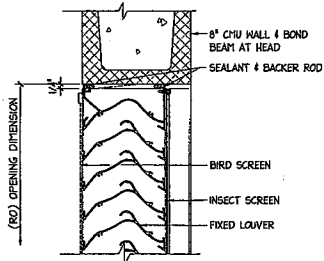
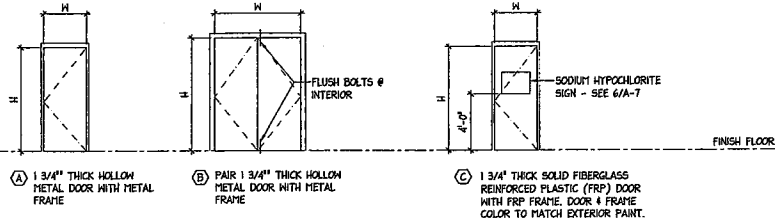


2 CROSS SECTION
 SCALE: 1/4" = 1'-0"

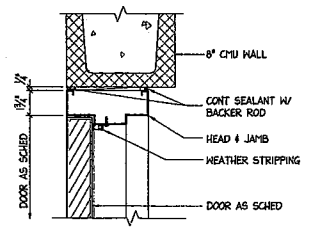
LOUVER TYPES



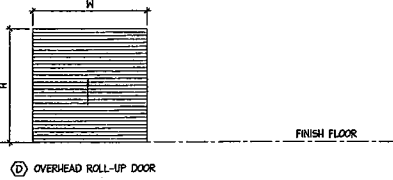
DOOR TYPES



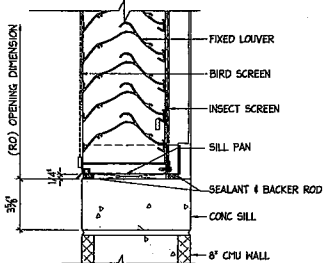
6 LOUVER HEAD
SCALE: 3" = 1'-0"



3 DOOR JAMB DET (HEAD SIM)
SCALE: 3" = 1'-0"



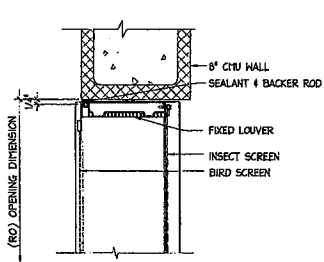
D OVERHEAD ROLL-UP DOOR



7 LOUVER SILL DETAIL
SCALE: 3" = 1'-0"



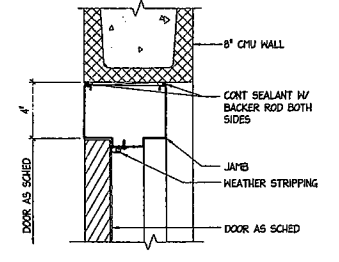
5 THRESHOLD DETAIL
SCALE: 3" = 1'-0"



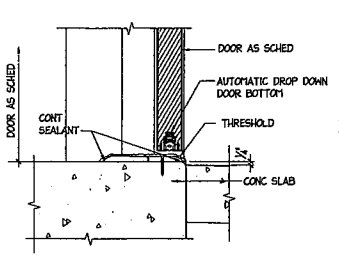
8 LOUVER JAMB DETAIL
SCALE: 3" = 1'-0"

DOOR SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	THICK	DETAIL				DOOR			HARDWARE	REMARKS	
					HEAD	JAMB	JAMB	THRES	MTL	FIN	MTL			FIN
D1	D	10'-0"	8'-0"	-	14/A-7	9/A-7	9/A-7	4/A-7	METAL	-	METAL	-	001	COLOR TO BE SELECTED
D2	D	12'-0"	8'-0"	-	14/A-7	9/A-7	9/A-7	4/A-7	METAL	-	METAL	-	001	COLOR TO BE SELECTED
D3	C	3'-0"	7'-8"	1 3/4"	2/A-6	3/A-6	3/A-6	1/A-6	FRP	PT	FRP	PT	002	
D4	A	3'-0"	7'-4"	1 3/4"	2/A-6	3/A-6	3/A-6	5/A-6	METAL	PT	METAL	PT	003	
D5	B	6'-0"	8'-0"	1 3/4"	2/A-6	2/A-6	2/A-6	1/A-6	METAL	PT	METAL	PT	004	
D6	A	3'-0"	7'-8"	1 3/4"	2/A-6	3/A-6	3/A-6	1/A-6	METAL	PT	METAL	PT	005	



2 DOOR HEAD DET (JAMB SIM)
SCALE: 3" = 1'-0"



1 THRESHOLD DETAIL
SCALE: 3" = 1'-0"

Tom Nance Water Resource Engineering
800 N. HAATT HIGHWAY - SUITE 203
HONOLULU, HAWAII 96813
TELEPHONE: (808)537-1144, FACSIMILE: (808)538-7757

COLBY R. SHIMONOFF
LICENSED PROFESSIONAL ARCHITECT
No. 4645
HAWAII, U.S.A.

Colby R. Shimonoff
This work was prepared by me or under my supervision & I am a duly licensed architect under the laws of the State of Hawaii. I am a member of the American Institute of Architects, the Hawaii State Architectural Council, and the Hawaii State Bar Association. I am a member of the American Institute of Architects, the Hawaii State Architectural Council, and the Hawaii State Bar Association. I am a member of the American Institute of Architects, the Hawaii State Architectural Council, and the Hawaii State Bar Association.

Graphic Scales:

Sheet Title:

Project: EVANS HOLDINGS WATER SYSTEM

Sheet Title:

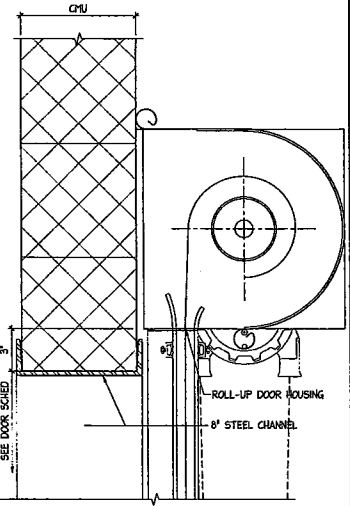
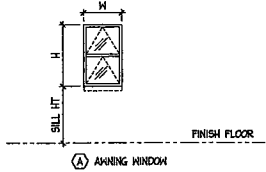
THIS SET OF PLANS BE KEPT ON JOB SITE DURING CONSTRUCTION

DOOR & LOUVER TYPES, DOOR SCHEDULE & DETAILS

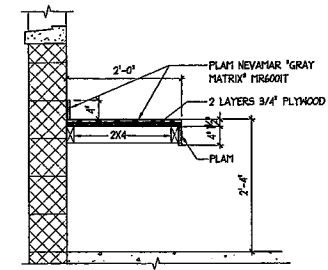
Rev	Date	Description	Eng	App

WINDOW SCHEDULE												
WDM NUMBER	WDM TYPE	WIDTH	HEIGHT	SILL HEIGHT	DETAIL				FRAME		HARDWARE	REMARKS
					HEAD	JAMB	JAMB	SILL	MATERIAL	FINISH		
W1	A	2'-0"	4'-4"	4'-0"	7/A-7	7/A-7	7/A-7	7/A-7	METAL	-	-	INSULATED GLASS WITH WIRE GLASS AT EXTERIOR

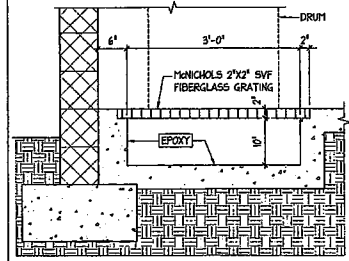
WINDOW TYPES



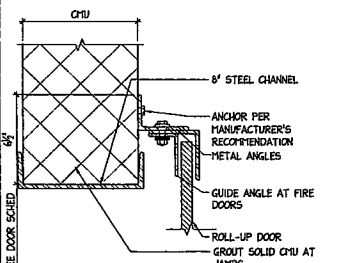
14 ROLL-UP DOOR HEAD DET
SCALE: 3" = 1'-0"



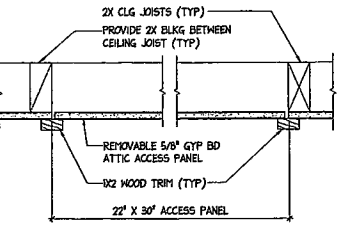
11 SECTION AT COUNTER
SCALE: 1" = 1'-0"



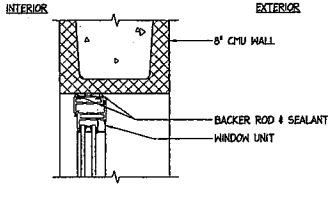
10 SECTION THRU SUMP
SCALE: 1" = 1'-0"



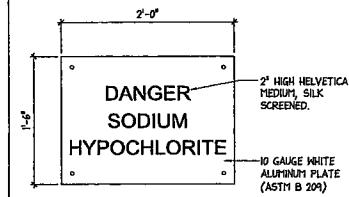
9 ROLL-UP DOOR JAMB DET
SCALE: 3" = 1'-0"



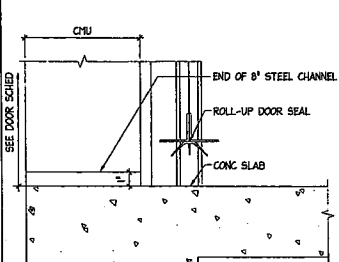
8 ATTIC ACCESS PANEL DET
SCALE: 3" = 1'-0"



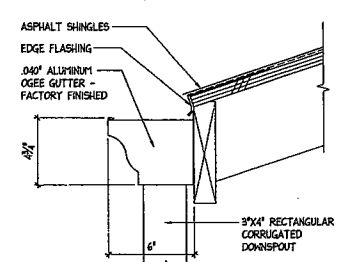
7 AWNING WINDOW HEAD JAMB SIMILAR
SCALE: 3" = 1'-0"



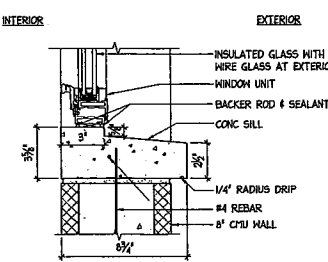
6 SIGN DETAIL
SCALE: 1 1/2" = 1'-0"



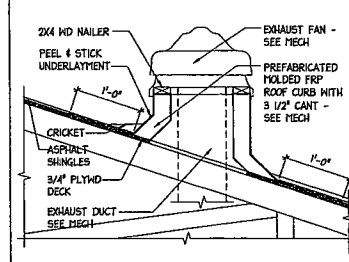
4 ROLL-UP DOOR THRES DET
SCALE: 3" = 1'-0"



3 GUTTER DETAIL
SCALE: 3" = 1'-0"



2 AWNING WINDOW SILL
SCALE: 3" = 1'-0"



1 ROOF DETAIL @ EXH FAN
SCALE: 1" = 1'-0"

Tom Nance Water Resource Engineering
360 K. HARTZ MOHWAY - SUITE 213
HONOLULU, HAWAII 96817
TELEPHONE: (808)377-1141, FACSIMILE: (808)336-7759

Consultant:

JOHN H. SHIMIZU
LICENSED PROFESSIONAL ARCHITECT
No. 4845
HAWAII, U.S.A.

John H. Shimizu
This work was prepared by me or under my supervision in connection with the preparation of the above project. I am a duly Licensed Professional Architect in the State of Hawaii. I am also a Licensed Professional Engineer in the State of Hawaii. I am also a Licensed Professional Engineer in the State of California. I am also a Licensed Professional Engineer in the State of Florida. I am also a Licensed Professional Engineer in the State of Georgia. I am also a Licensed Professional Engineer in the State of Illinois. I am also a Licensed Professional Engineer in the State of Indiana. I am also a Licensed Professional Engineer in the State of Iowa. I am also a Licensed Professional Engineer in the State of Kansas. I am also a Licensed Professional Engineer in the State of Kentucky. I am also a Licensed Professional Engineer in the State of Louisiana. I am also a Licensed Professional Engineer in the State of Maine. I am also a Licensed Professional Engineer in the State of Maryland. I am also a Licensed Professional Engineer in the State of Massachusetts. I am also a Licensed Professional Engineer in the State of Michigan. I am also a Licensed Professional Engineer in the State of Minnesota. I am also a Licensed Professional Engineer in the State of Missouri. I am also a Licensed Professional Engineer in the State of Montana. I am also a Licensed Professional Engineer in the State of Nebraska. I am also a Licensed Professional Engineer in the State of Nevada. I am also a Licensed Professional Engineer in the State of New Hampshire. I am also a Licensed Professional Engineer in the State of New Jersey. I am also a Licensed Professional Engineer in the State of New York. I am also a Licensed Professional Engineer in the State of North Carolina. I am also a Licensed Professional Engineer in the State of North Dakota. I am also a Licensed Professional Engineer in the State of Ohio. I am also a Licensed Professional Engineer in the State of Oklahoma. I am also a Licensed Professional Engineer in the State of Oregon. I am also a Licensed Professional Engineer in the State of Pennsylvania. I am also a Licensed Professional Engineer in the State of Rhode Island. I am also a Licensed Professional Engineer in the State of South Carolina. I am also a Licensed Professional Engineer in the State of South Dakota. I am also a Licensed Professional Engineer in the State of Tennessee. I am also a Licensed Professional Engineer in the State of Texas. I am also a Licensed Professional Engineer in the State of Utah. I am also a Licensed Professional Engineer in the State of Vermont. I am also a Licensed Professional Engineer in the State of Virginia. I am also a Licensed Professional Engineer in the State of Washington. I am also a Licensed Professional Engineer in the State of West Virginia. I am also a Licensed Professional Engineer in the State of Wisconsin. I am also a Licensed Professional Engineer in the State of Wyoming.

Graphic Scale:

Client:

EVANS HOLDINGS, INC.
1100 ALAKA STREET, SUITE 2100
HONOLULU, HAWAII 96813

Project:

EVANS HOLDINGS WATER SYSTEM

Sheet Title:

WINDOW SCHEDULE, WINDOW TYPES & DETAILS

Rev	Date	Description	Eng	App
CS	CS	Designed by		
JB	JB	Drawn by		
AUGUST 2016		Date:		
14-08		Project No.		
		Approved by:		
		Date:		
		Date:		
		Date:		

CONTROL BUILDING STRUCTURAL NOTES

- ALL FOUNDATION DIMENSIONS AND CONDITIONS
- ALL DIMENSIONS ON DRAWINGS BETWEEN THE VARIOUS ELEMENTS OF THE FOUNDATION SHALL BE SHOWN TO THE CENTER UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE AS APPLIED TO THE PROJECT IN GENERAL, UNLESS SPECIFICALLY DETAIL NOTED OTHERWISE.
- CONTRACTOR SHALL USE THESE DETAILS IN THE PREPARATION OF ALL STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS, STRUCTURAL DIMENSIONS, AND FOUNDATION DIMENSIONS, LOCATION OF ELEMENTS, FINISHES, AND CONDITIONS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE SITE SURVEY AND PREPARATION OF ALL TEMPORARY MARKS, STAKES, ETC. PROCEDURES INCLUDING SURVEYING, LASSING, AND PROTECTION OF ADJACENT PROPERTIES AND UTILITIES, EXISTING AREAS OR CONDITIONS SHALL BE MAINTAINED AND PROTECTED.
- THE CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS FROM TOOLS AND DISCREPANCIES NOTED ABOVE SHALL BE REPORTED TO THE PROJECT MANAGER FOR RESOLUTION.

FOUNDATION NOTES

- FOUNDATION IS DESIGNED BASED ON THE GEOTECHNICAL REPORT DATED 11/13/14. THIS GEOTECHNICAL REPORT SHALL BE USED AS A REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE FOUNDATION IS AS SHOWN ON DRAWINGS AND SHALL BE RESPONSIBLE FOR THE FOUNDATION BEING AS SHOWN ON DRAWINGS.
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REINFORCING STEEL

- ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- REINFORCING BARS SHALL BE PLACED AS SHOWN ON DRAWINGS EXCEPT BY SPECIFIC NOTATION TO THE CONTRARY.
- REINFORCING BARS SHALL BE PLACED AS SHOWN ON DRAWINGS EXCEPT BY SPECIFIC NOTATION TO THE CONTRARY.
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CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO AC 318-15.
- CONCRETE SHALL BE PLACED AS SHOWN ON DRAWINGS EXCEPT BY SPECIFIC NOTATION TO THE CONTRARY.
- CONCRETE SHALL BE PLACED AS SHOWN ON DRAWINGS EXCEPT BY SPECIFIC NOTATION TO THE CONTRARY.
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WOOD

- ALL WOOD STRUCTURAL MEMBERS SHALL BE DOUGLAS FIR MEETING THE LUMBER INSPECTION BUREAU STANDARD NO. 17.
- WOOD SHALL BE TREATED WITH PRESERVATIVE.
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STRUCTURAL INSULATION REQUIREMENTS

- ALL WOOD STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED WITH AN APPROVED PROCESS TO PROTECT AGAINST NOT AND INSECT DAMAGE.
- ALL WOOD STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED WITH AN APPROVED PROCESS TO PROTECT AGAINST NOT AND INSECT DAMAGE.
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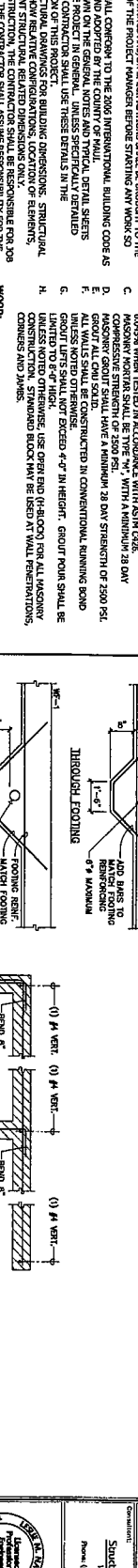
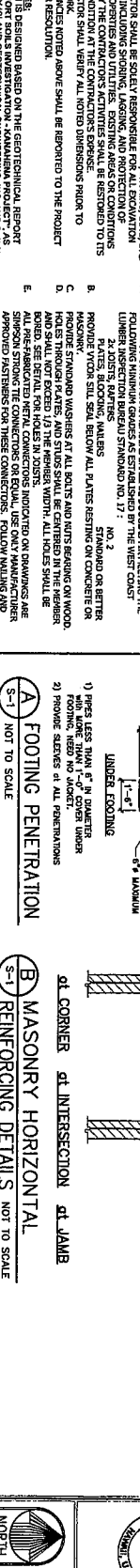
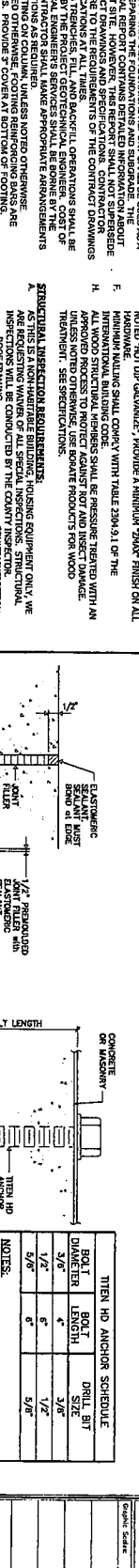
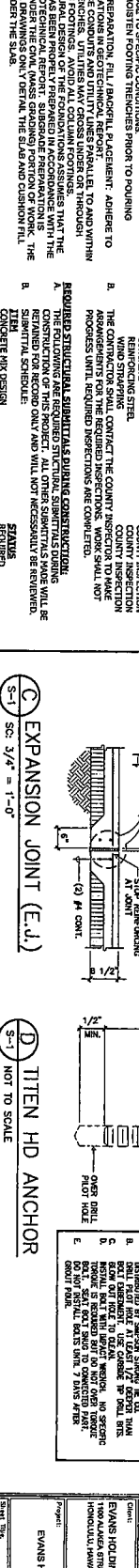
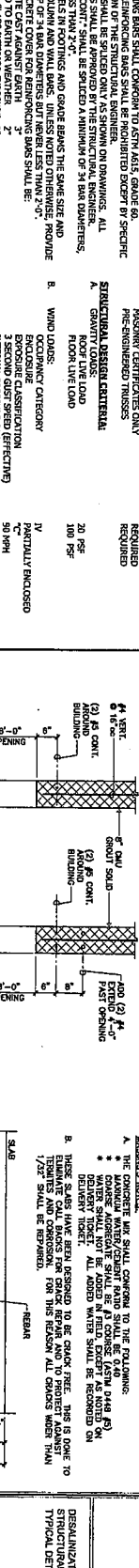
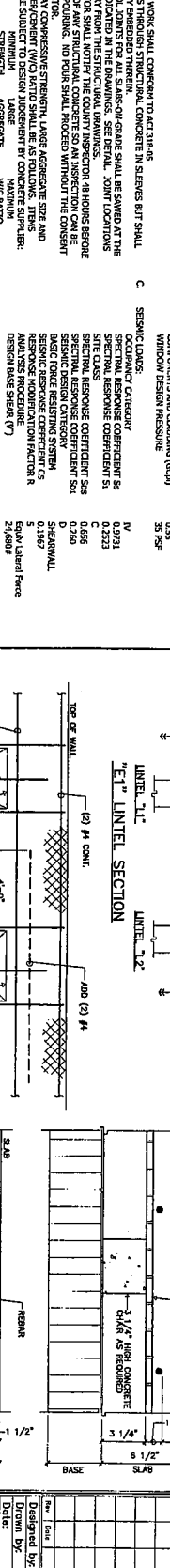
REQUIRED STRUCTURAL SUBMITTALS BUILDING CONSTRUCTION

