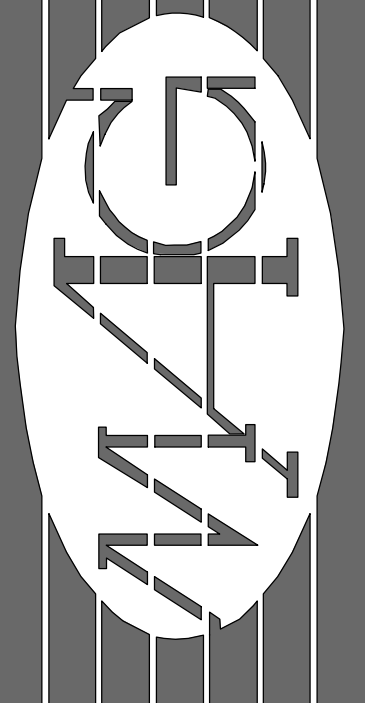




LANA'I YOUTH CENTER

139 FIFTH ST
LANAI HI 96763
TMK: (2) 4-9-014:002

Received at 11/16/2022 BFED Committee Meeting



MAUI ARCHITECTURAL GROUP INC.
www.mauiaarch.com
2331 W. MAIN STREET
WAILUKU, MAUI, HAWAII 96793
TELEPHONE: (808) 244-9011
FAX: (808) 242-1776
email: mag@mauiarch.com



STAMP
PETER NIESS
LICENSED PROFESSIONAL ARCHITECT
No. 16086
HAWAII, USA
Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND WILL BE UNDER MY OBSERVATION
I am a duly Licensed Architect
Signature: [Signature]
Exp. Date: 4-30-22