- THE FOLLOWING ARE REQUIRED STRUCTURAL SUBMITTALS DURING CONSTRUCTION:
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REBAR PLACEMENT & SUPPORT DETAIL

MASONRY NOTES

- ALL MASONRY SHALL CONFORM TO THE FOLLOWING:
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TITEN HD ANCHOR SCHEDULE

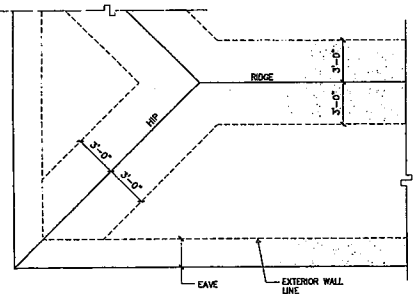
ANCHOR	DRILL BIT	DRILL BIT	DRILL BIT
3/8"	5/8"	3/8"	3/8"
1/2"	5/8"	3/8"	3/8"
5/8"	5/8"	3/8"	3/8"

REBAR PLACEMENT & SUPPORT DETAIL

MASONRY NOTES

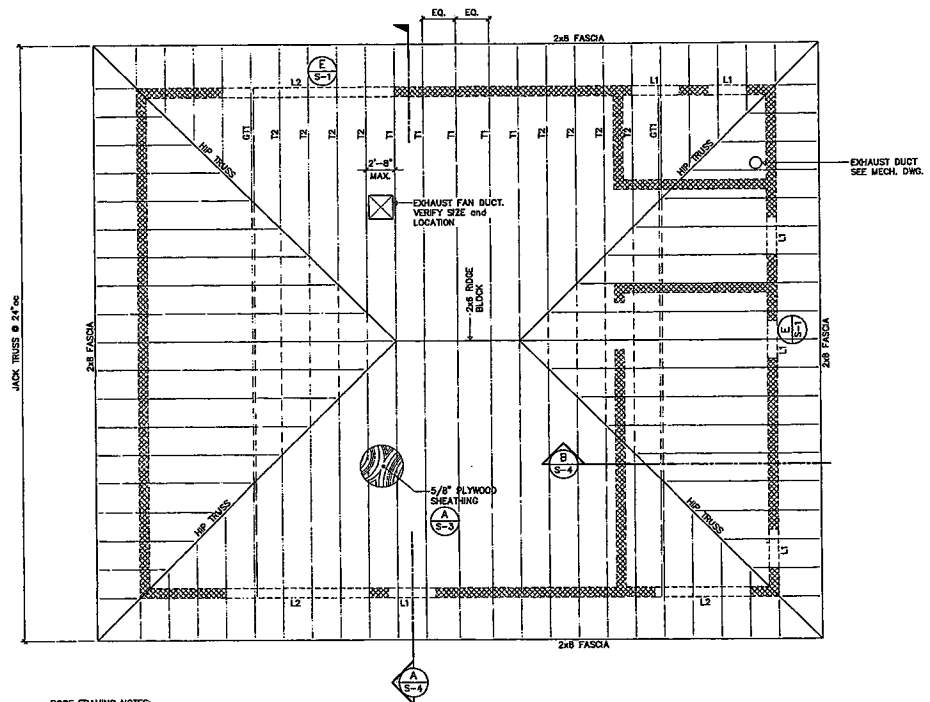
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Tom Nance Water Resource Engineering
 1501 N. W. 44th Ave., Suite 100
 Fort Lauderdale, FL 33309
 Phone: (954) 353-8811 Fax: (954) 353-8812



NOTES:
 A. IN SHADED AREAS PROVIDE 6d COMMON @ 5"oc TO ALL FRAMING.
 B. ELEMENTS: PROVIDE 6d COMMON @ 5"oc at PANEL EDGES and 12"oc at INTERIOR OF PANELS.

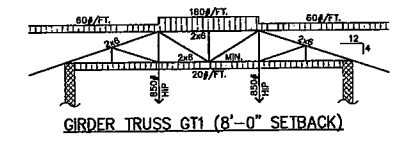
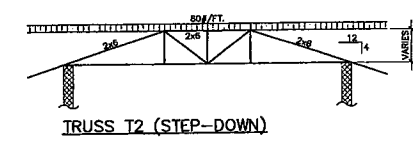
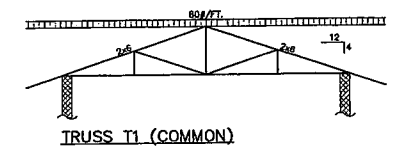
(A) ROOF SHEATHING FASTENING DETAIL
 S-3 SC: 1/4" = 1'-0"



ROOF FRAMING NOTES:
 A. T-1, GT-1, ETC. INDICATES TRUSS TYPE. SEE B/S-3 FOR ELEVATION AND NOTES.
 B. SPACE ALL TRUSSES AND RAFTERS @ 24"oc.

DESALINATION PLANT - ROOF FRAMING PLAN
 SC: 1/4" = 1'-0"

PREFABRICATED WOOD TRUSSES:
 A. PREFABRICATED WOOD TRUSSES SHALL CONFORM TO THE "DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" AS ADOPTED BY THE TRUSS PLATE INSTITUTE.
 B. CONNECTOR PLATES SHALL BE PRIME COMMERCIAL QUALITY GALVANIZED STEEL SHEETS NO LESS THAN 33 MILS THICKNESS.
 C. ALL TRUSSES SHALL BE DESIGNED FOR THE MINIMUM LOADS NOTED ON THE SCHEMATIC TRUSS ELEVATIONS. DESIGN SHALL SATISFY STRESS AND DEFLECTION REQUIREMENTS. ALLOWABLE TOTAL LOAD DEFLECTION SHALL BE SPAN/360, BUT NEVER MORE THAN 1/4".
 D. SUBMITTAL:
 1. FABRICATION AND ERECTION DRAWINGS, SHOWING TRUSS LAYOUT, ALL MEMBER SIZES, CONNECTIONS, AND TEMPORARY AND PERMANENT BRACING REQUIREMENTS.
 2. DESIGN CALCULATIONS, STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF HAWAII. CALCULATIONS SHALL BE REFERENCED TO THE LAYOUT PLAN FOR EASY REVIEW BY THE ENGINEER. ON CALCULATIONS SHOW DESIGN LOADS, STRESSES, DEFLECTIONS AND REACTIONS.
 3. ALL SUBMITTALS SHALL BE APPROVED PRIOR TO STARTING FABRICATION. MANUFACTURER SHALL DETERMINE ACTUAL WEB CONFIGURATION. VERIFY SIZE OF TOP CHORD NOTED ON ELEVATIONS.
 E. DO NOT VARY FROM TRUSS LAYOUT SHOWN. LAYOUT THAT DO NOT MATCH THIS DRAWING WILL BE REJECTED.



(B) SCHEMATIC TRUSS ELEVATIONS
 S-3 NOT TO SCALE

Tom Nance Water Resource Engineering
 880 K. AHEA ST. SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808)377-1141; FACSIMILE: (808)378-7787

Consultant:
Structural Analysis Group, Inc.
 1251 Kapiolani Blvd., Suite 045
 Honolulu, Hawaii 96814
 Phone: (808) 593-0951 Fax: (808) 593-0953

Tom Nance
 Licensed Professional Engineer
 No. 45405
 HAWAII, U.S.A.

NORTH
 GRAPHIC SCALE

Rev	Date	Description	Eng	App

Client: **EVANS HOLDINGS, INC.**
 1100 ALAKA STREET, SUITE 200
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

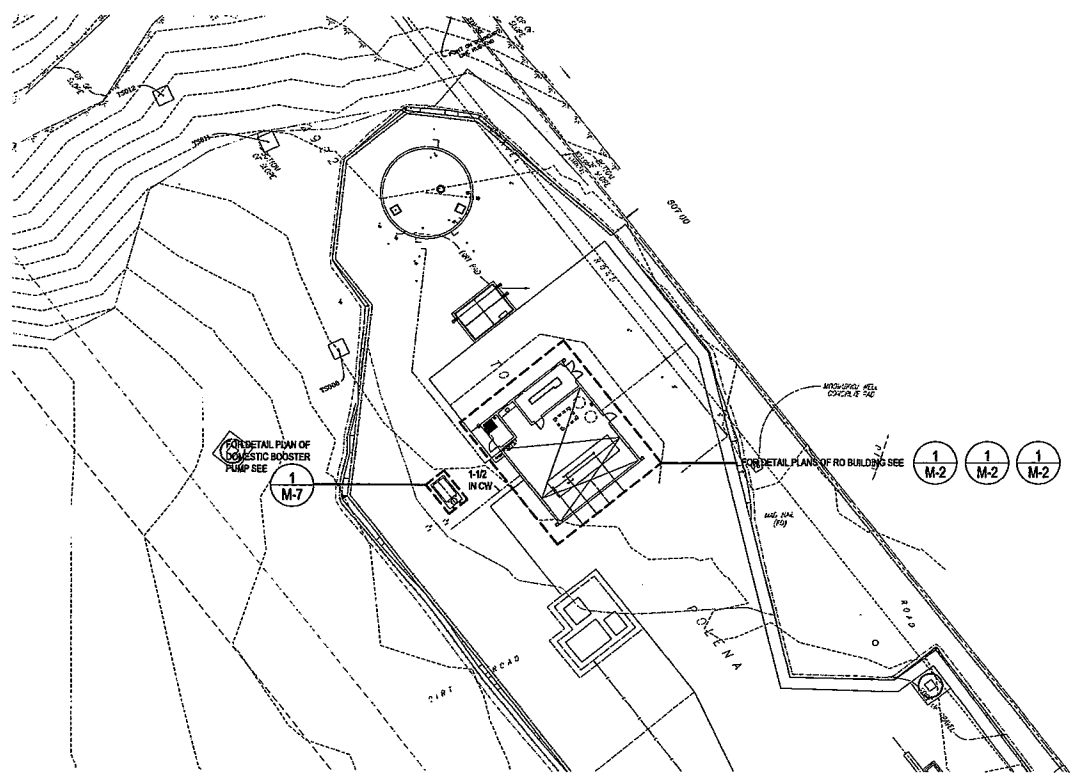
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Rev	Date	Description	Eng	App

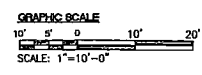
Designed by: **LMN**
 Drawn by: **GSK**
 Date: **JUNE 2016**
 Project No. **13-10**

Approved by: _____

SHEET **S-3**
 SHEET S-3 OF ___ SHEETS



1 SITE PLAN
M-2 1"=10'-0"



Tom Nance Water Resource Engineering
500 W. KUHLE ROAD - SUITE 213
HONOLULU, HAWAII 96817
TEL: (808) 533-7114 FAX: (808) 533-7757

MIYASHIRO AND ASSOCIATES, INC.
CONSULTING MECHANICAL ENGINEERS
850 RICHARDS STREET, PENTHOUSE HONOLULU, HAWAII 96813

MIYASHIRO
LICENSED PROFESSIONAL ENGINEER
No. 2485-04
HAWAII, U.S.A.

Makoto Y. Miyashiro
I hereby certify that I am the author of the design and drawings herein and that I am a duly Licensed Professional Engineer in the State of Hawaii. I am not providing any engineering services in any other state or country. I am not providing any engineering services in any other state or country. I am not providing any engineering services in any other state or country.

GRAPHIC SCALE

Graphic Scales

Client:
EVANS HOLDINGS, INC.
1100 ALAKA STREET, SUITE 2100
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER TREATMENT PLANT
FOR SITE: TURING CONSTRUCTION

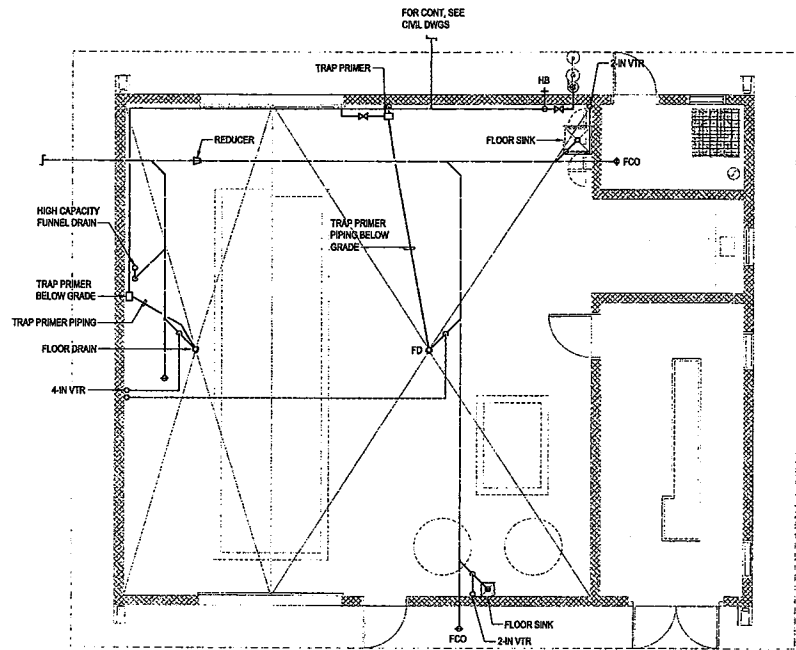
Sheet Title:
SITE PLAN

Rev.	Date	Description	Eng.	App.

Designed by: JA
Drawn by: JA
Date: JULY 2016
Project No. 14-08

Approved by: _____
Date: _____
Date: _____
Date: _____
Date: _____

SHEET M-2 OF 1 SHEETS



1
M-3
PLUMBING PLAN
1/4" = 1'-0"

Tom Nance Water Resource Engineering
 202 W. IWA WAY - SUITE 113
 HONOLULU, HAWAII 96813
 TEL: 808-531-1111 FAX: 808-531-1113

MIYASHIRO AND ASSOCIATES, INC.
 CONSULTING MECHANICAL ENGINEERS
 850 KOWALEW STREET, FORTHOOD, HONOLULU, HAWAII 96813

YOSHIO Y. MIYASHIRO
 LICENSED PROFESSIONAL ENGINEER
 No. 5885-PL
 HAWAII, U.S.A.
 I hereby certify that I am the author of the design and drawings shown on this set of plans and that I am a duly Licensed Professional Engineer in the State of Hawaii. My License No. is 5885-PL, Category: Mechanical Engineering, and my expiration date is 12/31/2016.

DATE	DESCRIPTION

Graphic Scales:

Client:
EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 200
 HONOLULU, HAWAII 96813

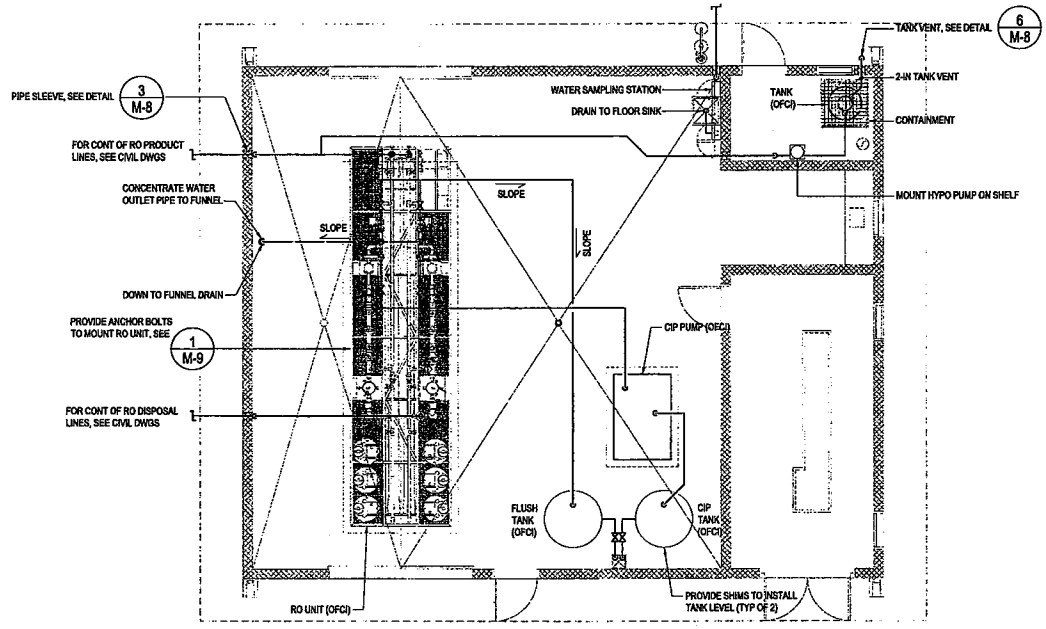
Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
PLUMBING PLAN

Rev	Date	Description	Eng	App

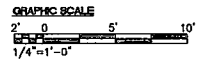
Designed by: NA
 Drawn by: JA
 Date: JULY 2016
 Project No: 14-08
 Approved by:

SHEET
M-3
 SHEET M-3 OF 1 SHEETS



1 M-4 RO AND HYPOCHLORITE PIPING
1/4" = 1'-0"

NOTE: RO SYSTEM EQUIPMENT AND HYPOCHLORITE EQUIPMENT WILL BE PROVIDED BY THE OWNER. THE CONTRACTOR SHALL OFFLOAD THE EQUIPMENT AT THE SITE, SET THE EQUIPMENT IN PLACE AND ANCHOR. CONTRACTOR SHALL PROVIDE ALL THE INTER-CONNECTING PIPING. CONTRACTOR SHALL COORDINATE PIPE CONNECTION EQUIPMENT MANUFACTURER.



Tom Nance Water Resource Engineering
560 P. HANAUER ROAD - SUITE 213
HONOLULU, HAWAII 96817
TELEPHONE: (808)577-1141, FACSIMILE: (808)538-7797

MIYASHIRO AND ASSOCIATES, INC.
CONSULTING MECHANICAL ENGINEERS
850 INDEPENDENT STREET, FENNER HOUSE, HONOLULU, HAWAII 96813

MICHAEL Y. MIYASHIRO
LICENSED PROFESSIONAL ENGINEER
No. 2465-01
HAWAII, U.S.A.

Michael Y. Miyashiro
The work was prepared by the Engineer or Architect or Professional Engineer or Professional Architect under my supervision and I am a duly Licensed Professional Engineer or Professional Architect or Professional Engineer or Professional Architect in the State of Hawaii.

DATE	DESCRIPTION

Graphic Scale:

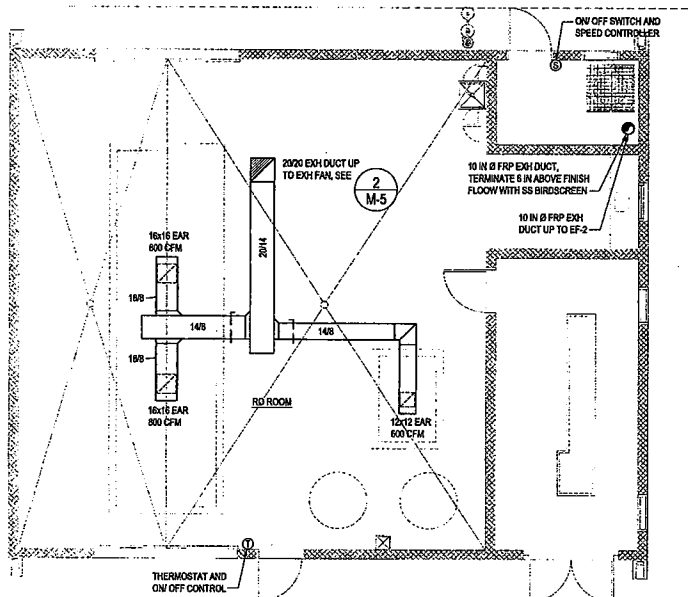
Client:
EVANS HOLDINGS, INC.
1180 ALAKA STREET, SUITE 2100
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

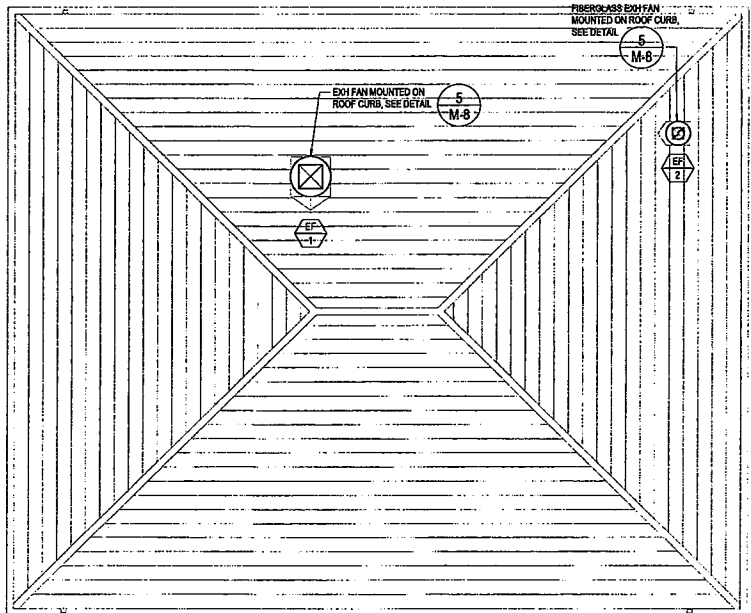
Sheet Title:
RO AND HYPOCHLORITE PIPING

Designed by:	NA
Drawn by:	JA
Date:	JULY 2016
Project No.:	14-08
Approved by:	
	Date:
	Date:
	Date:
	Date:

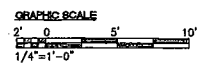
SHEET
M-4
SHEET M-4 OF 2 SHEETS



1
M-5
MECHANICAL PLAN
1/4" = 1'-0"



2
M-5
MECHANICAL ROOF PLAN
1/4" = 1'-0"



Tom Nance Water Resource Engineering
 222 N. WAIHEE HIGHWAY - SUITE 213
 HONOLULU, HAWAII 96815
 TELEPHONE: 808/533-1141, FACSIMILE: 808/533-7733

MIYASHIRO AND ASSOCIATES, INC.
 CONSULTING MECHANICAL ENGINEERS
 825 KOWALEVSKY STREET, PEARL AND HERMES BUILDING, HONOLULU, HAWAII 96813

ANGELA Y. MIYASHIRO
 LICENSED PROFESSIONAL ENGINEER
 No. 5483-LS
 HAWAII, U.S.A.

Angela Y. Miyashiro
 This work was prepared by the Engineer or under his direction and supervision. Completion of this project is subject to the Engineer's approval. The Engineer is not responsible for any errors or omissions in the design or construction of the project.

Client:
EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 1700
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

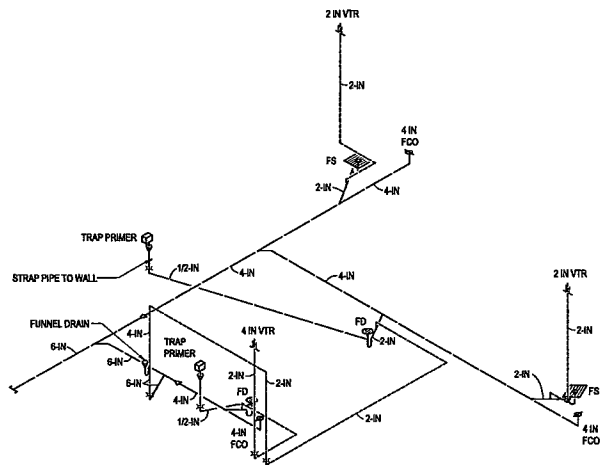
Sheet Title:
MECHANICAL PLAN

Rev.	Date	Description	Eng.	App.

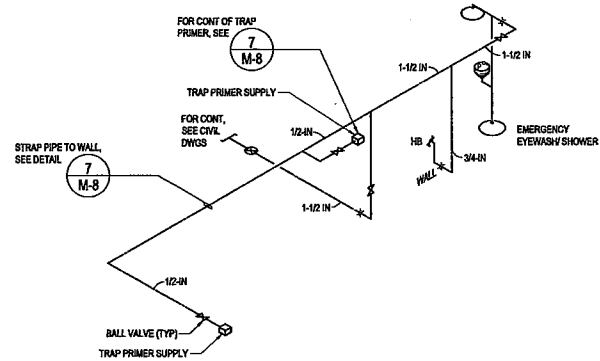
Designated by: NA
 Drawn by: JA
 Date: JULY 20'6
 Project No. 14-08

Approved by:
 _____ Date: _____
 _____ Date: _____
 _____ Date: _____
 _____ Date: _____

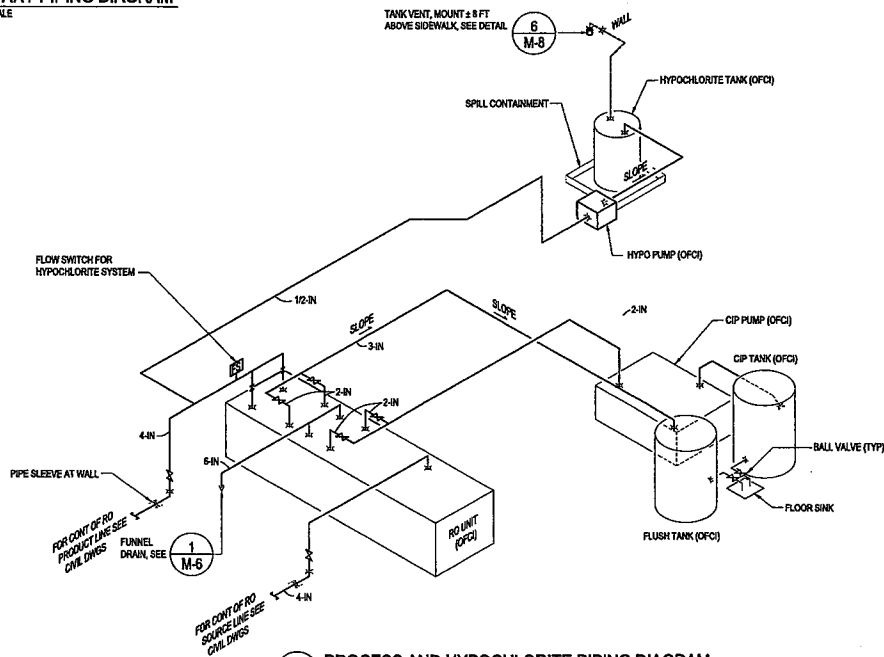
SHEET **M-5**
 SHEET M-5 OF — SHEETS



1 SANITARY PIPING DIAGRAM
M-6 NOT TO SCALE



2 WATER PIPING DIAGRAM
M-6 NOT TO SCALE



3 PROCESS AND HYPOCHLORITE PIPING DIAGRAM
M-6 NOT TO SCALE

Tom Nance Water Resource Engineering
540 W. ALAKA STREET - SUITE 2100
HONOLULU, HAWAII 96813
PHONE: (808) 537-1147 FAX: (808) 537-1148

MIYASHIRO AND ASSOCIATES, INC.
CONSULTING MECHANICAL ENGINEERS
850 EDWARDS STREET, FORT MOORE HONOLULU, HAWAII 96813

REGISTERED PROFESSIONAL ENGINEER
NO. 2148-4
HAWAII, U.S.A.
This work was prepared by the undersigned in accordance with the provisions of the Hawaii Professional Engineering Act, Title 10, Code of Laws of the State of Hawaii, Chapter 1001-1, and the rules and regulations of the Board of Professional Engineering.

DATE	DESCRIPTION

GRAPHIC SCALE

Client: EVANS HOLDINGS, INC.
1100 ALAKA STREET, SUITE 2100
HONOLULU, HAWAII 96813
Project: EVANS HOLDINGS WATER SYSTEM

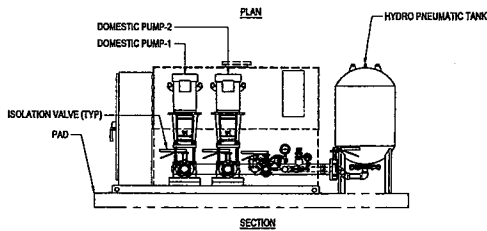
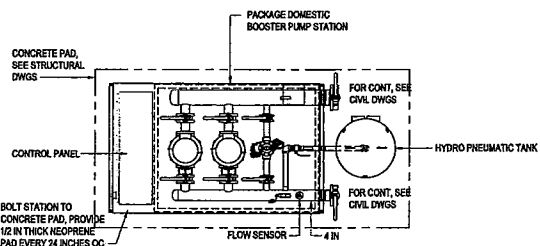
Sheet Title: PIPING DIAGRAMS

REV	DATE	DESCRIPTION	ENG	APP

Designed by: RA
Drawn by: JA
Date: JULY 2016
Project No. 14-08
Approved by: _____
Site: _____
Site: _____
Site: _____
Site: _____

SHEET M-6 OF 11 SHEETS

Michael V. Miyashiro
 This work was prepared by me under my supervision and management or the supervision of me under my direct supervision. I am a duly Licensed Professional Engineer in the State of Hawaii. I am duly Licensed Professional Engineer in the State of Hawaii. I am duly Licensed Professional Engineer in the State of Hawaii.



DOMESTIC BOOSTER PUMP STATION:

DOMESTIC BOOSTER PUMP STATION SYSTEM PERFORMANCE:

- 125 GPM @ 90 PSI
- 480 V / 3 PH / 60 HZ
- S3 FLA

DOMESTIC (DOM) PUMP 1 (ESTIMATED)

- 100 GPM @ 90 PSI
- 10 HP
- 480 V / 3 PH / 60 HZ

DOMESTIC (DOM) PUMP 2 (ESTIMATED)

- 100 GPM @ 90 PSI
- 10 HP
- 480 V / 3 PH / 60 HZ

HYDRO PNEUMATIC TANK:

- 60 GALLONS

SEQUENCE OF OPERATION - DOMESTIC STATION:

BOOSTER PUMP - LEAD/LAG OPERATION:
 THE PUMPS SHALL RUN ON WATER FLOW IN THE SYSTEM. THE PUMPS SHALL OPERATE IN A LEAD/LAG FASHION.

- THE DOMESTIC (DOM) PUMPS SHALL OPERATE IN A LEAD/LAG FASHION.
- THE LEAD PUMP SHALL RUN FIRST.
 - IF ANY PUMP FAILS, THE NEXT AVAILABLE PUMP SHALL STAGE ON AND THE FAILED PUMP SHALL BE REMOVED FROM OPERATION.
 - ADDITIONAL PUMP SHALL STAGE ON AS REQUIRED TO MAINTAIN WATER FLOW IN THE SYSTEM.

THE DESIGNATED LEAD PUMP SHALL ROTATE UPON ONE OF THE FOLLOWING CONDITIONS (USER SELECTABLE):

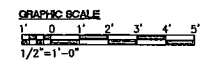
- MANUALLY THROUGH A SOFTWARE SWITCH
- IF PUMP RUNTIME (ADJ.) IS EXCEEDED
- DAILY
- WEEKLY
- MONTHLY

ALARMS SHALL BE PROVIDED AS FOLLOWS:

- DOMESTIC PUMP 1**
- FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
 - RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
 - RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.

- DOMESTIC PUMP 2**
- FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
 - RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
 - RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.

1
M-7
 1/2" = 1'-0"



DATE	DESCRIPTION

Graphic Scale:

Client: **EVANS HOLDINGS, INC.**
 1100 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

Sheet Title: **BOOSTER PUMP DETAIL**

Rev	Date	Description	By	App

Designed by: **NA**

Drawn by: **JA**

Date: **JULY 2016**

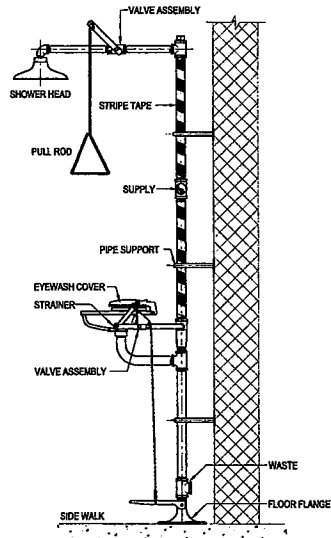
Project No. **14-06**

Approved by:

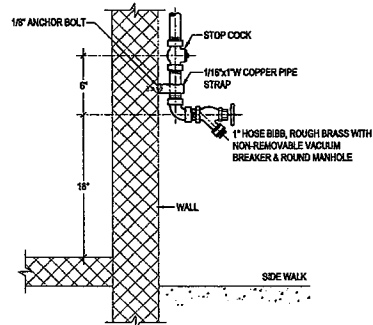
_____ Date _____

_____ Date _____

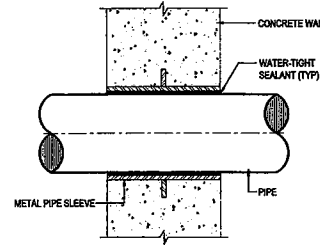
_____ Date _____



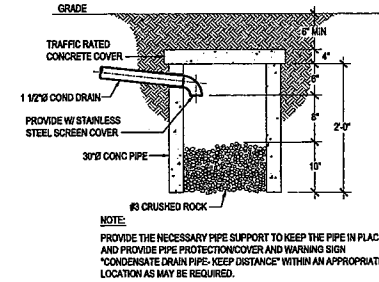
1 EMERGENCY SHOWER AND EYEWASH
M-8 NOT TO SCALE



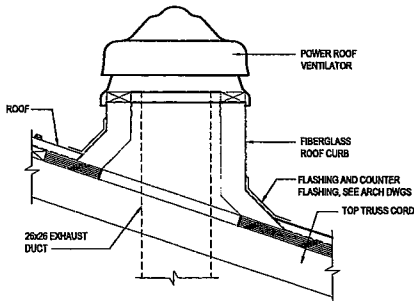
2 HOSE BIBB DETAIL
M-8 NOT TO SCALE



3 PIPE SLEEVE DETAIL
M-8 NOT TO SCALE

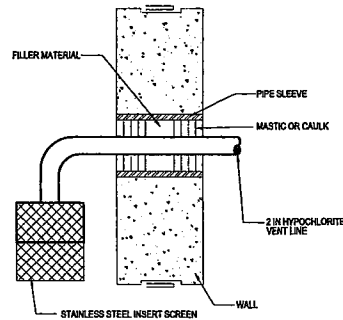


4 DRYWELL DETAIL
M-8 NOT TO SCALE

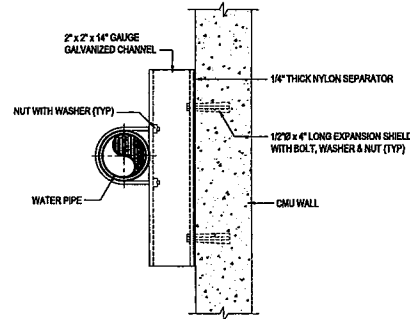


NOTE: PROVIDE A MINIMUM OF 3 FEET OF STRAIGHT DUCT BEFORE EXHAUST FAN. DUCT SIZE SHALL BE PER EXHAUST FAN MANUFACTURE.

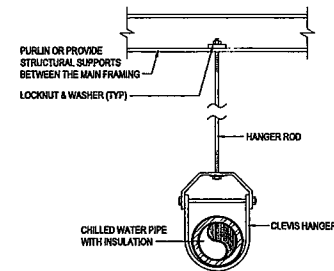
5 ROOF CURB DETAIL
M-8 NOT TO SCALE



6 TANK VENT DETAIL
M-8 NOT TO SCALE



7 PIPE SUPPORT DETAIL
M-8 NOT TO SCALE



7 PIPE SUPPORT DETAIL
M-8 NOT TO SCALE

Tom Nance Water Resource Engineering
 350 N. HANAU ROADWAY - SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808)337-1144, FAX: (808)337-1733

CONSULTANT:
MIYASHIRO AND ASSOCIATES, INC.
 LICENSED MECHANICAL ENGINEERS
 800 BOWLING GREEN, HONOLULU, HAWAII 96813

REGISTERED PROFESSIONAL ENGINEER
 STATE OF HAWAII, LICENSE NO. 1100

Robert X. Miyashiro
 I am not responsible for the preparation, contents or distribution of this drawing unless I have signed it under my own name. Certification of completion is subject to Title 10, Professional Engineers, Architects, Surveyors and Landscape Architects, Chapter 10, Professional Engineers, Architects, Surveyors and Landscape Architects, Statutes of the State of Hawaii.

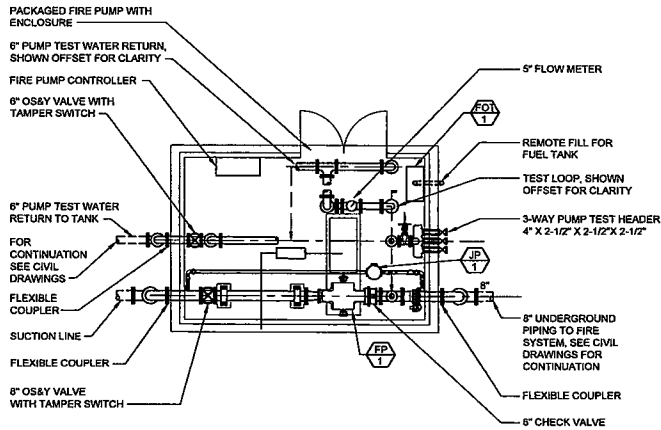
DATE: 7/15/2016
 PROJECT NO. 14-08

Rev.	Date	Description	Eng.	App.

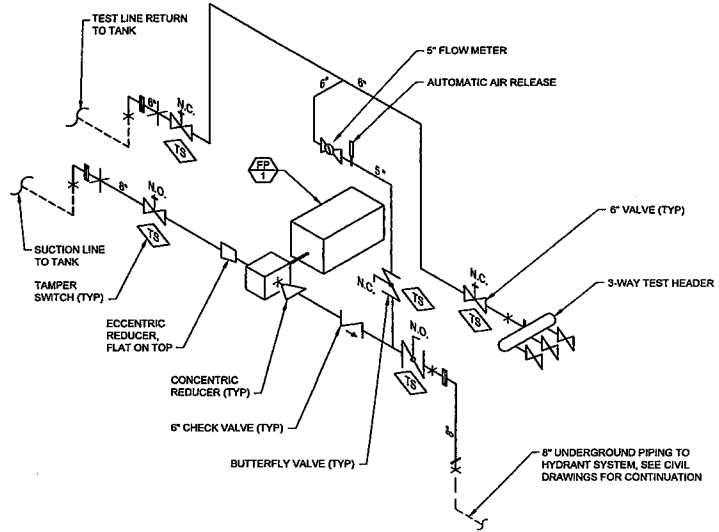
DESIGNED BY: NA
 DRAWN BY: JA
 DATE: JULY 2016
 PROJECT NO. 14-08

APPROVED BY: _____

SHEET M-8 OF 1 SHEETS



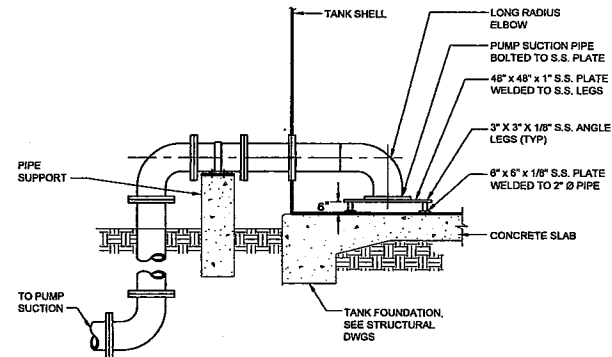
1 FIRE PROTECTION PLAN - FIRE PUMP HOUSE
SCALE: 1/4" = 1'-0"



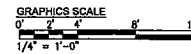
2 FIRE PUMP ISOMETRIC DIAGRAM
SCALE: NTS

EQUIPMENT SCHEDULE													
UNIT NO.	USE	TYPE	DRIVE	CAPACITY GPM	TDH, PSI	RPM	USABLE POWER	VOLTAGE VOLTS	PHASE	HERTZ	PUMP START (PSI)	PUMP STOP (PSI)	REMARKS
FP 1	FIRE PUMP	HORIZ. SPLIT CASE CENTRIFUGAL	DIESEL ENGINE	750	50	2,100	40 HP	N/A	N/A	N/A	40	-	PROVIDE ALL ACCESSORIES AND TO MEET NFPA AND SPECIFICATION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE FIRE PUMP CONTROLLER. ALL ITEMS SHALL BE UL LISTED OR FM APPROVED. CONTROLLER VOLTAGE SHALL BE 120 VAC, 1 PHASE, 60 HZ.
JP 1	WATER JOCKEY PUMP	-	-	-	-	-	-	-	-	-	-	-	DOMESTIC WATER PUMP

DIESEL STORAGE TANK SCHEDULE			
UNIT NO.	TYPE	TANK VOLUME	REMARKS
EQ 1	UL LISTED DIESEL FUEL TANK	45 GALLONS MINIMUM	DOUBLE WALL TANK



3 ANTI-VORTEX PLATE DETAIL
SCALE: NTS



Tom Nance Water Resource Engineering
 400 N. HAWAII AVENUE - SUITE 210
 HONOLULU, HAWAII 96813
 TEL: (808) 537-1141, FAX: (808) 538-7757

Professional Engineer
 No. 7250-M

Graphic Scale:

Client: EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 2100
 HONOLULU, HAWAII 96813

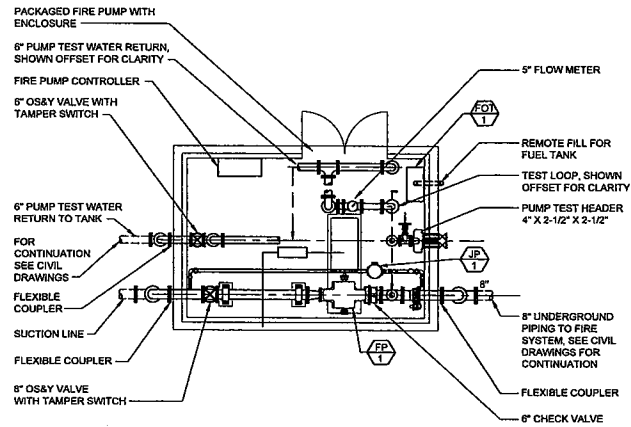
Project: EVANS HOLDINGS WATER SYSTEM

Sheet Title: FIRE PUMP PIPING PLAN, ISOMETRIC AND DETAILS

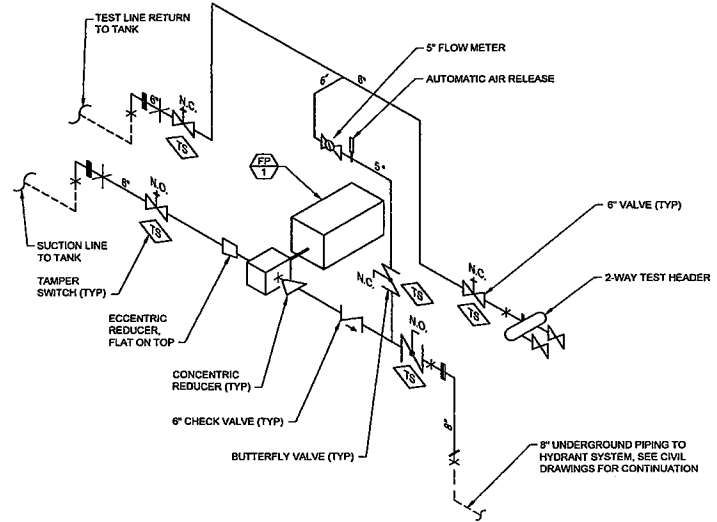
Rev	Date	Description	Eng	App

Designed by: JTH
 Drawn by: OSL
 Date: _____
 Project No. 13-10
 Approved by: _____