LANA'I YOUTH CENTER
CIP PROJECT NO. P19/036
139 FIFTH ST
LANAI HI 96763
TMK: (2) 4-9-014:002

VICINTY MAP	APPROVALS:	GENERAL NOTES	PROJECT DIRECTORY																				
		1. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENT AGENCIES AND COORDINATE HIS WORK ACCORDINGLY. THE CONTRACTOR WILL BE REIMBURSED ALL PERMIT FEES BY THE CLIENT. 2. ALL REQUESTS FOR CLARIFICATION OF THESE DRAWINGS SHALL BE DIRECTED TO MAUI ARCHITECTURAL GROUP IN WRITING. 3. THE CONTRACTOR SHALL FAMILIARIZE THEMSELF WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID, AND NOTIFY THE DESIGNER OF ANY PROBLEMS OF COMPATIBILITY BETWEEN THE NEW AND EXISTING CONSTRUCTION. ALL BIDS SHALL INCLUDE APPLICABLE TAXES, DELIVERY, AND INSTALLATION CHARGES. 4. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS EQUIPMENT ETC. REQUIRED TO COMPLETE THE CONSTRUCTION OR INSTALLATION OF ALL ITEMS REQUIRED FOR A COMPLETE INSTALLATION, UNLESS DESIGNATED N.I.C. (NOT IN CONTRACT) CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND GOVERNMENTAL REGULATIONS. 5. ALL WORK SHALL BE DONE IN QUALITY WORKMANSHIP LIKE MANNER UTILIZING (UNLESS OTHERWISE NOTED) ONLY NEW HIGH QUALITY MATERIALS CONSISTENT WITH SPECIFICATIONS AS INDICATED. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND GOVERNMENTAL REGULATIONS. 6. THE CONTRACTOR TO MAINTAIN THE PUBLIC RIGHT OF WAYS, SIDEWALKS, BASEMENT AREAS, CORRIDORS ETC. EFFECTED THE CONSTRUCTION FREE OF SOIL, DEBRIS, TRASH, ETC. ON A DAILY BASIS, CLEAR EGRESS SHALL BE MAINTAINED AT ALL BUILDING TENANTS, THEIR EMPLOYEES, AND GUESTS. 7. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE CONSTRUCTION SITE FREE FROM ACCUMULATION OF WASTE, MATERIALS, OR RUBBISH CAUSED BY HIS OPERATION. AT THE COMPLETION OF HIS WORK, HE SHALL CLEAN ALL GLASS SURFACES, AND LEAVE THE WORK "BROOM CLEAN". ALL CARPETS ARE TO BE VACUUMED CLEAN. 8. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: A. ALL PERSONS EMPLOYED FOR THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY. B. ALL EMPLOYEES OF THE OWNER/TENANT WHO MAY BE AFFECTED THEREBY. C. ALL COMPLETED WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN WHICH IS IN THE CARE, CUSTODY, OR CONTROL OF THE CONTRACTOR. D. ALL EXISTING CONSTRUCTION AND PROPERTY AT SITE OR ADJACENT THERETO ANY DAMAGE TO SHALL BE REPAIRED/REPLACED TO THE SATISFACTION OF THE DESIGNER AT THE CONTRACTOR'S EXPENSE. 9. ALL CONSTRUCTION MATERIALS SHALL BE STORED PROPERLY WITHIN THE DESIGNATED AREAS THAT ARE AUTHORIZED BY THE BUILDING OWNER, TENANT, OR DESIGNER. 10. DELIVERY OF MATERIALS AND REMOVAL OF DEBRIS IS TO BE COORDINATED AND SCHEDULED AS AGREED UPON BY THE BUILDING OWNER/MANAGER. 11. BEFORE DRILLING/BORING/CUTTING ANY HOLES IN THE CONCRETE SLAB OR EXISTING BUILDING STRUCTURE, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE BUILDING OWNER OR HIS REPRESENTATIVE FOR EACH SEPTIC LOCATION OF SAME. ALL DRILLING/BORING/CUTTING PERTAINING TO OCCUPIED SPACES WILL BE REQUIRED TO BE COMPLETED BETWEEN 8:00 AM AND 5:00 PM ON NORMAL WORKING HOURS AND DAYS DUE TO THE OCCUPANCY OF THE OTHER TENANTS. 12. WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT) ON THE DRAWINGS SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO AFFECT SUCH INSTALLATION.	CIVIL OTOMO ENGINEERING, INC. 305 HIGH STREET, STE 102 WAILUKU, MAUI, HI 96793 PHONE: 808-242-0032 STRUCTURAL SCOTT ENGINEERING, 1135 MAKAWAO AVE. #103, PMB #171, HI 96768 PHONE: 808-298-7084 ELECTRICAL ELECTRICAL ENGINEERING CONSULTANTS WAILUKU, HI 96793 PHONE: 808-242-8070 LANDSCAPE ARCHITECT KEVIN TANAKA POULUANI DRIVE WAILUKU, HI 96793 PHONE: 808-243-9494																				
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No. Revision

TITLE SHEET

Date: 8/5/2020 3:46:47 PM
Scale: As indicated
File: [File Name]
TMK: [TMK]
Sheet: [Sheet]
T0.1

8/5/2020 3:46:47 PM

NOW: ALL ONE MATERIAL FOR EXTERIOR FINISHES. BOARD AND BATTEN

BEFORE: HAD 3 DIFFERENT MATERIALS. BOARD AND BATTEN, HORIZONTAL SIDING AND WOOD SIDING.