SHEET FP-1
 SHEET ___ OF ___ SHEETS



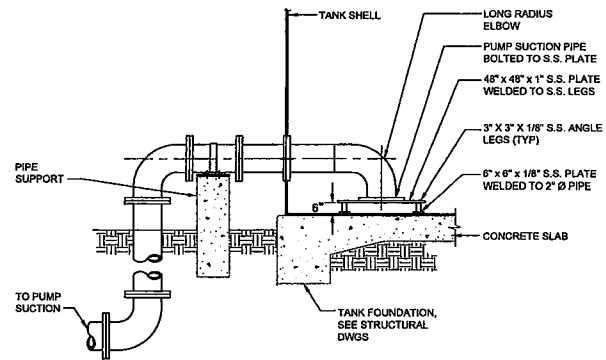
1 FIRE PROTECTION PLAN - FIRE PUMP HOUSE
SCALE: 1/4" = 1'-0"



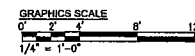
2 FIRE PUMP ISOMETRIC DIAGRAM
SCALE: NTS

EQUIPMENT SCHEDULE													
UNIT NO.	USE	TYPE	DRIVE	CAPACITY GPM	TDH, PSI	RPM	USABLE POWER	VOLTAGE, VOLTS	PHASE	HERTZ	PUMP START (PSI)	PUMP STOP (PSI)	REMARKS
FP 1	FIRE PUMP	HORIZ. SPLIT CASE CENTRIFUGAL	DIESEL ENGINE	500	50	2,100	30 HP	N/A	N/A	N/A	40	-	PROVIDE ALL ACCESSORIES AND TO MEET NFPA AND SPECIFICATION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE FIRE PUMP CONTROLLER. ALL ITEMS SHALL BE UL LISTED OR FM APPROVED. CONTROLLER VOLTAGE SHALL BE 120 VAC, 1 PHASE, 60 HZ.
JP 1	WATER JOCKEY PUMP	-	-	-	-	-	-	-	-	-	-	-	DOMESTIC WATER PUMP

DIESEL STORAGE TANK SCHEDULE			
UNIT NO.	TYPE	TANK VOLUME	REMARKS
EQ 1	UL LISTED DIESEL FUEL TANK	35 GALLONS MINIMUM	DOUBLE WALL TANK



3 ANTI-VORTEX PLATE DETAIL
SCALE: NTS



Tom Nance Water Resource Engineering
300 N. KEELE AVENUE - SUITE 213
HONOLULU, HAWAII 96817
TELEPHONE: (808) 537-1141, FACSIMILE: (808) 536-7757

Consultant:
THE STATE ENGINEER
NO. 7250-41
4/30/2016
Department of the Interior

NORTH
LAYER CONTROL

Graphic Scale:

Client:
EVANS HOLDINGS, INC.
1100 ALAKA STREET, SUITE 200
HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
FIRE PUMP PIPING PLAN, ISOMETRIC AND DETAILS

Rev	Date	Description	Eng	App

Designed by: JTH
Drawn by: OSL
Date: JULY 2016
Project No. 13-10

Approved by:

SHEET
FP-1
SHEET ____ OF ____ SHEETS

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MAUI ELECTRIC COMPANY AND HAWAIIAN TELCOM.
- PROVIDE POLYOLEFIN 200LB TEST PULLCORD IN ALL EMPTY CONDUITS, UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL EQUIPMENT ENCLOSURES AND EQUIPMENT MOUNTING HARDWARE FOR OUTDOOR INSTALLATION SHALL BE TYPE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

HAWAIIAN TELCOM CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT HAWAIIAN TELCOM'S MAUI CONSTRUCTION ASSISTANT, AT LEAST 72 HOURS BEFORE INSPECTION IS REQUIRED.
- ALL HAWAIIAN TELCOM DUCTS SHALL BE 2" PVC, MEETING SPECIFICATION GTS 8342. DUCTS PLACED UNDER BUILDING SLAB CAN BE SCHEDULE 40 PVC.
- CONTRACTOR SHALL NOT PLACE ANY FOREIGN FACILITIES OVER THE TELEPHONE DUCTLINE SYSTEM.
- AT RISER POLE OR AT BUILDING, DUCTS AND CONDUITS SHALL HAVE A MINIMUM RADIUS BEND OF 24 INCHES (SCHEDULE 40). TERMINATE THE DUCT 12" ABOVE GRADE AT THE RISER POLE. MINIMUM SLEEPS SHALL BE 25 FT. RADIUS, BOTH HORIZONTAL AND VERTICAL.
- MAIN TELEPHONE CONDUIT SHALL ENTER THE TELEPHONE CABINET ON THE LEFT SIDE OF THE TELEPHONE CABINET.
- A ROUND SOLID MANDREL, 12" LONG, AND 1/4" LESS THAN THE DIAMETER OF THE DUCT SHALL BE PULLED THROUGH EACH CONDUIT.
- ALL HANDHOLES AND PULLBOXES SHALL BE PLACED IN AREAS THAT HAVE A SLOPE OF LESS THAN 10%.
- ALL DUCTS, HANDHOLES AND PULLBOXES SHALL BE INSPECTED AND ACCEPTED BY HAWAIIAN TELCOM A MINIMUM OF 30 DAYS PRIOR TO REQUIRED SERVICE DATE.
- ALL CONTRACTOR PLACED "INSIDE WIRE" SHALL BE LABELED WITH THE CIRCUIT NUMBER UTILIZING HELLMANN TYLON IMP 1.5 WHITE ID PLATE 3/4" X 1 1/2" (PRODUCT # IMP1.510M4) OR EQUIVALENT AND TERMINATED (BLUE/WHITE OR GREEN/RED PAIR) TO THE FIRST JACK WITHIN THE BUILDING.

PUMP CONTROL SCHEMATIC DIAGRAM SYMBOLS

SYMBOL	DESCRIPTION
ESS	EMERGENCY STOP SWITCH (MANUAL) WITH MANUAL RESET
R1-R10	CONTROL RELAYS
PCV	PUMP CONTROL VALVE
LSC-LSD	PUMP CONTROL VALVE LIMIT SWITCHES
RA-RJ	CONTROL RELAYS
CR1-CR2	CONTROL RELAYS
FC	MAIN LINE FLOW SWITCH (CLOSES WITH FLOW)
RTM	RUNNING TIME METER
G	GREEN LED LIGHT
R	RED LED LIGHT
A	AMBER LED LIGHT
B	BLUE LED LIGHT
AR	PUMP START AUXILIARY RELAY
PRL	PHASE REVERSAL/LOSS RELAY
Q	SEQUENCE TIMER CONTACT
TD	TIME DELAY RELAY
MP	THREE PHASE MOTOR PROTECTOR SYSTEM
MPRM	THREE PHASE MOTOR PROTECTOR REMOTE MANAGER SYSTEM
SPD	SURGE PROTECTION DEVICE
SSS	SOLID STATE STARTER
DO	SCADA SYSTEM DIGITAL OUTPUT CONTACT
HDPS	HIGH DISCHARGE PRESSURE SWITCH
TBD	SOLID-STATE STARTER TERMINAL BOARD 3 CONTACT

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
⊙	LIGHT FIXTURE, CEIL. MTD.
⊙	LIGHT FIXTURE, WALL MTD.
—	FLEXIBLE CONDUIT, LIQUIDTIGHT
—	CONDUIT OR DUCTLINE BELOW REF. FL. OR GROUND
—	STUB, CAP & MARK CONDUITS WITH CONCRETE MARKER, SEE DETAIL 3/ME-15
⊙	COMBINATION TEL/DATA OUTLET BOX, MTD. +18" OR AS NOTED
⊙	L.T. SW., 1P, CONTROLLING OUTLET(S) "O", MTD. +48"
⊙	DUPLEX RECEPTACLE, NEMA 5-15R, 120V, MTD. +18" OR AS NOTED
⊙	ELECTRIC/SIGNAL DUCTLINE WITH DESIGNATORS; ITEMS IN CIRCLE INDICATES DUCT SECTION TYPE, WITH DUCT COMPLEMENTS NOTED BELOW (TYPE "A" DUCT INDICATED WITH 2"-4" DUCTS, AND TYPE "C" DUCT WITH 1"-2" DUCT; E-ELECTRIC, T-TELEPHONE, A-ANTENNA CABLE C-CONTROLS, I-INSTRUMENTATION); SEE SHEET ME-2 FOR DUCT SECTION DETAILS AND REQUIREMENTS
⊙	ELECTRICAL PANELBOARD
⊙	JUNCTION BOX, CEIL. MTD., 4-11/16" NOM.
⊙	JUNCTION BOX, WALL MTD., 4-11/16" NOM.
⊙	JUNCTION BOX MTD. ON CHANNEL SUPPORT, SEE DETAIL 2/ME-15
⊙	MOTOR CONNECTION
⊙	EQUIPMENT CONNECTION
⊙	TANK LEVEL TRANSMITTER CONNECTION
⊙	BUTTERFLY VALVE CONNECTION
⊙	WELL FLOW SWITCH CONNECTION
⊙	LIMIT SWITCH CONNECTION
⊙	WELL FLOW TRANSMITTER CONNECTION
⊙	HIGH DISCHARGE PRESSURE SWITCH CONNECTION
⊙	3X5" MECO CONCRETE HANDHOLE PER MECO REQUIREMENTS AND APPROVAL
⊙	2' X 4' ELECTRIC PULLBOX SIMILAR TO MECO STANDARD PULLBOX REQUIREMENTS
⊙	12' X 20" ELECTRIC CONTROLS PULLBOX SIMILAR TO MECO STANDARD PULLBOX REQUIREMENTS
⊙	12' X 20" ELECTRIC INSTRUMENTATION PULLBOX SIMILAR TO MECO STANDARD PULLBOX REQUIREMENTS
⊙	2' X 4' HTO CONCRETE PULLBOX, TYPE 3451B PRECAST CONCRETE PULLBOX WITH POLYMER "NON-SKID" COVERS AND GROUND ROD, PER HTOC STANDARD DRAWING NO. 34056
⊙	LIGHT FIXTURE DESIGNATOR, INDICATES TYPE "A" WITH 2-34 WATT LAMPS, SEE LIGHT FIXTURE SCHEDULE
NP	DENOTES "WEATHERPROOF"
SS	DENOTES "TYPE 316 STAINLESS STEEL"
DL	DENOTES "DAMP LOCATION"

NOTE:
NO HASH MARKS ON CONDUITS INDICATE 2 WIRES; —||— INDICATES 3 WIRES; —|||— INDICATES 4 WIRES, ETC.

COUNTY OF MAUI
MAUI COUNTY CODE, CHAPTER 18.16A ENERGY CODE

TO THE BEST OF MY KNOWLEDGE THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

— BUILDING COMPONENT SYSTEMS
X ELECTRICAL COMPONENT SYSTEMS
— MECHANICAL COMPONENT SYSTEMS

SIGNATURE: *KKO* DATE: 8/9/16
NAME: KRANG K. OTANI
TITLE: PROJECT ENGINEER
LICENSE NO.: 14288

BUILDING ENERGY CONSERVATION CODE

EXTERIOR LIGHTING POWER ALLOWANCE 1912W INSTALLED 940W
INTERIOR LIGHTING POWER ALLOWANCE 404W INSTALLED 132W

CALCULATIONS: SEPARATE X ON DRAWINGS
(CHECK ONE)

Tom Nance Water Resource Engineering
500 AL. SMITH HIGHWAY - SUITE 203
HONOLULU, HAWAII 96813
TELEPHONE: (808)577-1161, FACSIMILE: (808)508-7737

Consultant: **Ronald N.S. Ho & Associates, Inc.**
Electrical Engineers
2153 North King Street, Suite 201
Honolulu, Hawaii 96819

KRANG K. OTANI
LICENSED PROFESSIONAL ENGINEER
NO. 14288
HAWAII, U.S.A.

KKO

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT.

GRAPHIC SCALE

1" = 10'	1" = 20'	1" = 30'	1" = 40'	1" = 50'	1" = 60'	1" = 70'	1" = 80'	1" = 90'	1" = 100'
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CLIENT:

EVANS HOLDINGS, INC. **THIS SET OF PLANS IS TO BE KEPT ON JOB SITE AT ALL TIMES DURING CONSTRUCTION.**

1100 ALAKEA STREET, SUITE 201
HONOLULU, HAWAII 96813

PROJECT:

EVANS HOLDINGS WATER SYSTEM

SHEET TITLE:

ELECTRICAL SYMBOLS, GENERAL NOTES

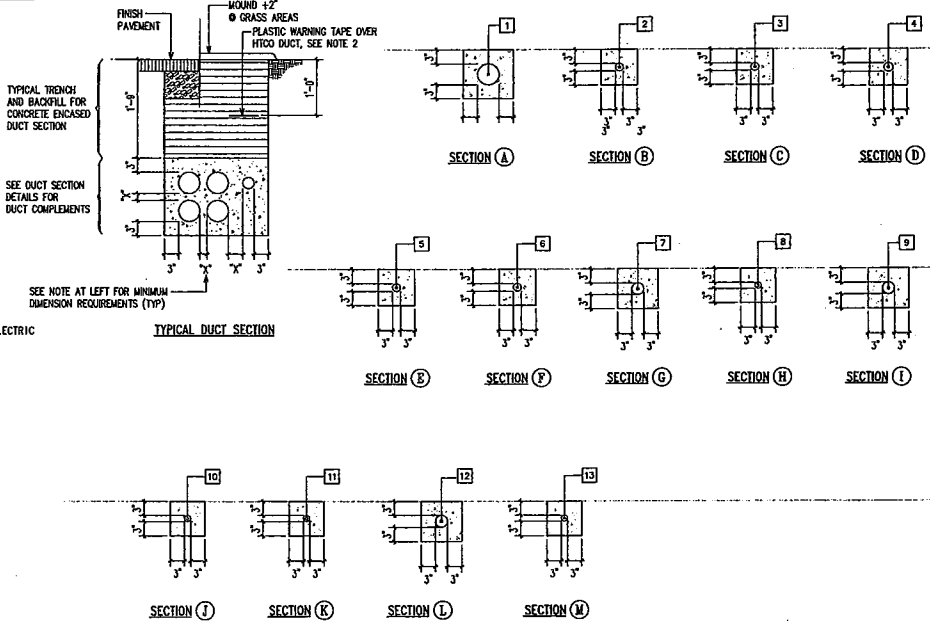
Rev	Date	Description	Eng	App

DESIGNED BY: KKO
DRAWN BY: YS
DATE: JULY 2016
PROJECT NO. H-06

APPROVED BY:

DUCT SECTION BACKFILL NOTES:

- TYPE "A" BACKFILL - EARTH & GRAVEL. ROCK SIZE TO BE 1" MAX. & THE MIXTURE TO CONTAIN NOT MORE THAN 50% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION.
- TYPE "B" BACKFILL - EARTH & GRAVEL. MIXTURE MUST PASS A 1/2" MESH SCREEN & CONTAIN NOT MORE THAN 20% BY VOLUME OF ROCK PARTICLES. 95% COMPACTION.
- NOTE - IF NORMAL MATERIAL AT BOTTOM OF TRENCH IS NOT TYPE "B", AN ADDITIONAL 3" SHALL BE EXCAVATED & TYPE "B" BACKFILL PROVIDED.
- CONCRETE - 3" ENCASUREMENT, 2500 PSI COMPRESSIVE STRENGTH @ 28 DAYS.



DESIGNATION DESCRIPTIONS

- ELEC = UTILITY CO. PRIMARY OR SECONDARY ELECTRIC
- TEL = UTILITY CO. TELEPHONE
- PMR = PRIMARY OR SECONDARY ELECTRIC
- CTL = CONTROL
- SIG = INSTRUMENTATION OR ANTENNA CABLE

MINIMUM 3" DIMENSION DUCT SEPARATION REQUIREMENTS

- ELEC - ELEC = 1 1/2"
- ELEC - TEL = 3"
- TEL - TEL = 1 1/2"
- ELEC - CTL/SIG = 3"
- TEL - CTL/SIG = 1 1/2"
- PMR - CTL/SIG = 3"
- ELEC - PMR = 1 1/2"
- TEL - PMR = 3"
- PMR - PMR = 1 1/2"
- CTL/SIG - CTL/SIG = 1 1/2"

MINIMUM OF 3" CONCRETE ENCASUREMENT AROUND DUCTBANK

WHERE DUCTLINE CROSSES OVER WATER LINE, PROVIDE THE FOLLOWING:

1. 6" MINIMUM SEPARATION BETWEEN DUCTLINES AND WATER LINE.
2. PROVIDE CONCRETE JACKET AROUND DUCTLINES.
3. PROVIDE ONLY TYPE "B" BACKFILL AROUND WATER LINE.

HAWAIIAN TEL.COM (HTCO) NOTES:

1. CONTRACTOR SHALL PLACE MULETAPE (MP 1800P) IN EACH DUCT THROUGHOUT ITS ENTIRE LENGTH WITH PROTRUSIONS OF 2 FEET IN MANHOLES AND HANDHOLES AT EACH END, AND 1 FOOT IN PULLBOXES. MULETAPE IS RATED FOR 1800 LB PULL AND HAS FOOTMARKS FOR MEASURING DUCT LENGTHS.
2. CONTRACTOR SHALL PLACE 8-MIL ORANGE COLORED PLASTIC WARNING TAPE, NOT LESS THAN 4" WIDE, ENTIRE LENGTH OF TRENCH FOR ALL UNDERGROUND INSTALLATIONS. TAPE SHOULD READ "WARNING-STOP DIGGING-CALL HTCO, COMMUNICATIONS CABLE BURIED BELOW, FAILURE TO COMPLY COULD RESULT IN LEGAL ACTION".

DUCT SECTION DETAILS AND REQUIREMENTS

NOT TO SCALE

DUCT AND WIRE SCHEDULE

NO.	DUCT SIZE	WIRE SIZE	DESTINATION OR USE
1	4"	SEE ONE-LINE DIAGRAM	SECONDARY POWER FROM MEDO PADMOUNT TRANSFORMER TO MEDO CT CABINET
2	1 1/2"	SEE ONE-LINE DIAGRAM	POWER TO WELL PUMP NO. 1 FROM MCC
3	1 1/2"	12#12 (4#12 SPARES)	WELL PUMP NO. 1 CONTROLS FROM MCC
4	1 1/2"	FLOW METER CABLE	FROM WELL PUMP NO. 1 FLOW TRANSMITTER TO FLOW METER IN SCADA CABINET VIA PULLBOX
5	1 1/2"	PC	FUTURE WELL PUMP NO. 2 POWER
6	1 1/2"	PC	FUTURE WELL PUMP NO. 2 CONTROLS
7	2"	FLOW METER CABLE, PC	WELL PUMP NO. 1 FLOW TRANSMITTER TO SCADA AND FUTURE WELL PUMP NO. 2 INSTRUMENTATION
8	1"	2/#14 TWISTED, SHIELDED CABLE W/SIG	INSTRUMENTATION CIRCUIT FROM TANK LEVEL TRANSMITTER TO RTU ANALOG INPUT
9	2"	PC (SEE HTCO NOTE NO. 1)	TELEPHONE (CABLES BY HAWAIIAN TELCOM)
10	1"	CONTROL WIRES AS REQUIRED	FIRE PUMP ALARM TO TELEPHONE CABINET VIA SCADA CABINET
11	1"	4#12, 1#12 GND	120V CIRCUITS TO FIRE PUMP
12	2"	SEE ONE-LINE DIAGRAM	POWER TO BOOSTER PUMP UNIT FROM MCC
13	1"	COMMUNICATIONS CABLE	STATUS SIGNALS TO BOOSTER PUMP UNIT FROM SCADA CABINET

NOTES:

1. ALL CONCRETE ENCASED DUCTS SHALL BE SCHEDULE 40 PVC.
2. ALL DIRECT BURIED DUCTS SHALL BE SCHEDULE 80 PVC.
3. PC INDICATES PROVIDE PULLCORD.

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RONALD N. HO
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 No. 94286
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DATE	2016.08.08
BY	[Signature]
DESCRIPTION	REVISED PER COMMENTS. CONSULTANT'S REVIEW OF SUBMITTALS. CONSULTANT'S REVIEW OF SUBMITTALS. CONSULTANT'S REVIEW OF SUBMITTALS.

Graphic Scale:

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Client: **EVANS HOLDINGS, INC.**
 1100 ALAKEA STREET, SUITE 100
 HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

Sheet Title: **DUCT SECTION DETAILS AND REQUIREMENTS**

Rev	Date	Description	Eng	App

SHEET **E-2**
 SHEET OF SHEETS

DATE	DESCRIPTION

Graphic Scales:

Client:
EVANS HOLDINGS, INC.
 1100 ALAKEA STREET, SUITE 200
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
ELECTRICAL SITE PLAN

Rev	Date	Description	Eng	App

Designed by: **KKO**
 Drawn by: **YS**
 Date: **JULY 2016**
 Project No.: **14-08**

Approved by:

Date

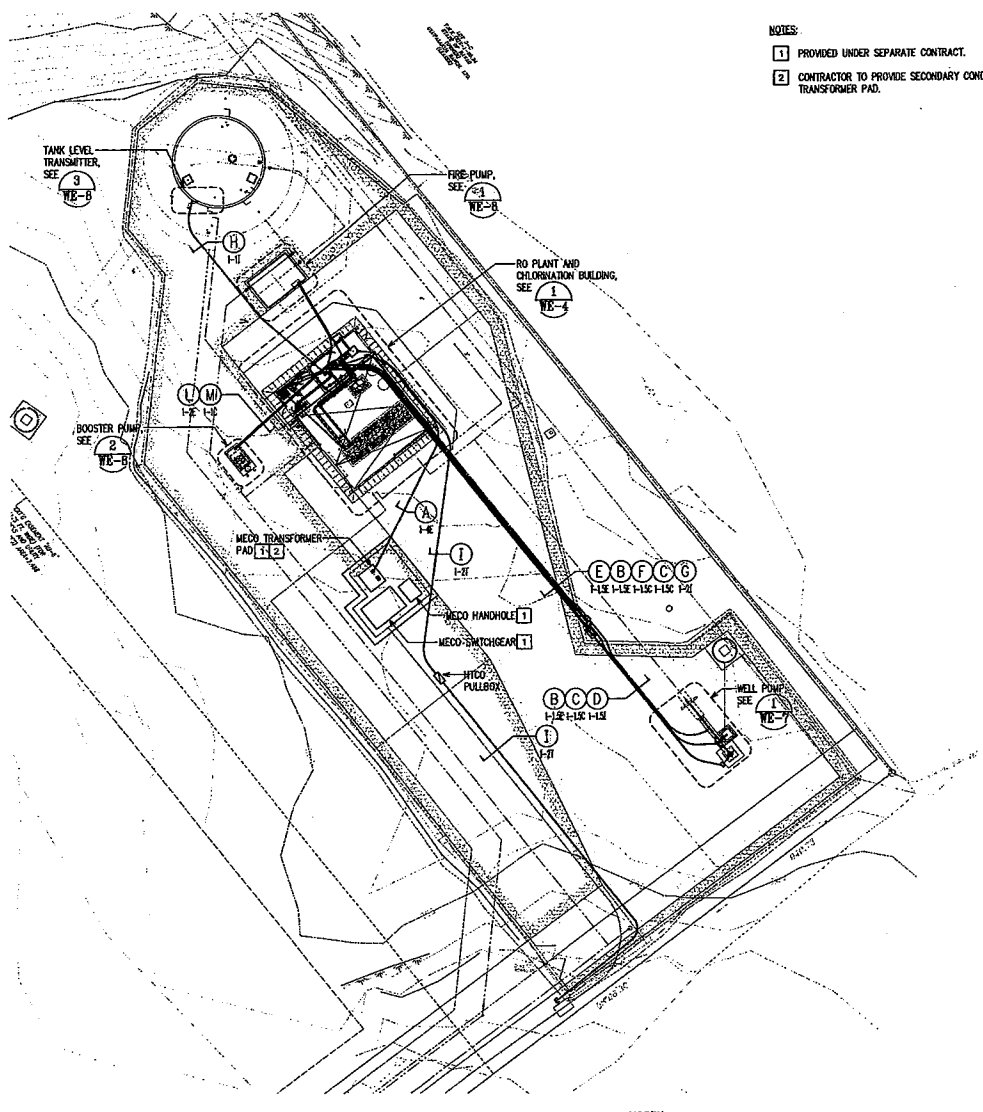
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Date

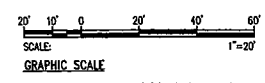
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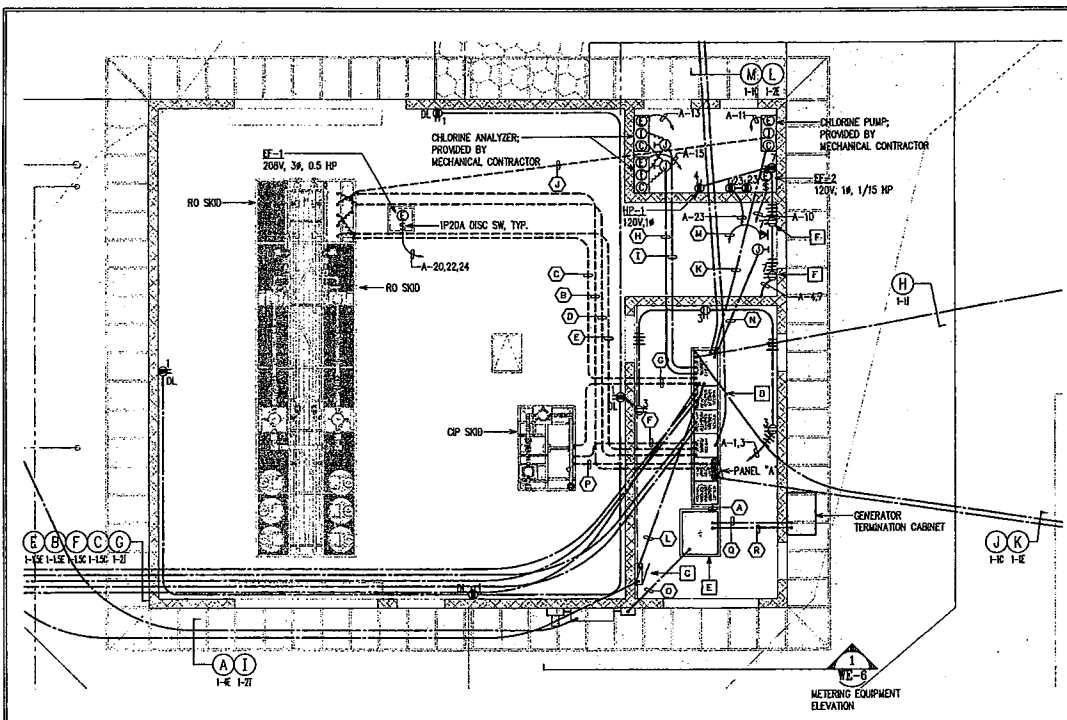
SHEET **E-3**
 OF SHEETS

- NOTES:
- 1 PROVIDED UNDER SEPARATE CONTRACT.
 - 2 CONTRACTOR TO PROVIDE SECONDARY CONDUIT FROM MEDO TRANSFORMER PAD.



1 ELECTRICAL SITE PLAN
 E-3 SCALE: 1"=20'

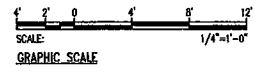




1 RO PLANT & CHLORINATION BUILDING ELECTRICAL PLAN
 E-4 SCALE: 1/4"=1'-0"

- NOTES:**
- A. CONDUITS PENETRATIONS SHALL BE AT BOTTOM OF THE RO AND CP CABINETS.
 - B. ALL CONDUITS IN RO ROOM SHALL BE PVC SCHEDULE 40.
 - C. TELEPHONE CABINET. SEE ELEVATION ON 2/ME-6.
 - D. MOTOR CONTROL CENTER. SEE DETAIL ON 1/ME-10.
 - E. AUTOMATIC TRANSFER SWITCH.
 - F. RECEPTACLE TO BE MOUNTED 36" ABOVE FINISHED FLOOR.

CONDUIT AND WIRE SCHEDULE							
NO.	CONDUIT SIZE	WIRE SIZE	DESTINATION OR USE	NO.	CONDUIT SIZE	WIRE SIZE	DESTINATION OR USE
A	4"	SEE ONE-LINE DIAGRAM	ATS TO MOTOR CONTROL CENTER	K	1"	#12 CONTROLS	CHLORINE PUMP CONTROLS TO SCADA CABINET
B	1"	2#12, 1#12 GND	120V POWER FROM PANEL "A" TO RO SKID PANEL	L	2"	TELEPHONE CABLES	TELEPHONE CABINET TO SCADA CABINET
C	1 1/2"	COMMUNICATIONS CABLE	CONTROLS FROM RO ARRAYS NO. 1 & NO. 2 TO SCADA CABINET	M	1"	PC	TELEPHONE CABINET TO OFFICE TELECOM DEVICE
D	1 1/2"	SEE ONE-LINE DIAGRAM	POWER FROM MCC TO RO ARRAY NO. 1	N	1"	COMMUNICATIONS	SCADA CABINET TO SCADA COMPUTER
E	1 1/2"	SEE ONE-LINE DIAGRAM	POWER FROM MCC TO RO ARRAY NO. 2	O	4"	SEE ONE-LINE DIAGRAM	MAIN ELECTRICAL SERVICE FEEDER TO ATS
F	1 1/2"	SEE ONE-LINE DIAGRAM	POWER FROM MCC TO CIP SKID	P	1"	2#12, 1#12 GND	120V POWER FROM PANEL "A" TO CIP SKID PANEL
G	1"	4#12 CONTROLS	CONTROLS FROM CIP SKID TO SCADA CABINET	Q	1"	#12 CONTROLS	GENERATOR CONTROLS TO ATS
H	1 1/4"	8#12 CONTROLS	CHLORINE ANALYZER ALARM CIRCUITS TO SCADA CABINET	R	4"	SEE ONE-LINE DIAGRAM	GENERATOR FEEDER TO ATS
I	1"	2-2/C #14 TWISTED, SHIELDED CABLE W/ GND	CHLORINE RESIDUAL INSTRUMENTATION CIRCUIT TO SCADA CABINET				
J	1"	CABLE TO BE PROVIDED BY OTHERS	CHLORINE PUMP INSTRUMENTATION TO RO SKID PANEL				



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 No. 14284-E
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Client:
EVANS HOLDINGS, INC.
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Project:
EVANS HOLDINGS WATER SYSTEM

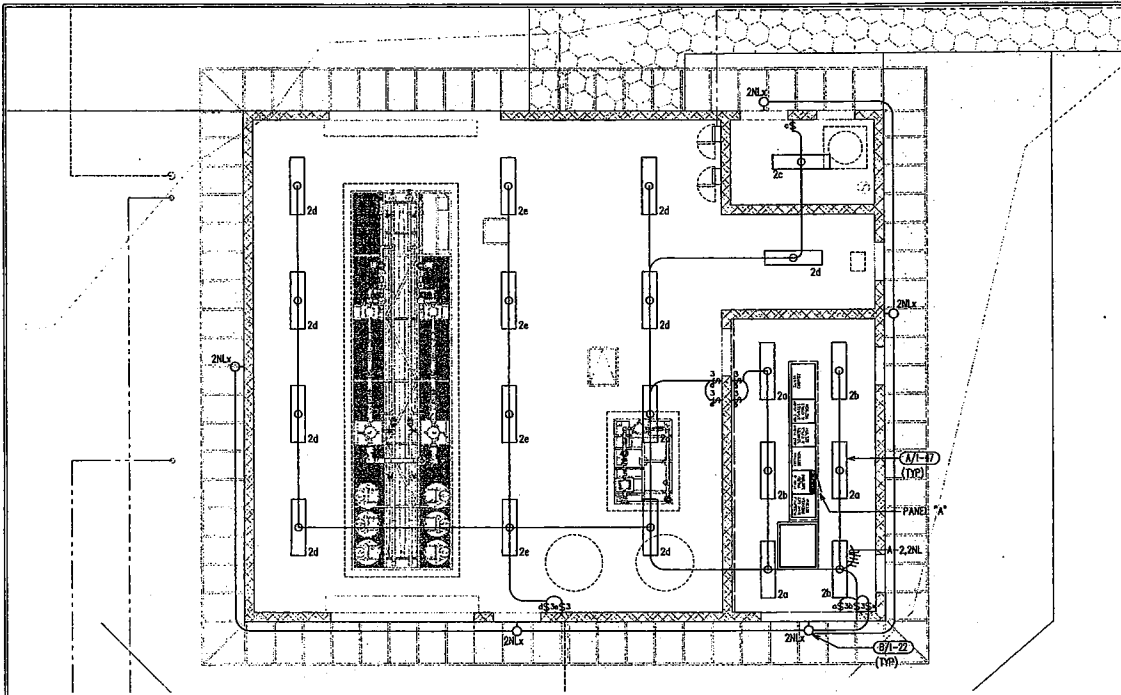
Sheet Title:
RO PLANT & CHLORINATION BUILDING ELECTRICAL PLAN

Rev	Date	Description	Eng	App

Designed by: **KKO**
 Drawn by: **YS**
 Date: **JULY 2016**
 Project No. **14-08**

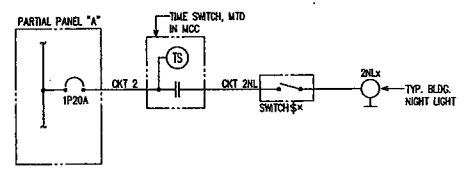
Approved by: _____

SHEET **E-4**
 SHEET ___ OF ___ SHEETS



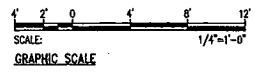
1 RO PLANT & CHLORINATION BUILDING LIGHTING PLAN
 E-5 SCALE: 1/4"=1'-0"

LIGHT FIXTURE SCHEDULE			
TYPE	LAMP/WATTS	DESCRIPTION	MANUFACTURER OR APPROVED EQUAL
A	47W LED 4000K	6" x 4' SURFACE MOUNTED LUMINAIRE, FIBERGLASS HOUSING, GASKETED, ACRYLIC LENS, HIGH REFLECTANCE BAKED ENAMEL FINISH, MEDIUM LUMEN, 120V LED DRIVER	COLUMBIA LXMN SERIES, OR APPROVED EQUAL
B	22W LED 3000K	8.22'H X 5.25'H X 4.81'D SURFACE MOUNTED LUMINAIRE, DIE-CAST ALUMINUM HOUSING, FULL CUT-OFF, UL LISTED FOR WET LOCATIONS, POWER PAINT FINISH, 120V LED DRIVER	HUBBELL LNC-9L, OR APPROVED EQUAL



2 NIGHT LIGHT CONTROL DIAGRAM
 E-5

CKT. NO.	USE: L-LTS, R-RECEP, PFIB-PROVISION FUTURE BKR, S-SPARE, F-FAN, W-WARMER	BREAKER POLE	WIRE SIZE	KVA ON BUSES			WIRE SIZE	BREAKER POLE	WIRE SIZE	USE: L-LTS, R-RECEP, PFIB-PROVISION FUTURE BKR, S-SPARE, F-FAN, W-WARMER	CKT. NO.	
				PHASE A	PHASE B	PHASE C						
1	R - RO ROOM	1 20 12	12	0.8	1.4		12	1	20	L & NL	2	
3	R - ELECTRICAL ROOM	1 20 12		0.5	0.5		12	1	20	R - HYDROCHLORIDE PUMP	4	
5	SCADA CABINET	1 20 12				1.0	12	1	20	S	6	
7	R-COMPUTER & HYPO ROOM	1 20 12		0.5	1.0		12	1	20	WELL PUMP TEST CKT	8	
9	SCADA CABINET	1 20 12			1.0	1.0	12	1	20	EF-2	10	
11	CHLORINATION SYSTEM	1 20 12				1.0	12	1	20	RO SKID CONTROL PANEL	12	
13	CHLORINE RESIDUAL ANALYZER	1 20 12	1.0	0.5			12	1	20	S	14	
15	CHLORINE RESIDUAL ANALYZER	1 20 12		1.0	1.0		12	1	20	FIRE PUMP STATION	16	
17	S	1 20 12				0.5	12	1	20	FIRE PUMP STATION	18	
19	MCC STRIP HEATER	1 20 12	1.0	0.3			12	3	20	EF-1	20,22,24	
21	CLEANING SKID CNTRL PANEL	1 20 12			1.0	0.3						
23	R - BLEACH DRUM PUMPS	1 20 12			1.0	0.3						
CONNECTED LOAD PER PHASE				6.8	6.4	7.0						
DEMAND LOAD PER PHASE				4.6	4.5	4.9						
TOTAL CONNECTED LOAD (KVA)											20.0	
DEMAND FACTOR											70%	
TOTAL DEMAND LOAD (KVA)											14.0	
HGH LEG (AMPS)											40.8	



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Project: **EVANS HOLDINGS WATER SYSTEM**

Sheet Title: **RO PLANT & CHLORINATION BUILDING LIGHTING PLAN**

Rev. Date Description Eng. App.

Designed by: **KKO**

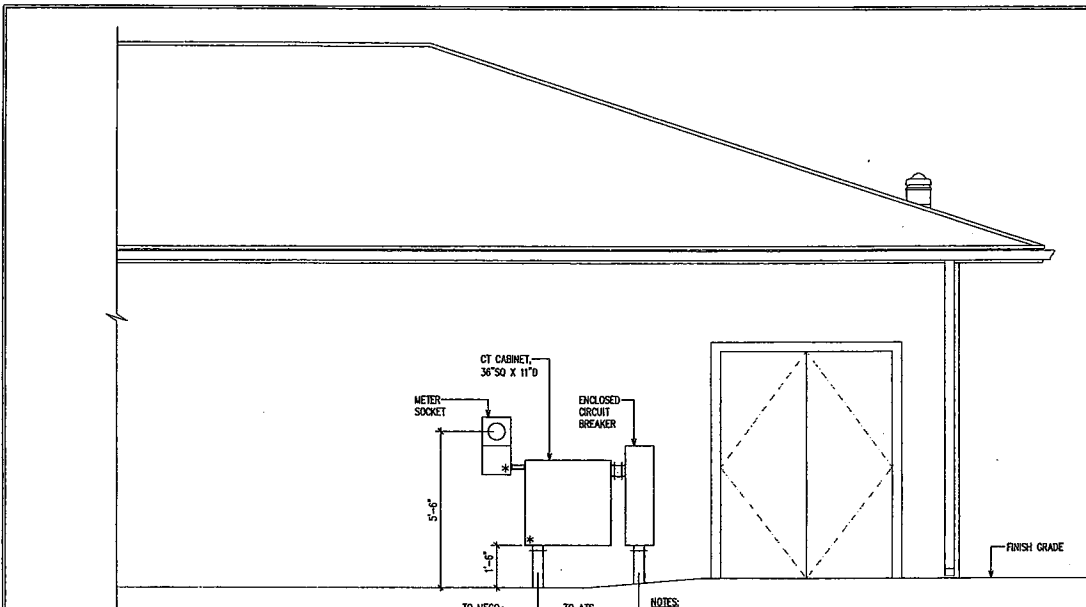
Drawn by: **YS**

Date: **JULY 2018**

Project No.: **14-08**

Approved by:

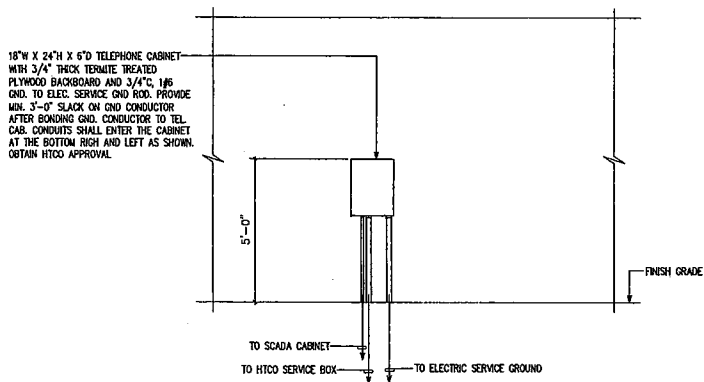
SHEET **E-5** OF SHEETS



- NOTES**
1. "*" INDICATES PROVISIONS FOR MECO SEAL.
 2. OBTAIN MECO SHOP DRAWING APPROVAL FOR PULLBOX AND METER SOCKETS.
 3. GROUND AND BOND PER N.E.C.
 4. PROVIDE MIN. 4'-0" CLEAR AND LEVEL WORKSPACE CLEARANCE IN FRONT OF METERING EQUIPMENT.
 5. ALL EQUIPMENT ENCLOSURES SHALL BE RATED NEMA 4XSS.
 6. PROVIDE A PERMANENT IDENTIFICATION LABELS FOR ALL METER SOCKETS TO IDENTIFY THE UNIT OR SPACE SERVED.
 7. AT TIME OF INSTALLATION, PROVIDE AND INSTALL METER SOCKET COVERS (PLASTIC) AND BANDS FOR ALL BLANK METER SOCKETS. IDENTIFY COVERS SO COVERS CAN BE RETURNED.
 8. CUSTOMER SHALL COMPLY WITH ALL OF MECO'S ESM REQUIREMENTS.