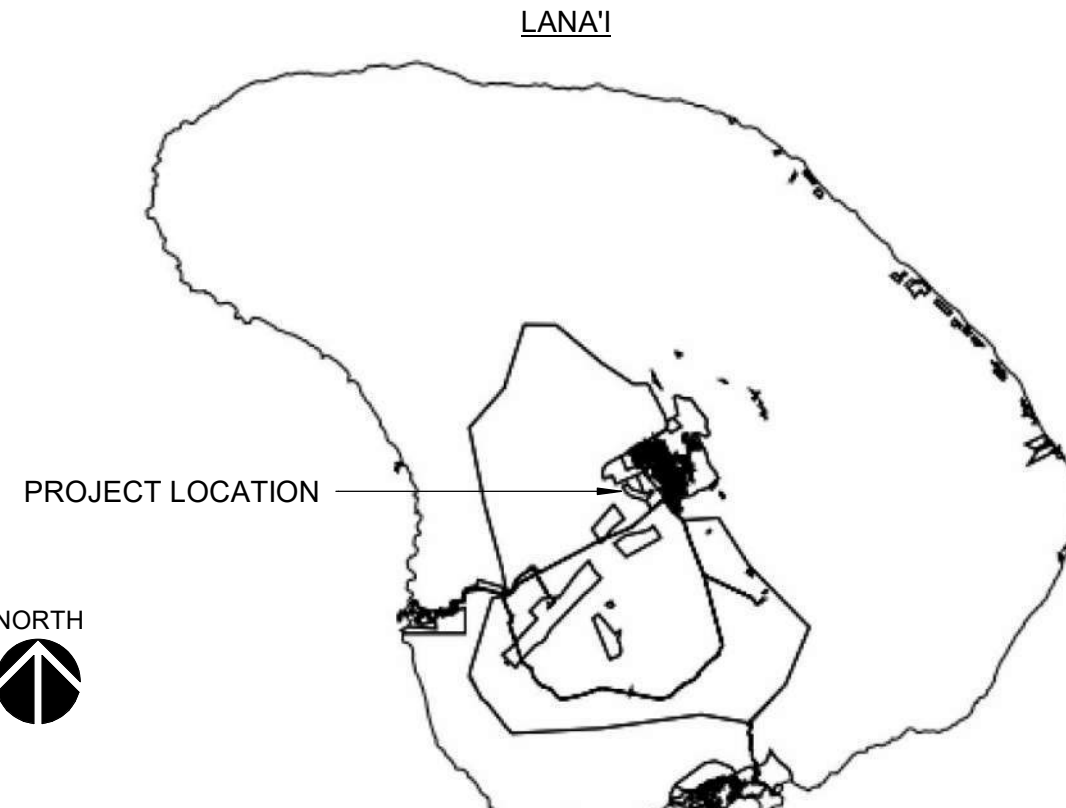

NOW: TYPICAL HIP ROOF WITH DUTCH GABLE ENDS ON LANAIS. ALL TRUSS FRAMING WITH FLAT CEILING AND FLAT SOFFIT UNDER EAVES.

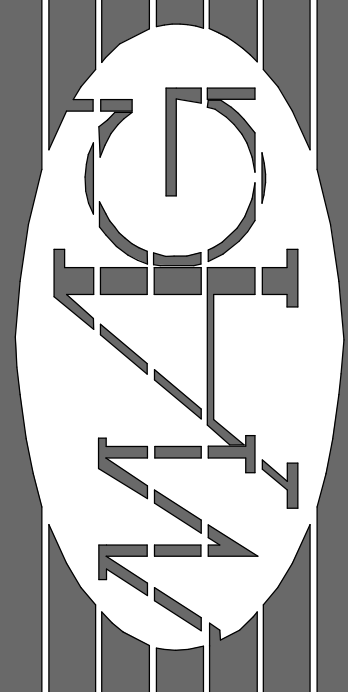
BEFORE: HAD STICK FRAMED SHED, GABLE AND FLAT ROOFS WITH PARAPET COPING AND ROOF DRAINS. BEFORE HAD CLERESTORY WINDOWS AND COMPLICATED ROOF STRUCTURE

LANA'I YOUTH CENTER


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CLUBHOUSE	1 PER 200 SF	3,700 SF	15																																																				
SKATE PARK	(SHARED)	15																																																					
GENERAL OFFICE	1 PER 800 SF	354 SF	1																																																				
COUNTY OF MAUI MAUI COUNTY CODE, CHAPTER 16.16B ENERGY CODE COMMERCIAL PROVISIONS																																																							
COMPLIANCE METHOD																																																							
Check applicable method																																																							
<input type="checkbox"/>	C401.2(1) ANSIASHRAE/IESNA 90.1																																																						
<input checked="" type="checkbox"/>	C401.2(2) Sections C402 through C406																																																						
<input type="checkbox"/>	C401.2(3) Sections C402.5, C403.2, C404, C405.2, C405.3, C405.4, C405.6 & C407																																																						
<input type="checkbox"/>	C102.1 (Alternative)																																																						



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STAMP

Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I WILL BE UNDER MY OBSERVATION
I am a duly Licensed Professional Engineer in the State of Hawaii
Exp. Date: 1/1/2025 to 12/31/2025