1 METERING EQUIPMENT ELEVATION

E-6 SCALE: 1/2"=1'-0"



2 TELEPHONE CABINET ELEVATION

E-6 SCALE: 1/2"=1'-0"

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DATE	DESCRIPTION

Graphic Scale:

0	1	2	3	4	5	6	7	8	9	10
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Client:
EVANS HOLDINGS, INC.
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Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
ELECTRICAL EQUIPMENT ELEVATIONS

Rev	Date	Description	Eng	App

Designed by: **KKO**
 Drawn by: **YS**
 Date: **JULY 2016**
 Project No: **14-03**

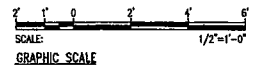
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Date

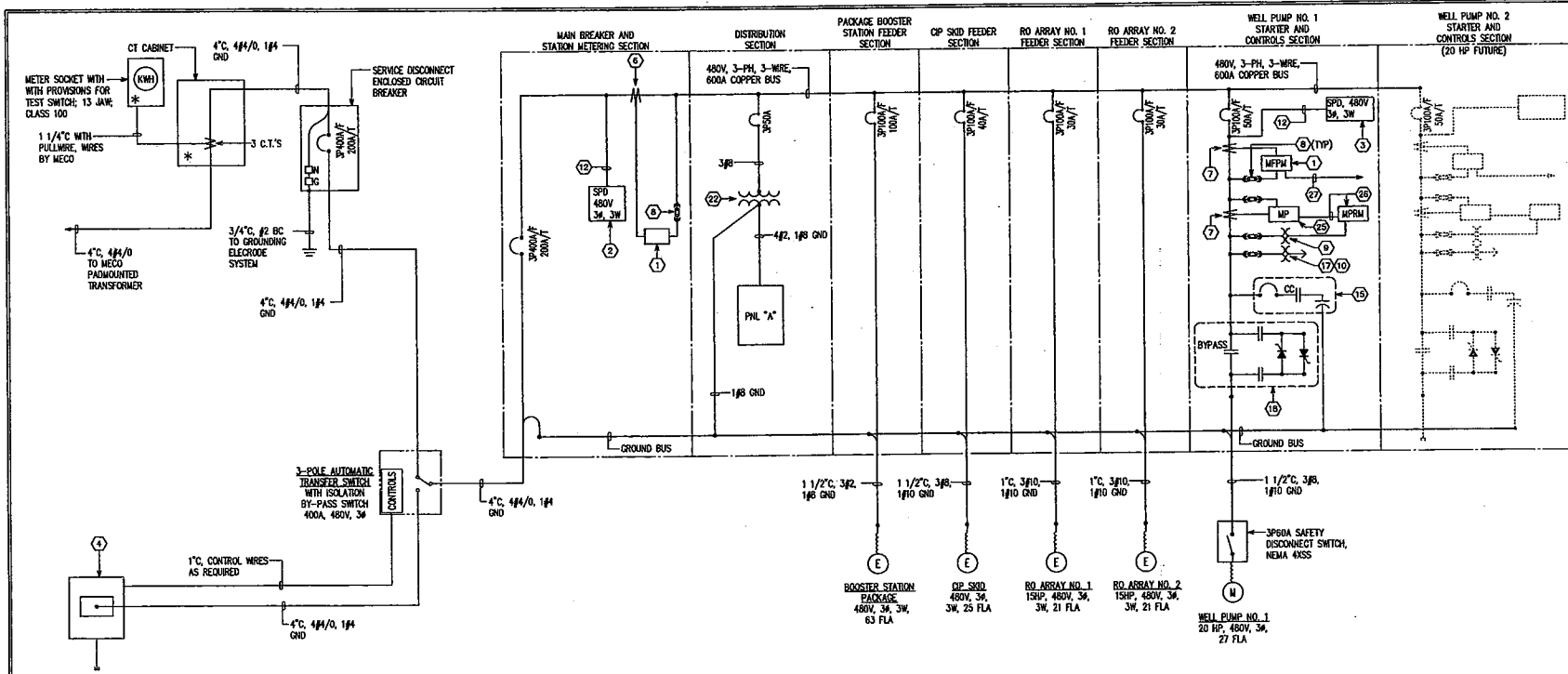
Date

Date

Date



SHEET **E-6** OF SHEETS



1 ONE-LINE DIAGRAM
WB-9

MCC SCHEDULE OF INSTRUMENTS

KEY ON PLAN	DESCRIPTION	KEY ON PLAN	DESCRIPTION	KEY ON PLAN	DESCRIPTION
1	THREE PHASE DIGITAL MULTI-FUNCTION POWER MONITOR	12	3#1/4" FURNISHED AS PART OF SURGE PROTECTION DEVICE, AS SHORT AS POSSIBLE (MAX LENGTH 30")	21	
2	MAIN ELECTRICAL SERVICE SURGE PROTECTION DEVICE, 480V, 3#, 3W	13		22	DRY-TYPE TRANSFORMER, 30 KVA, 480-208Y/120V, 3 PHASE, 4 WIRE, 80°C
3	BRANCH FEEDER SURGE PROTECTION DEVICE, 480V, 3#, 3W	14		23	
4	PORTABLE GENERATOR TERMINAL CABINET WITH TERMINAL/LUG LANDING, EATON ROLL-UP GENERATOR TERMINATION BOX OR APPROVED EQUAL	15	CAPACITOR AND CAPACITOR BREAKER PER PUMP MOTOR MANUFACTURER'S RECOMMENDATIONS, INCLUDING ISOLATION CONTACTOR (CO) TO REMOVE CAPACITORS FROM SYSTEM DURING PUMP MOTOR START UP	24	
5		16		25	THREE PHASE MOTOR PROTECTOR, SYMCON, INC. MOTOR SAVER MODEL 777KW SERIES WITH MOBIS INTERFACE
6	CURRENT TRANSFORMER, 600V, 400:5	17		26	THREE PHASE MOTOR PROTECTOR REMOTE MANAGER, SYMCON, INC. MODEL RM-2000 SERIES, WITH REQUIRED RS485-ZW SERIAL INTERFACE FOR CONNECTING TO MODEL 777KW MOTOR PROTECTOR
7	CURRENT TRANSFORMER, 600V, 50:5	18		27	TYPE RS485 NETWORK CABLE FOR INPUT INTO SCADA SYSTEM
2A		19			
8	FUSE HOLDER WITH FUSE, 600V, SIZE BY MANUFACTURER	20	20 HP MOTOR STARTER, SOLID-STATE TYPE WITH BYPASS CONTACTOR, AND SCR ISOLATION CONTACTORS WITH SOLID STATE OVERLOAD HEATERS SELECTED TO MATCH MOTOR NAMEPLATE RATING AT 480V, 3 PHASE; MOTOR STARTING CURRENTS SHALL COMPLY WITH MECCO'S RULE NO. 2, CHARACTER OF SERVICE, SECTION D - ALLOWABLE STARTING CURRENTS		
9	CONTROL TRANSFORMER, 600V FOR 480-120V, KVA AS REQ'D				
10	TO CONTROL CIRCUIT				
11					

NOTES:

- ALL GROUNDING SYSTEMS SHALL BE PROVIDED PER NEC ARTICLE 250.
- ALL FEEDER CIRCUIT BREAKERS FOR PUMP MOTORS SHALL BE PROVIDED WITH PROVISIONS FOR LOCKING IN THE "OFF" POSITION.
- SECONDARY SERVICE: 480Y/277V, 3-PHASE, 4-WIRE. SHORT CIRCUIT RATING: _____ A.I.C.
- VERIFY EXACT SHORT CIRCUIT CAPACITY WITH MECCO AND PROVIDE REQUIRED EQUIPMENT RATINGS.
- * INDICATES PROVISIONS FOR MECCO SEALS.
- PROVIDE METERING WIRES, #12 THHN STRANDED COPPER: PT WIRES: P1-BLACK, P3-ORANGE, P4-WHITE; CT WIRES: C1-BLUE, C2-YELLOW, C3-BROWN, C4-GREEN; FINAL CONNECTIONS TO BE BY MECCO, CONTRACTOR TO LEAVE A 6"-0" COIL OF METERING WIRES IN THE CT CABINET AND A 2'-0" COIL OF METERING WIRES IN THE METER SOCKET ENCLOSURE. PROVIDE NO. 8 COPPER GROUND CONDUCTOR IN CONDUIT WITH 6'-0" COIL IN CT CABINET AND 2'-0" COIL IN METER SOCKET ENCLOSURE. FINAL CONNECTIONS OF GROUND CONDUCTOR TO BE BY MECCO.

480Y/277V, 3# SYSTEM SERVICE DATA:

- SERVICE VOLTAGE: 480Y/277V, 3#, 4W
- LOAD DATA:
CONNECTED: 150 KVA + (22 KVA FUTURE)
DEMAND: 144 KVA
MCC LOAD: 20 KVA
- SERVICE CONDUCTORS:
4-#4/0
- METERING: MECCO STD. B-19
- TYPE: UNDERGROUND

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Project:
EVANS HOLDINGS WATER SYSTEM

Sheet Title:
ONE-LINE DIAGRAM

DESIGNED BY: KKO
DRAWN BY: YS
DATE: JULY 2016
PROJECT NO. 14-88

APPROVED BY:

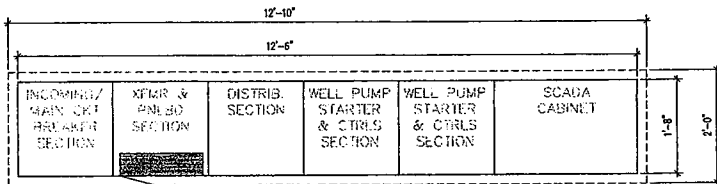
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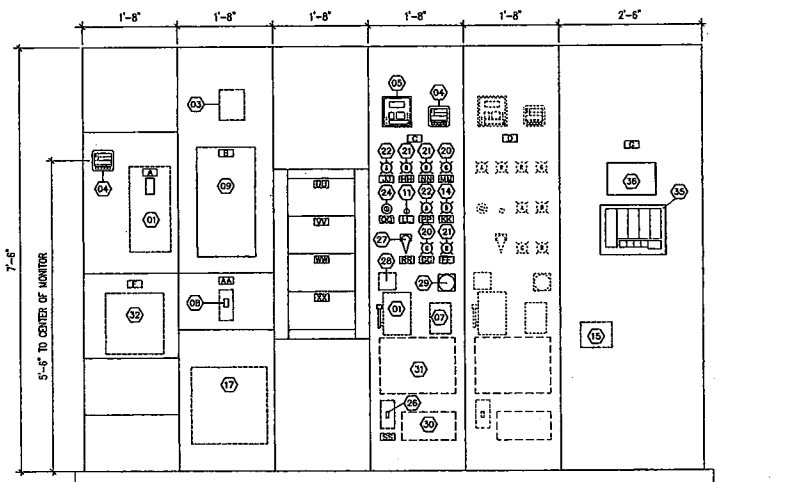
DATE

SHEET
E-9
SHEET OF SHEETS

NOTES: 1. ALL GROUNDING SYSTEMS SHALL BE PROVIDED PER NEC ARTICLE 250.



PLAN



ELEVATION

MCC NOTES:

1. MOTOR CONTROLLERS SHALL HAVE PROVISIONS FOR LOCKING IN THE "OFF" POSITION.
2. MAXIMUM MOUNTING HEIGHT OF ALL DEVICES (TO CENTER OF DEVICE FROM BOTTOM OF MCC) SHALL BE 6'-0".
3. MCC SHALL BE PROVIDED WITH REQUIRED SPACE HEATERS, AND WIRED TO CIRCUIT A-19.
4. MCC SHALL BE BOLTED TO CONCRETE PAD AS APPROPRIATE.
5. ENTIRE MOTOR CONTROL CENTER SHALL BE CONSTRUCTED ACCORDING TO UL 845. ENCLOSURE SHALL BE RATED NEMA 1.

1 MOTOR CONTROL CENTER DETAILS
 8-10 NOT TO SCALE

MCC COMPONENTS		MCC NAMEPLATES	
ITEM	DESCRIPTION	ITEM	DESCRIPTION
01	CIRCUIT BREAKER (480V)	A	MAIN CIRCUIT BREAKER
02		B	PANEL "A"
03	NIGHT LIGHT TIME SWITCH	C	WELL PUMP NO. 1 STARTER & CONTROLS
04	DIGITAL MULTI-FUNCTION POWER MONITOR	D	FUTURE WELL PUMP NO. 2 STARTER & CONTROLS
05	MOTOR PROTECTOR REMOTE MANAGER	E	
06		F	SURGE PROTECTIVE DEVICE
07	BRANCH FEEDER SPD (480V)	G	SCADA CABINET
08	TRANSFORMER CIRCUIT BREAKER	H	
09	PANEL "A"	J	
10			
11	TROUBLE RESET PUSHBUTTON	K	
12		L	
13		M	
14	BLUE LED LIGHT	N	
15	AUTO-DIALER	P	
16		Q	
17	DRY TYPE TRANSFORMER	R	
18		S	
19		T	
20	GREEN LED LIGHT	U	
21	RED LED LIGHT	V	
22	AMBER LED LIGHT	W	
23		X	
24	EMERGENCY STOP PUSHBUTTON	Y	
25		Z	
26	CAPACITOR CIRCUIT BREAKER		
27	SELECTOR SW. (HAND-OFF-REMOTE) PISTOL GRIP		ABOVE NAMEPLATES TO BE 9" x 2 1/4" x 1/8" DIELECTO WITH 5/8" WHITE LETTERING & BEVELED EDGES
28	TEST/NORMAL SWITCH		
29	RUNNING TIME METER		
30	CAPACITOR		
31	SOLID STATE SOFT STARTER		
32	MAIN SERVICE SPD (480V)		
33			
34			
35	PLC		
36	TOUCH PANEL		

MCC NAMEPLATES	
ITEM	DESCRIPTION
AA	TRANSFORMER CIRCUIT BREAKER
BB	
CC	
DD	
EE	
FF	PUMP CONTROL VALVE FULLY OPEN
GG	PUMP CONTROL VALVE FULLY CLOSED
HH	MAIN LINE FLOW
JJ	ALARM-NO FLOW
KK	ON FLOAT CONTROL
LL	TROUBLE RESET
MM	MOTOR STOPPED
NN	MOTOR RUNNING
PP	HIGH DISCHARGE PRESSURE
QQ	EMERGENCY STOP & RESET
RR	HAND-OFF-AUTO
SS	CAPACITOR CIRCUIT BREAKER
TT	
UH	BOOSTER PUMP STATION
VV	OP SHD
WW	RO ARRAY NO. 1
XX	RO ARRAY NO. 2

ABOVE NAMEPLATES TO BE 4" x 2" x 1/8" DIELECTO WITH 1/4" WHITE LETTERING & BEVELED EDGES

Tom Nance Water Resource Engineering
 500 K. HOLEY ROAD - SUITE 213
 HONOLULU, HAWAII 96813
 TELEPHONE: (808) 933-1141, FACSIMILE: (808) 933-7787

Consultant:
Ronald N.S. Ho & Associates, Inc.
 Electrical Engineers
 2153 North King Street, Suite 201
 Honolulu, Hawaii 96819

RONALD N. HO
 LICENSED PROFESSIONAL ENGINEER
 No. 14384-E
 HAWAII, U.S.A.

This work was prepared by me or under my supervision and I am a duly licensed professional engineer in the State of Hawaii. I am a member of the Hawaii State Board of Professional Engineers, Architects, Surveyors and Land Surveyors, and the American Society of Civil Engineers.

Client:
EVANS HOLDINGS, INC.
 1100 ALAKA STREET, SUITE 300
 HONOLULU, HAWAII 96813

Project:
EVANS HOLDINGS WATER SYSTEM

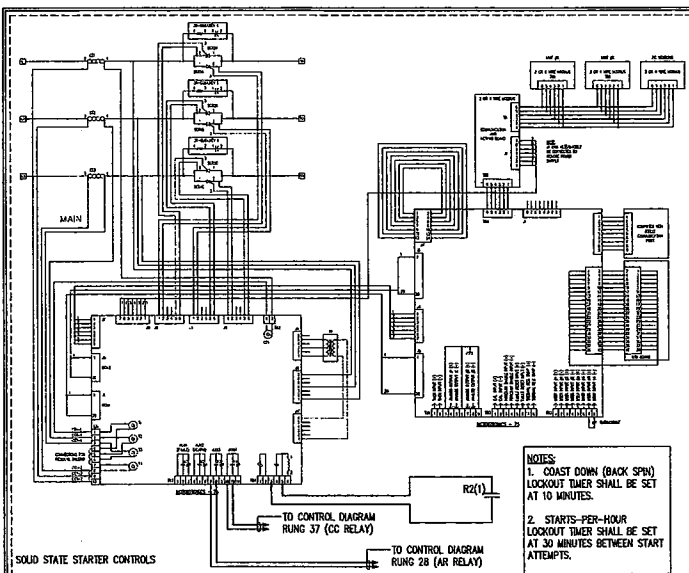
Sheet Title:
MOTOR CONTROL CENTER DETAILS

Rev	Date	Description	Eng	App

Designed by: **KKO**
 Drawn by: **YS**
 Date: **JULY 2016**
 Project No. **14-08**

Approved by: _____

SHEET **E-10**
 SHEET ___ OF ___ SHEETS



ON START-UP, REMOTE LEVEL CONTROL CONTACT "DOI" CLOSSES AND ENERGIZES RESPECTIVE RELAY "R". CONTACT "RF(1)" CLOSSES AND ENERGIZES SEQUENCE TIMER "Q". CONTACT "RF(2)" CLOSSES AND ILLUMINATES A BLUE LIGHT, PROVIDED THE SSS "COAST DOWN LOCKOUT TIMER" HAS TIMED OUT FROM THE LAST PUMP CYCLE OR THE SSS "STARTS-PER-HOUR LOCKOUT TIMER" HAS TIMED OUT.

CONTACT "Q(1)" CLOSSES, AND ENERGIZES "BUTTERFLY PUMP CONTROL VALVE OPEN" CIRCUIT TO ENSURE BUTTERFLY PUMP CONTROL VALVE IS OPEN PRIOR TO PUMP START UP. AFTER A TIME DELAY, CONTACT "Q(2)" CLOSSES, ENERGIZING RELAYS "R1" AND "R2". CONTACT "RI(1)" CLOSSES, ENERGIZING RELAY "R2". CONTACT "RZ(1)" CLOSSES TO START THE PUMP VIA THE SS STARTER CONTROLS. CONTACT "RI(2)" CLOSSES AND AFTER A TIME DELAY, CONTACT "Q(3)" CLOSSES AND ENERGIZES "BUTTERFLY PUMP CONTROL VALVE CLOSE" CIRCUIT.

AFTER THE BUTTERFLY PUMP CONTROL VALVE STARTS TO CLOSE, BUTTERFLY PUMP CONTROL VALVE LIMIT SWITCH "LS6" CLOSSES AND WITH CONTACT "RZ(2)" CLOSED, KEEPS RELAY "R2" ENERGIZED THROUGHOUT THE PUMPING CYCLE.

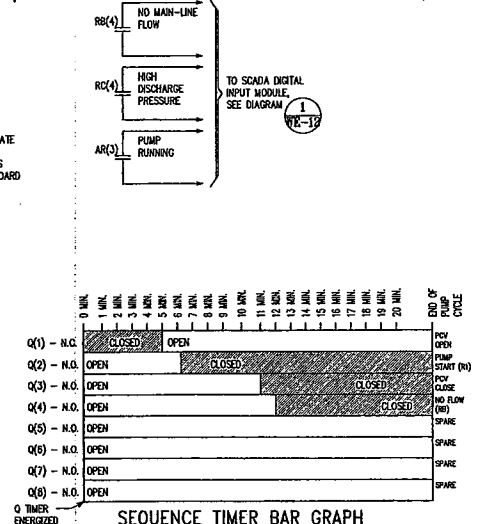
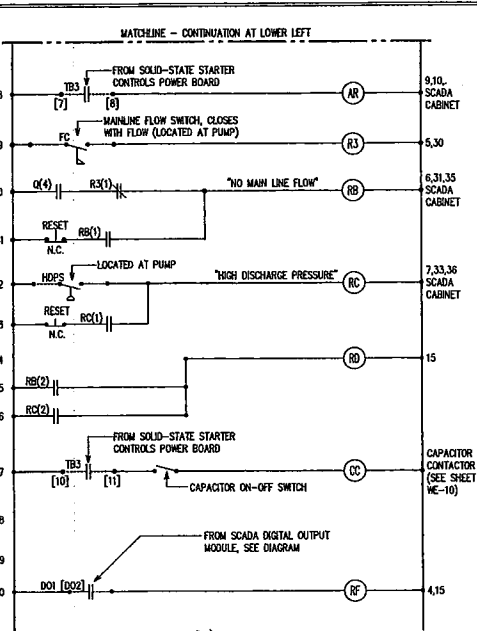
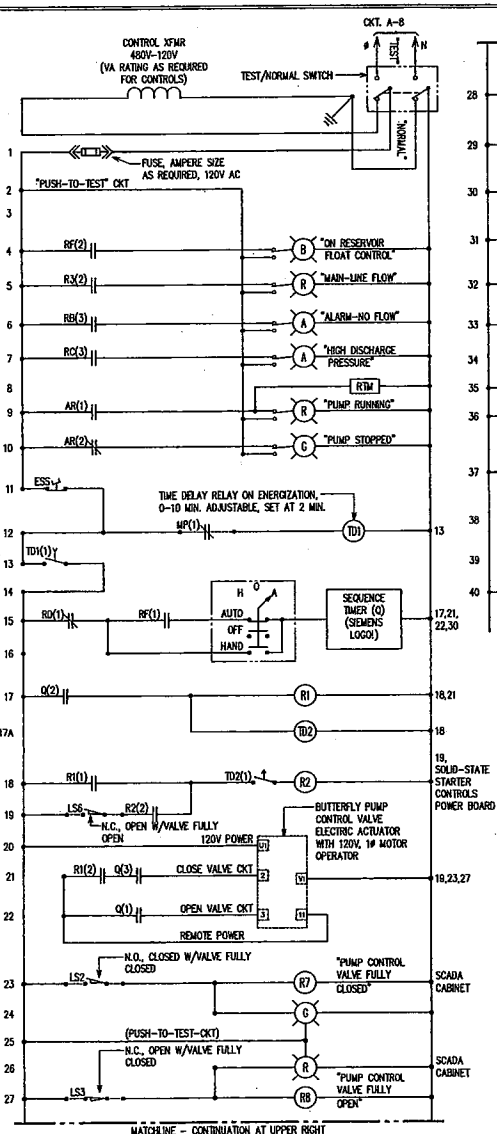
AFTER THE PUMP MOTOR IS RUNNING AT FULL SPEED, CONTACT "TB3(10-11)" FROM THE SOLID STATE STARTER CLOSSES, AND WITH CAPACITOR "ON-OFF" SWITCH SWITCHED "ON", ENERGIZES CAPACITOR ISOLATION CONTACTOR "CC", WHICH ENERGIZES THE POWER FACTOR CORRECTION CAPACITORS.

WITH BUTTERFLY PUMP CONTROL VALVE FULLY CLOSED, LIMIT SWITCH "LS2" CLOSSES AND ENERGIZES RELAY "R7" AND ILLUMINATES A GREEN LIGHT.

AFTER THERE IS MAIN LINE FLOW (APPROXIMATELY 12 MINUTES AFTER PUMP START, ADJUSTED AS REQUIRED IN FIELD), FLOW SWITCH "FS" CLOSSES AND ENERGIZES RELAY "R3". CONTACT "Q(4)" CLOSSES AND CHECKS FOR MAIN LINE FLOW. IF THERE IS NO WATER FLOW, RELAY "R3" IS ENERGIZED THROUGH CONTACT "Q(4)" AND CONTACT "RZ(1)". CONTACT "RB(2)" CLOSSES AND STARTS THE PUMP SHUTDOWN SEQUENCE VIA RELAY "R0".

ON SHUTDOWN, REMOTE LEVEL CONTROL CONTACT "DOI" OPENS AND DE-ENERGIZES SEQUENCE TIMER "Q", WHICH DE-ENERGIZES RELAY "R7", WHICH STARTS THE BUTTERFLY PUMP CONTROL VALVE OPENING. AFTER BUTTERFLY PUMP CONTROL VALVE FULLY OPEN, LIMIT SWITCH "LS6" OPENS, WHICH DE-ENERGIZES RELAY "R2". CONTACT "RZ(1)" OPENS AND DE-ENERGIZES THE SS STARTER CONTROLS, WHICH STOPS THE PUMP. IF LIMIT SWITCH "LS6" DOES NOT OPEN, AFTER 2 MINUTES (ADJUSTABLE), TIME DELAY CONTACT "TD2(1)" OPENS AND STOPS THE PUMP.

"HIGH DISCHARGE PRESSURE" ALARM CONDITION: IF THERE IS A HIGH DISCHARGE PRESSURE IN THE MAIN LINE, "HDPS" CLOSSES AND ENERGIZES RELAY "RC". CONTACT "RC(1)" CLOSSES AND HOLDS IN RELAY "RC" UNTIL MANUALLY RESET; CONTACT "RC(3)" CLOSSES AND ILLUMINATES AN AMBER LIGHT. CONTACT "RC(2)" CLOSSES STARTS THE PUMP SHUTDOWN SEQUENCE VIA RELAY "R0".



1 WELL PUMP CONTROL SCHEMATIC DIAGRAM
WE-11

Tom Nance Water Resource Engineering
200 N. HOLEY HIGHWAY - SUITE 203
HONOLULU, HAWAII 96817
TELEPHONE: (808) 537-1141, FACSIMILE: (808) 530-7757

Client: **Ronald N.S. Ho & Associates, Inc.**
Electrical Engineers
2152 North Vassar Street, Suite 201
Honolulu, Hawaii 96819

Professional Engineer
No. 14228-E
HAWAII, U.S.A.

Client: **EVANS HOLDINGS, INC.**
1100 ALAHEA STREET, SUITE 2100
HONOLULU, HAWAII 96813

Project: **EVANS HOLDINGS WATER SYSTEM**

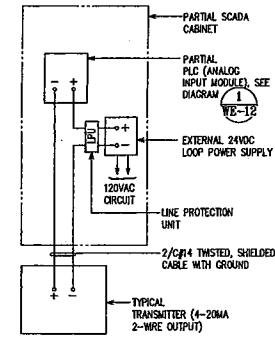
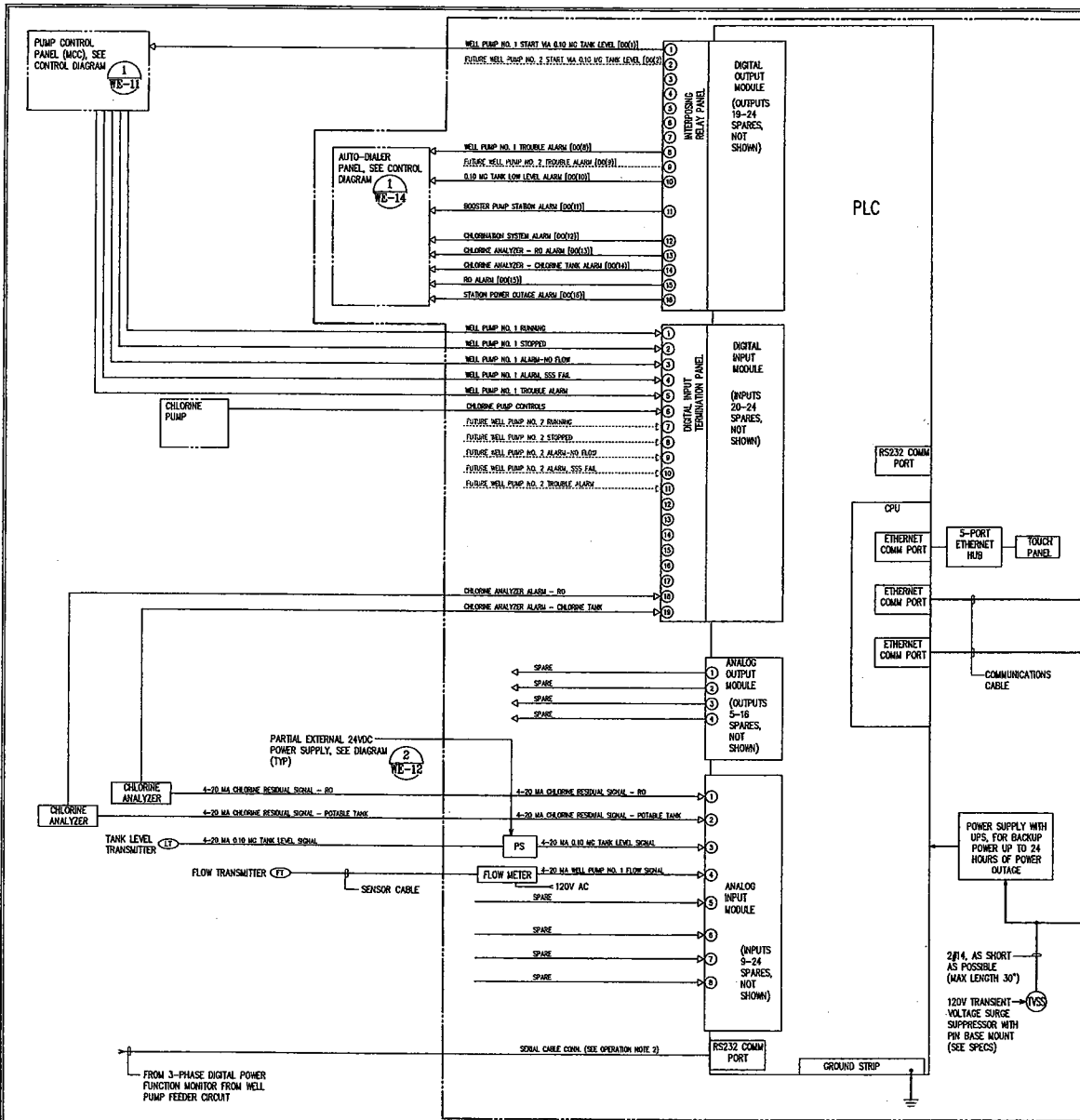
Sheet Title: **WELL PUMP CONTROLS**

Rev	Date	Description	Eng	App

Designed by: **KKO**
Drawn by: **YS**
Date: **JULY 2016**
Project No.: **14-00**

Approved by: _____

SHEET **E-11** OF _____ SHEETS



TYPICAL INSTRUMENTATION DIAGRAMS

REQUIRED MINIMUM SCADA INPUT POINTS AND MINIMUM PROVISIONS FOR ITEMS TO BE DISPLAYED / CONTROLLED ON TOUCH PANEL:

- ENTIRE SITE OVERVIEW SCREEN THAT INCLUDES THE WELL PUMP STATION.
- WELL PUMP STATION SITE SCREEN TO INCLUDE:
 - a. WELL PUMP NO. 1 MOTOR STATUS
 - b. WELL PUMP NO. 1 FLOW
 - c. 0.10 MG TANK LEVEL
 - d. BOOSTER PUMP STATUS
 - e. BOOSTER STATION PRESSURE
 - f. CHLORINE PUMP STATUS
 - g. CHLORINE TANK LEVEL
 - h. RO ARRAY NO. 1 STATUS
 - i. RO ARRAY NO. 2 STATUS
- INDIVIDUAL TRENDS SCREENS TO INCLUDE:
 - a. WELL PUMP NO. 1 FLOW SIGNAL
 - b. 0.10 MG TANK LEVEL SIGNAL
 - c. RO CHLORINE RESIDUAL SIGNAL
 - d. POTABLE TANK CHLORINE RESIDUAL
 - e. RO PLANT FLOW SIGNAL
 - f. BOOSTER STATION FLOW SIGNAL
- ONE ALARM SCREEN TO INCLUDE A SUMMARY OF ALARMS AND A PAST HISTORY OF ALARMS.
- SECURITY SCREEN THAT ALLOW ACCESS TO CONTROL SCREENS.

SCADA SYSTEM OPERATION NOTES:

- THE NEW SCADA SYSTEM SHALL HAVE PROVISIONS TO BE CONNECTED TO A SCADA COMPUTER IN THE RO BUILDING OFFICE.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ENGINEER AND PROVIDE ALL REQUIRED PARAMETERS TO/FROM THE POWER FUNCTION MONITOR.
- RO CONTROL PANEL COMMUNICATIONS TO/FROM SCADA PLC SHALL BE AS FOLLOWS:
 - TO: RO PRODUCT AND CONCENTRATE FLOWS, OPERATING PRESSURES, CHLORINATION TANK LOW LEVEL ALARM, CHLORINATION EMPTY TANK ALARM, ANY OTHER CRITICAL ALARMS AS REQUIRED
 - FROM: START/STOP VIA 0.10 MG TANK LEVEL
- BOOSTER STATION COMMUNICATIONS TO/FROM SCADA PLC SHALL BE AS FOLLOWS:
 - TO: BOOSTER STATION STATUS, FLOW RATE, OPERATING PRESSURE, ALARMS FROM: START/STOP VIA 0.10 MG TANK LEVEL

Tom Nance Water Resource Engineering
2153 North King Street, Suite 201
Honolulu, Hawaii 96819
Tel: (808) 591-7777

Ronald N.S. Ho & Associates, Inc.
2153 North King Street, Suite 201
Honolulu, Hawaii 96819
Tel: (808) 591-7777

Professional Engineer License
No. 14286-E
HAWAII, U.S.A.

Project: EVANS HOLDINGS WATER SYSTEM

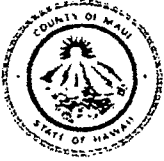
Sheet Title: SCADA SCHEMATIC DIAGRAM

Rev	Date	Description	Eng	App

Designed by: KKO
Drawn by: YS
Date: JULY 2016
Project No: 14-08

Approved by: _____

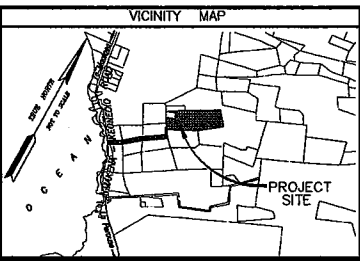
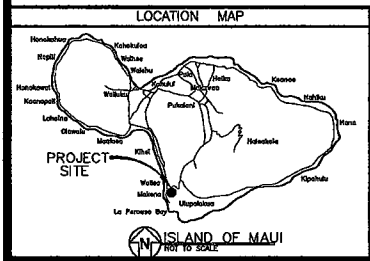
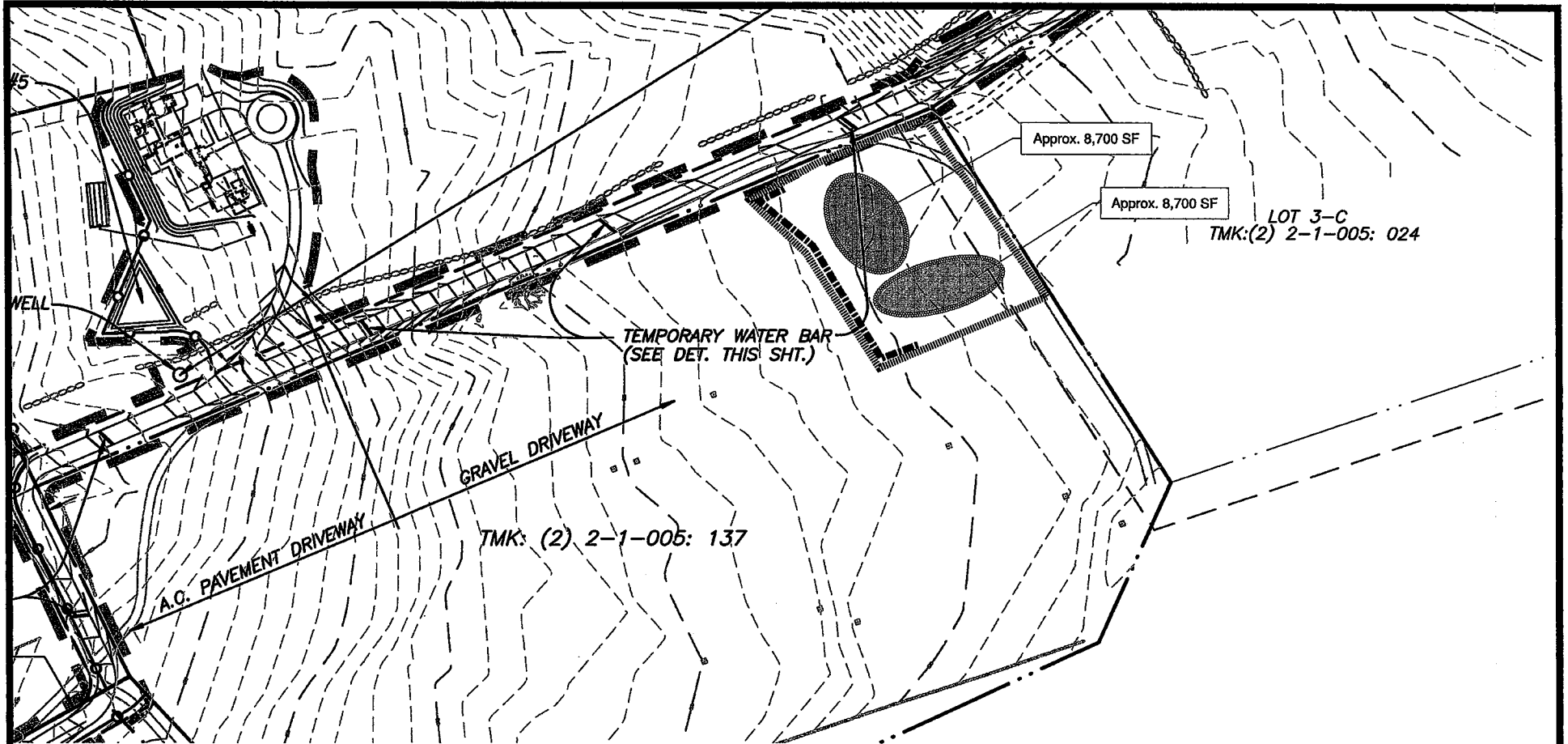
SHEET E-12 OF SHEETS



COUNTY OF MAUI
 DEPARTMENT OF PUBLIC WORKS
 DEVELOPMENT SERVICES ADMINISTRATION
 250 SOUTH HIGH STREET
 WAILUKU, HAWAII 96793
 Ph: (808) 270-7242 Fax: (808) 270-7972 Inspector: (808) 270-7366

GRADING AND GRUBBING PERMIT APPLICATION

PROJECT/PROPERTY INFORMATION	
PROJECT NAME	EVANS HOLDINGS, INC.
TAX MAP KEY	(2) 2-1-005:135 ADDRESS MAKEAHI ROAD
OWNER / PERMITTEE INFORMATION	DECLARATION: The undersigned accepts the permit subject to conditions described in the General Provisions, construction plans, County Code Section 20.08, and any other document associated with the permit.
OWNER NAME	KANA HENA, INC.
ADDRESS	MAKEAHI ROAD
PHONE	808-554-6995 EMAIL markjohnson@hawaii-rr.com
SIGNATURE	PRINT NAME Mark Johnson
If Permittee different from owner:	
PERMITTEE NAME	
ADDRESS	
PHONE	EMAIL
SIGNATURE	PRINT NAME
PERMIT INFORMATION	
<input checked="" type="checkbox"/> GRADING PERMIT	Fill: 7500 (cubic yards)
	Excavate: 0 (cubic yards)
	Graded Area: .57 (<input checked="" type="checkbox"/> acres <input type="checkbox"/> sq. ft.)
	Maximum height/depth of excavation or fill: 14.5 (feet)
<input type="checkbox"/> GRUBBING PERMIT	Grubbed Area: (<input type="checkbox"/> acres <input type="checkbox"/> sq. ft.)
IDENTIFY CRITICAL AREAS LOCATED ON OR AFFECTING THE PROPERTY	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is any portion of the property located in the Special Management Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Are there Special Flood Hazard Areas or drainageways on the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is the property located along the shoreline? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Are there wetlands located on the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Are there known burials, cemeteries, or other historic sites on the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Will grading affect an existing slope with a height greater than 15 feet and with a grade steeper than 35% (10H:3.5V)?	
Estimated Dates:	Start: 8/01/17 Completion: 8/01/18
PERMIT APPROVAL (For county use only)	
Fee \$ 2,050. ⁰⁰	Bond \$ 60,000. ⁰⁰ Evans Holdings, Inc v 1179
SPECIAL CONDITIONS plus ATP Fee of \$2,050. ⁰⁰ TOTAL OF \$4,100. ⁰⁰	
APPROVED BY:	PERMIT NUMBER: E20170149
<i>Cathy Harfuth</i> 9/18/17	DATE OF ISSUANCE: 9/20/17
For: Department of Public Works	
GENERAL PROVISIONS are considered a part of this permit and are included herein by reference. Hard copy is available at Development Services Administration or can be viewed/downloaded online at County website: www.co.maui.hi.us	



Earthwork Summary:

Area of Clearing and Grubbing	=	0.57	ACRE
Total Excavation	=	0.00	CY
Total Embankment	=	7,500.00	CY

KEY:

	Grading limits
	Stockpile area
	Silt Fencing
	Hydromulch

TMK: (2)-2-1-005: 137 Stockpile Grading Control Plan
 EVAN'S HOLDINGS Inc. Project

CONSTRUCTION NOTES WITHIN COUNTY RIGHT-OF-WAY

- Contractor shall obtain a permit to Perform Work on County Highways from the Development Services Administration two weeks prior to commencement of work.
- Standard detail drawings and specifications of the Department of Public Works shall be included as part of the construction plans.
- All construction work shall conform strictly to the applicable sections of the "Hawaii Standard Specifications for Public Works Construction, 2005", as amended and the "Manual on Uniform Traffic Control Devices for Street and Highways, 2009", and to the rules and regulations governing the use of traffic control devices at work sites on or adjacent to public streets and highways adopted by the Highway Safety Coordinator and the U. S. Federal Highway Administration "Manual on Uniform Traffic Control Devices for Highway Construction and Maintenance Operations," dated 2009.
- If existing utilities whether or not shown on the plans, are damaged during construction, the Contractor shall at his own expense be required to repair such utilities.
- Contractor shall provide, install and maintain all necessary signs, lights, flares, barricades, and other protective devices for the protection, safety and convenience of the public according to the "Manual on Uniform Traffic Control Devices for Street and Highways, 2009", and to the rules and regulations governing the use of traffic control devices at work sites on or adjacent to public streets and highways adopted by the Highway Safety Coordinator and the U. S. Federal Highway Administration "Manual on Uniform Traffic Control Devices for Highway Construction and Maintenance Operations," dated 2009.
- The Director of Public Works and/or the Director of the Department of Water Supply has the right to stop construction should any work be found contrary to the approved construction plan or detrimental to the public's interest.
- The Contractor shall schedule a pre-construction meeting with the Development Services Administration five (5) days prior to commencement of construction.
- The Contractor, at his own expense, shall keep the project area and surrounding area free from dust nuisance. The work shall be in conformance with the Air Pollution Control Standards and Regulations of the State Department of Health and County Grading Ordinance.
- The Contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action ordered by the Director of Public Works shall be paid by the Contractor.
- Construction debris and wastes shall be deposited at an appropriate site. The Contractor shall inform the Director of Public Works of the location of the disposal sites. The disposal site must fulfill the requirements of the grading ordinance.
- The Contractor shall submit a TIF file and five (5) copies of the as-built drawings prior to the final approval of the improvements.
- If the discharge from a wastewater line and a new or existing waterline is eighteen inches (18") or less, the wastewater line shall be concrete-jacketed in accordance with the Standard Details for Public Works Construction dated September, 1984.
- Should historic sites such as walls, platforms, pavements, or mounds, or remains such as artifacts burials, concentration of shell or charcoal be encountered during construction activities, work shall cease immediately in the immediate vicinity of the find and the find shall be protected from further damage. The contractor and/or landowner shall immediately contact the State Historic Preservation Division (892-8015 or 243-5189), which shall assess the significance of the find and recommend an appropriate mitigation measure, if necessary.
- Pursuant to Maui County Code Section 3.44.015(C), the County of Maui is not responsible for any park, roadway, easement (including but not limited to drainage, sewer, access, reclaimed water, or aviation easement), or any other interest in real property shown on this map or shown on these plans, unless the Maui County Council has accepted its dedication by a resolution approved by a majority of Council's members at a regular or special meeting of the Maui County Council.
- Steel plate warning signs are required for all steel plates in the right-of-way.
- Wheelchair ramp inspection/certification forms shall be required for all newly constructed ramps.
- All staking and pavement markings shall be of thermoplastic material.
- Compaction Requirements
 - Testing of materials shall be conducted by an approved independent testing agency in accordance with ASTM standard methods or as specified by the Department of Public Works, Engineering Division, as follows:
 - Embankment/Select Borrow and Subgrade Materials: one (1) compaction test per 300 square yards per lift;
 - Aggregate Subbase Course: one (1) compaction test per 400 square yards; one (1) gradation and sand equivalent test per lift per project;
 - Aggregate Base Course: on (1) compaction test per 300 square yards; one (1) gradation and sand equivalent test per lift per project;
 - Asphalt Concrete Pavement or Asphalt Treated Base Course: three (3) A.C. cores for thickness and density test per project;
 - Trench Backfill Material: one (1) test for each 300 lineal feet trench per lift of material.
 - Contractor shall submit all testing reports including results to the County's inspection agency for review and approval prior to County's acceptance of work.
 - The contractor shall be required to notify the County of any testing failures and correct such failure prior to proceeding to the next phase of construction.