LANA'I YOUTH CENTER
CIP PROJECT NO. P19/036
139 FIFTH ST
LANAI HI 96763
TMK: (2) 4-9-014:002

TITLE SHEET

No.	Revision

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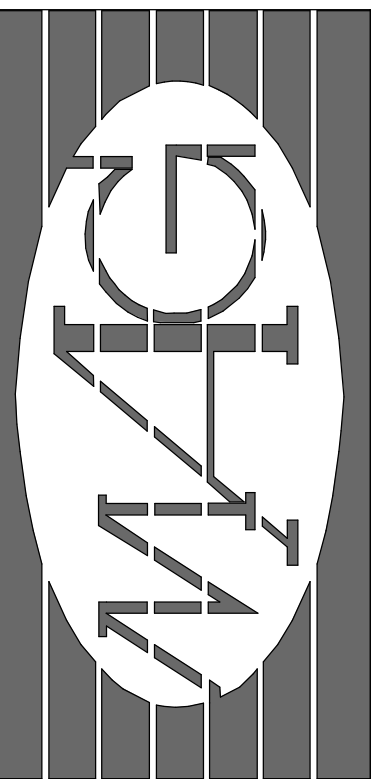
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1 SITE PLAN
SCALE 1" = 30'-0"

- GENERAL SITE PLAN NOTES**
- GENERAL CONTRACTOR TO PROVIDE CONCRETE MECHANICAL EQUIPMENT PADS, COORDINATE SIZE & REINF. REQUIREMENTS WITH MECHANICAL & ELECTRICAL CONTRACTOR.
 - GENERAL CONTRACTOR TO PROVIDE SILT FENCE/EROSION CONTROL MEASURES PER CIVIL DRAWINGS AND MAUI COUNTY REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 - PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB DISTURBED BY CONSTRUCTION.
 - GENERAL CONTRACTOR TO ROUGH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR. ALL DRIVEWAY CUTS AND CURBING SHALL COMPLY WITH THE COUNTY OF MAUI STANDARDS.
 - HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS. COORDINATE PARKING LOT GRADING AND RAMPS WITH DOOR LOCATIONS.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
 - ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
 - ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTER BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNEL.
 - DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE COUNTY OF MAUI EROSION CONTROL INSPECTOR.
 - WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
 - EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.

PARKING REQUIREMENTS			
USE	COUNTY REQ'D	SF OF USE	REQ'D PARKING
CLUBHOUSE	1 PER 200 SF	2,868 SF	15
SKATE PARK	(SHARED)		15
EATING & DRINKING EST.	1 PER 100 SF	294 SF	3
GENERAL OFFICE	1 PER 500 SF	982 SF	2
TOTAL SPACES REQUIRED: 20 SPACES			
TOTAL SPACES PROVIDED: 31 SPACES			



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STAMP
PETER NIESS
LICENSED PROFESSIONAL ARCHITECT
No. 16086
HAWAII, U.S.A.
Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I WILL BE UNDER MY OBSERVATION.
I am a duly Licensed Professional Architect in the State of Hawaii.
Exp. Date: 4-30-22
Signature: [Signature]