GRADING

- The Contractor shall obtain a "Grading Permit" from the Development Services Administration, Department of Public Works and Environmental Management, four (4) weeks prior to commencement of any clearing and grubbing. A satisfactory dust and erosion control plan and/or outline shall be submitted by the Contractor.
- The Contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action by the Chief Environmentalist shall be borne entirely by the Contractor.
- The Contractor, at his sole expense, shall keep the project area and surrounding areas free from dust nuisance. The work shall be in conformance with the Air Pollution Control Standards and Regulations of the State Department of Health.
- All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of Public Health Regulations, State Department of Health and Chapter 23.03 of the Maui County Code.
- Construction debris and wastes shall be deposited at appropriate sites. Solid sites shall also fulfill the requirements of Chapter 20.08 of the Maui County Code.
- The Contractor shall be responsible for all construction stakeout.

EXISTING GRADES

- Existing grades shall be verified by the contractor before proceeding with grading work. Should any discrepancies be discovered in the existing grades or dimensions on the plans, the Contractor shall immediately notify the Engineer before proceeding further with any work, otherwise he will be held responsible for any cost involved in correction of construction placed due to such discrepancies.

EXISTING UTILITIES

- The location, depth and type of the various existing utility lines shown on the construction plans were determined on the basis of the best information possible. The Contractor shall verify exact location, depth and type prior to commencement of work.
- Contractor shall notify the Engineer of any discrepancies between the existing utilities as shown on the construction plans and that located in ground, and not proceed with any further work until written notification is received from the Engineer. Without any written notification from the Engineer shall be the sole responsibility of the Contractor.
- All existing utilities whether or not shown on the plans, if damaged during construction by the Contractor, shall be repaired solely at his expense.

STATE HISTORIC PRESERVATION DIVISION REQUIREMENTS

Should historic sites such as walls, platforms, pavements and mounds, or remains such as artifacts, burials, concentration of charcoal or shells be encountered during construction activities, work shall cease in the immediate vicinity of the find and the find shall be protected from further damage. The contractor and/or landowner shall immediately contact the State Historic Preservation Division (892-8015), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary.

SECTION 3.44.015(C)—MAUI COUNTY CODE

NOTE: Pursuant to Maui County Code Section 3.44.015(C), the County of Maui is not responsible for any park, roadway, easement (including but not limited to drainage, sewer, access, reclaimed water, or aviation easement), or any other interest in real property shown on this map or shown these plans, unless the Maui County Council has accepted its dedication by a resolution approved by a majority of Council's members at a regular or special meeting of the Maui County Council.

EROSION CONTROL

The following measures shall be taken to control erosion during the site development period:

- Minimize the time of construction.
- Retain existing ground cover until least date to complete construction.
- Early construction of drainage control features.
- Use temporary area silt fences in non-active construction areas when ground cover is removed.
- Station water truck on site during construction period to provide for immediate sprinkling, as needed in active construction zones (wadeways and holidays included).
- Use temporary berms and cut-off ditches, where needed, for control of erosion.
- Graded areas shall be thoroughly watered after construction activity has ceased for the day and on weekends.
- All cut and fill slopes shall be sodded immediately after grading work has been completed.

MINIMUM BEST MANAGEMENT PRACTICES

Drainage. Handle drainages to control erosion, prevent damage to downstream properties and return waters to the natural drainage course in a manner which minimizes sedimentation or other pollution to the maximum extent practicable.

Dust Control. Control dust emissions to the maximum extent practicable through BMP's such as water sprinkling, dust fences, limiting area of disturbance and timely grassing of finish areas.

Vegetation. Retain natural vegetation, especially grasses, wherever feasible. Avoid storage of grubbed material near watercourses.

Erosion Controls. Stabilize all disturbed areas with erosion control measures such as vegetation, runoff diversion, check-dams, mulching, blankets, bonded fiber matting, and wheel wash facilities.

Sediment Control. Capture sediment transported in runoff to minimize the sediment from leaving the site with methods such as sediment basins, sediment traps, silt fences, sand bags, and vegetated filter strips.

Material and Waste Management. Properly store toxic material and prevent the discharge of pollutants associated with construction material.

Timing of Control Measure Implementation. Timing of control measures shall be in accordance with the approved erosion control plan. Disturbed areas of construction sites that will not be re-disturbed for twenty-one days or more will be stabilized (grassed or grooved) by no later than the fourteenth day after the last disturbance.

Shoreline Area. Use of soil as fill is prohibited within any shoreline area, except for sand.

Coastal Dune. Grading or mining of a coastal dune is prohibited.

EROSION CONTROL PLAN REQUIREMENTS

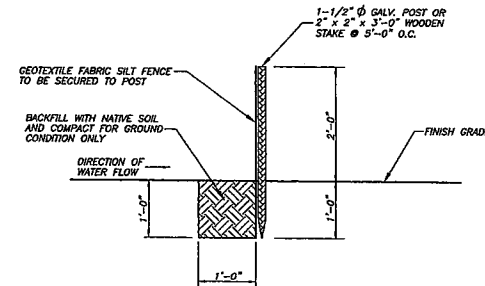
The erosion control plan shall employ Best Management Practices to the maximum extent practicable to prevent or reduce pollutants from water bodies, including sediment and other contaminants, in discharging from a construction site.

The following must be addressed if applicable:

- Stabilization of denuded areas.
- Protection/stabilization of soil stockpiles.
- Permanent soil stabilization.
- Establishment and maintenance of permanent vegetation.
- Protection of adjacent properties and water bodies.
- Sediment trapping measures.
- Sediment basins.
- Cut and fill slopes (terracing).
- Stormwater management.
- Sequence of construction operations, including phased and successive development projects.
- Stabilization of waterways and outfalls.
- Storm sewer inlet protection.
- Control of access and vehicular movement.
- Vehicular control on residential lots during construction.
- Working in or crossing watercourses.
- Underground utility construction.
- Timely installation of permanent erosion and sediment control.
- Maintenance of erosion control facilities.
- Protection of existing vegetation.
- Dust control.

ENVIRONMENTAL PROTECTION

- The contractor shall remove all silt and debris resulting from his work and deposited in drainage facilities, roadways and other areas. The cost incurred for any necessary remedial action by the Chief Environmentalist shall be borne by the Contractor.
- The Contractor shall keep the project area and surrounding areas free from dust nuisance, all in accordance with the Air Pollution Control Standards and Regulations of the State Department of Health. All costs shall be borne by the Contractor.
- All grading operations shall be performed in conformance with the applicable provisions of the Water Pollution Control and Water Quality Standards of the Public Health Regulations of the State Department of Health and the County's Grading Ordinance.
- All cut and fill slopes shall be sodded or planted immediately after grading work has been completed.
- Construction debris and wastes shall be deposited at appropriate sites. The Contractor shall inform the Engineer of the location of the disposal sites. The disposal sites shall also fulfill the requirements of the Grading Ordinance.
- The Contractor shall not demolish or clear any structure, site, or vacant lot without first ascertaining the presence or absence of rodents which may endanger the public health by dispersal from such premises. Should such inspection reveal the presence of such rodents, the Contractor shall eradicate such rodents before demolishing or clearing said structure, site or vacant lot.



DETAIL - SILT FENCE INSTALLATION
SCALE: 1 IN. = 1 FT.



OTOMO ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
305 S. WASH STREET, STE. 100
HONOLULU, HAWAII, 96813
PHONE: (808) 241-0022
FAX: (808) 454-9778



4-30-16
THIS SEAL IS VALID FOR THE STATE OF HAWAII. IT IS THE RESPONSIBILITY OF THE ENGINEER TO MAINTAIN THE QUALITY OF HIS PROFESSIONAL WORK AND TO COMPLY WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF HAWAII.

REVISIONS
DATE: 4-30-16
BY: [Signature]
WITH THE CONTRACTOR SHALL REVIEW AND APPROVE ALL REVISIONS PRIOR TO THE START OF CONSTRUCTION.

RESIDENCE FOR EVANS HOLDINGS, LLC
T.M.K.: (2) 2-1-005: 135
MO'OMOKU, HONUAULA, MAKAWAO, MAUI, HAWAII
MISCELLANEOUS DETAILS AND CONSTRUCTION NOTES

REVISION	DATE	NOTE

REVISIONED BY: A.M.L.M.O.
DRAWN BY: L.C.O.
PROJECT NO.: 2014-38
DRAWING NAME: NOTES-00
DATE: 4-28-16

SHEET NO.
C-11
OF SHEETS

APPLICATION TO BE TYPED

BUILDING INSPECTION DIVISION

DEPARTMENT OF PUBLIC WORKS

Application for Building Permit

2nd Division				
Z	S	PL	PAR	LOT
2	1	05	26	59

PERMIT NO. 80/898

799,505.00

TOTAL VALUATION \$ 799,505.00

PERMIT FEE \$ 1,125.00

949-1025

Legal Owner: Seibu Hawaii, Inc. Address: 2158 Main St., Suite 203, Wailuku

Lessee/Tenant: _____ Address: _____

Owner's Agent: _____ Address: _____

Plans By: Anbe, Aruga & Ishizu, Architects, Inc. Address: 1451 So. King St., Rm. 504, Honolulu, Hawaii 96814

Builder: Hawn Dredging & Const. License # AB4262 Address: _____

Plumbing Contractor: Later Address: _____

Electrical Contractor: Later Address: _____

To construct and/or repair, etc., all in accordance with State Laws, and Ordinances of the County of Maui, to-wit:

New Building Type _____ Constr.: Stories 1 Repairing _____ Demolition _____ Reconstruction _____

Old Building _____ Addition _____ Alteration _____ Remodel _____ Moving _____ Misc. Structure _____

At Makena

House Number _____ Street _____ Town _____ District _____

Now Occupied as _____ To Be Occupied as Clubhouse Lot Area _____

Fire Zone No. _____ Zone _____ Occupancy _____

Dimensions See plans Floor Area _____ Sq. Ft. Ceiling Wood/Gyp Bd

Walls Wood Floors Concrete Basement Floor _____

Partitions Wood/Gyp Bd Roof Roof Tile Connection to Sewer or Cesspool _____

Foundation Concrete Roof Overhang 8' Kind of Toilets Flush

Distance between walls of this and the nearest building on the same property 30' to building

Distance to nearest interior lot boundary (right) 30' (left) _____ (rear) _____ (front) _____

The free clearance between the bottom of floor and ground _____ in. Construction to be completed on or about _____

APPLICANT'S SIGNATURE: [Signature] Per _____ DATE OF APPLICATION: 1/30/80

- I hereby certify that I am a bona fide contractor licensed in the State of Hawaii.
- I claim an exemption under Section 444-2(7) of the Hawaii Revised Statutes and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within 1 year after completion.

[Signature]
SIGNATURE CONTRACTOR/OWNER-BUILDER

Remarks: 0.05: 0.05 approved subject to storage facility & sewer connection at 4/4/80.

REC'D
LAND USE
JAN 30 9 56 AM '80
COUNTY OF MAUI
WAILUKU, HI 96793

* HANDWASH BASIN w/ HOT + COLD RUNNING WATER WILL BE REQUIRED IN BAR AREA (in addition to 3-compartment) Health Dept. called 4/12/80

Date of Receipt: <u>4/21/80</u>	DATE APPROVED: <u>5/27/80</u>	PLANNING DEPARTMENT: <u>[Signature]</u>
DATE APPROVED: <u>4-02-80</u>	DATE APPROVED: <u>5/12/80</u>	DEPARTMENT OF WATER SUPPLY: <u>[Signature]</u>
DATE APPROVED: <u>5/22/80</u>	DATE APPROVED: <u>5/23/80</u>	BUILDING OFFICIAL: <u>[Signature]</u>
DATE APPROVED: _____	DATE OF ISSUANCE: <u>5/27/80</u>	BUILDING DIVISION, DEPARTMENT OF PUBLIC WORKS: <u>[Signature]</u>
Date Inspected: <u>7/28/80</u>	INSPECTOR: <u>[Signature]</u>	INSPECTOR: <u>[Signature]</u>

OFFICE COPY - INSPECTORS

F-1. cert. 898

APPLICATION TO BE TYPED

BUILDING INSPECTION DIVISION

DEPARTMENT OF PUBLIC WORKS

Application for Building Permit

PERMIT NO.

80/899

405,950.00

TOTAL VALUATION \$

PERMIT FEE \$ XXXXXX 539.50

2nd. Division				
Z	S	PL	PAR	LOT
2	1	05	26, 59	

Legal Owner Seibu Hawaii, Inc. Address 2158 Main St., Suite 203, Wailuku
 Lessee/Tenant _____ Address _____
 Owner's Agent _____ Address _____
 Plans By Anbe, Aruga & Ishizu, Architects, Inc. Address 1451 So. King St., Rm. 504, Honolulu Hawaii 96814
 Builder Hawaiian Dredging & Const. License # AB4262 Address _____
 Plumbing Contractor Later Address _____
 Electrical Contractor Later Address _____

To construct and/or repair, etc., all in accordance with State Laws, and Ordinances of the County of Maui, to-wit:

New Building Type _____ Constr. _____ Stories 1 Repairing _____ Demolition _____ Reconstruction _____
 Old Building _____ Addition _____ Alteration _____ Remodel _____ Moving _____ Misc. Structure _____

Makena

At _____ House Number _____ Street _____ Town _____ District _____

Now Occupied as _____ To Be Occupied as Pro Shop Lot Area _____

Fire Zone No. _____ Zone _____ Occupancy _____

Dimensions See plans Floor Area _____ Sq. Ft.; Ceiling Wood/Gyp Bd

Walls Wood Floors Concrete Basement Floor _____

Partitions Wood/Gyp Bd Roof Roof Tile Connection to Sewer or Cesspool _____

Foundation Concrete Roof Overhang 4' Kind of Toilets Flush

Distance between walls of this and the nearest building on the same property 30'

Distance to nearest in terior lot boundary (right) 38' (left) 30' (rear) _____ (front) _____

The free clearance between the bottom of floor and ground _____ in. Construction to be completed on or about _____

[Signature] APPLICANT'S SIGNATURE Per [Signature] DATE OF APPLICATION 1/30/80

- I hereby certify that I am a bona fide contractor licensed in the State of Hawaii.
- I claim an exemption under Section 444-2(7) of the Hawaii Revised Statutes and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within 1 year after completion.

[Signature]
 SIGNATURE CONTRACTOR/OWNER-BUILDER

Remarks DWS - B. proposed subject to stamp facility in assessment agreement 4/2/80
Approval subject to conditions as per letter

RECEIVED
 LAND USE
 JAN 30 9 53 AM '80
 DEPT. OF PUBLIC WORKS

TERMINAL
15

Date of Receipt 4/1/80
 DATE APPROVED 4-2-80 DEPARTMENT OF HEALTH, STATE OF HAWAII
 DATE APPROVED 5/23/80 DEPARTMENT OF WATER SUPPLY
 DATE APPROVED 5/23/80 BUILDING OFFICIAL
 DATE APPROVED _____ ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS
 DATE OF ISSUANCE _____ BUILDING DIVISION, DEPARTMENT OF PUBLIC WORKS
 Date Inspected: 7/28/80 Foundations
 INSPECTOR I _____ INSPECTOR _____

CE COPY - INSPECTORS

Fed cert. 899

BUILDING INSPECTION DIVISION

DEPARTMENT OF PUBLIC WORKS

Application for Building Permit

PERMIT NO. **80/900**
90,000.00
TOTAL VALUATION \$ ~~159,000.00~~ **159,000.00**
PERMIT FEE \$ ~~2,800.00~~ **2,111.50**

2nd Division				
S	3	PL	PAP	LOT
2	1	05	POI 26,59	

949-1075 - VERNON

Legal Owner Seibu Hawaii, Inc. Address 2158 Main St., Suite 203, Wailuku
 Lesser/Tenant _____ Address _____
 Owner's Agent _____ Address _____

Plans By Anbe, Aruga & Ishizu, Architects, Inc. Address 1451 So. King St., Rm. 504
 Honolulu, Hawaii 96814

Builder Hawn Dredging & Const. License # AB4262 Address _____
 Plumbing Contractor Later Address _____
 Electrical Contractor Later Address _____

To construct and/or repair, etc., all in accordance with State Laws, and Ordinances of the County of Maui, to-wit:

New Building : Type _____ Constr.: Stories 1 : Repairing _____ : Demolition _____ : Reconstruction _____
 Old Building _____ : Addition _____ : Alteration _____ : Remodel _____ : Moving _____ : Misc. Structure _____

At _____ Makena _____
 House Number _____ Street _____ Town _____ District _____

Now Occupied as _____ To Be Occupied as Golf Cart Storage Lot Area _____
 Fire Zone No. _____ Zone _____ Occupancy _____

Dimensions See plans : Floor Area _____ Sq Ft. : Ceiling Open
 Walls Metal : Floors Concrete : Basement Floor _____
 Partitions Metal/Gyp Bd : Roof Metal : Connection to Sewer or Cesspool _____
 Foundation Concrete : Roof Overhang 8' : Kind of Toilets _____
 Distance between walls of this and the nearest building on the same property _____ 38' to building
 Distance to nearest interior lot boundary (right) _____ (left) 38' (rear) _____ (front) _____
 The free clearance between the bottom of floor and ground _____ in. Construction to be completed on or about _____

[Signature] Per _____ 1/30/80
 APPLICANT'S SIGNATURE DATE OF APPLICATION

I hereby certify that I am a bona fide contractor licensed in the State of Hawaii.
 I claim an exemption under Section 444-2(7) of the Hawaii Revised Statutes and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within 1 year after completion.

Narus Nishimura
 SIGNATURE CONTRACTOR/OWNER-BUILDER

Remarks approved subject to special fire safety & structural conditions per letter
from Fire Marshal, Department of Public Works, Honolulu, HI.

Water table approval subject to conditions as per letter
to Fire Marshal, January 6, 1980.

Date of Receipt _____	5/27/80	<u>[Signature]</u>
DATE APPROVED <u>4/22/80</u>	DATE APPROVED <u>5/27/80</u>	PLANNING DEPARTMENT
<u>[Signature]</u>	<u>[Signature]</u>	DEPARTMENT OF WATER SUPPLY
DATE APPROVED <u>4-02-1980</u>	DATE APPROVED <u>5/23/80</u>	BUILDING OFFICIAL
<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>
DATE APPROVED <u>5/22/80</u>	DATE OF ISSUANCE <u>5/27/80</u>	BUILDING DIVISION DEPARTMENT OF PUBLIC WORKS
<u>[Signature]</u>		
ENGINEERING DIVISION, DEPARTMENT OF PUBLIC WORKS		