**LANA'I YOUTH CENTER
CIP PROJECT NO. P19/036**
139 FIFTH ST
LANA'I HI 96763
TMK: (2) 4-9-014:002

No.	Revision
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SITE PLAN

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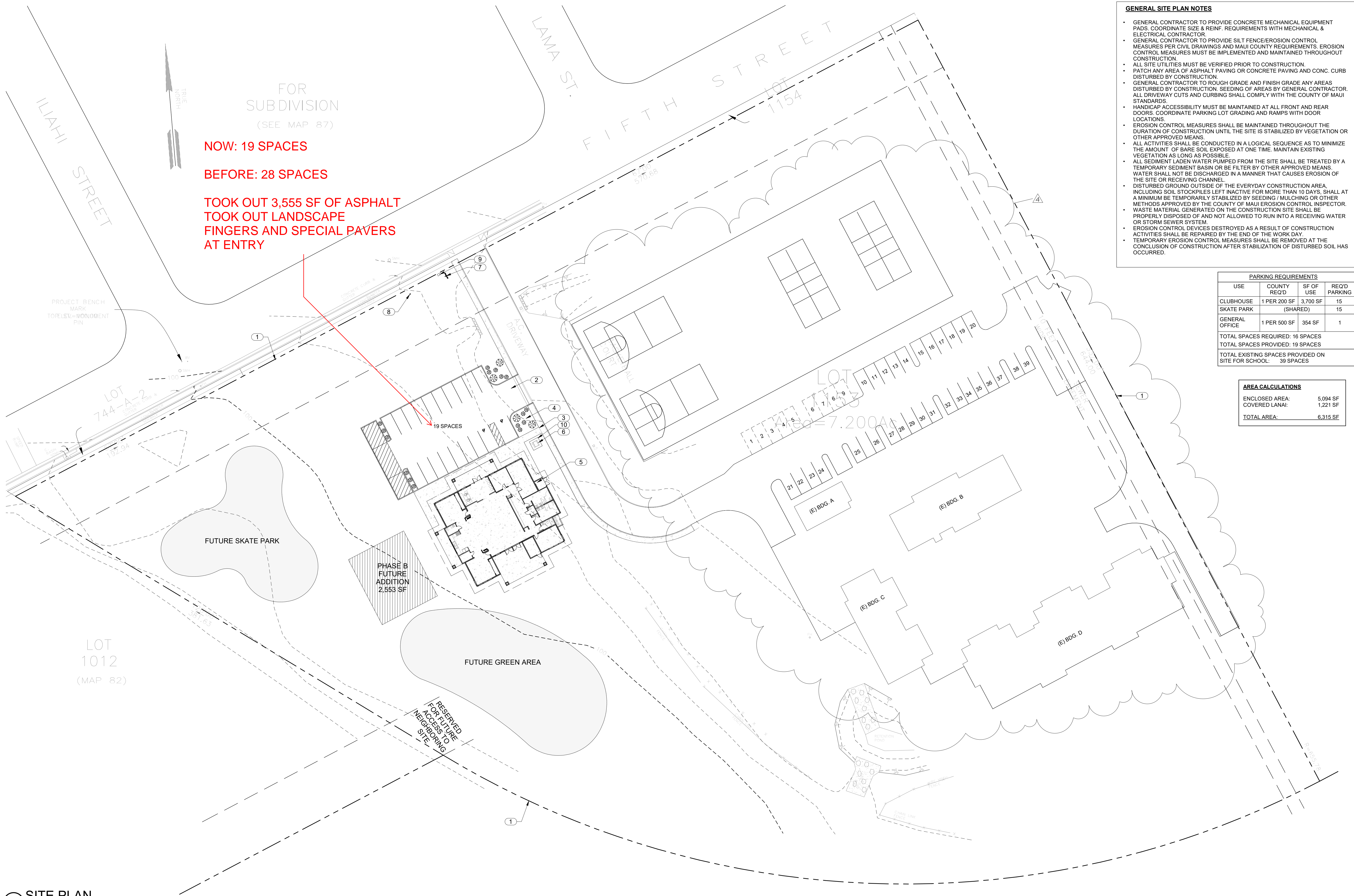
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KEYNOTES	
1	PROPERTY LINE
2	ASPHALTIC PAVING
3	CONC. SIDEWALK: SEE SHEET C... FOR SLOPE & CROSS SLOPE OF WALKWAYS CROSS CODE NOT TO EXCEED 1/4" PER FOOT."
4	LANDSCAPING: SEE LANDSCAPING PLANS.
5	ELECTRICAL SWITCHBOARD
6	ELECTRICAL TRANSFORMER: SEE SHEET E... FOR DETAILS.
7	LANDSCAPE PLANTER
8	DCDA: SEE CIVIL
9	R/R/P VALVE
10	FDC: SEE CIVIL
11	CONC. PAD



① SITE PLAN
SCALE 1" = 30'-0"

<u>KEYNOTES</u>	
1	PROPERTY LINE
2	ASPHALTIC PAVING
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8	RPPB VALVE
9	FDC. SEE CIVIL
10	CONC. PAD

KEYNOTES

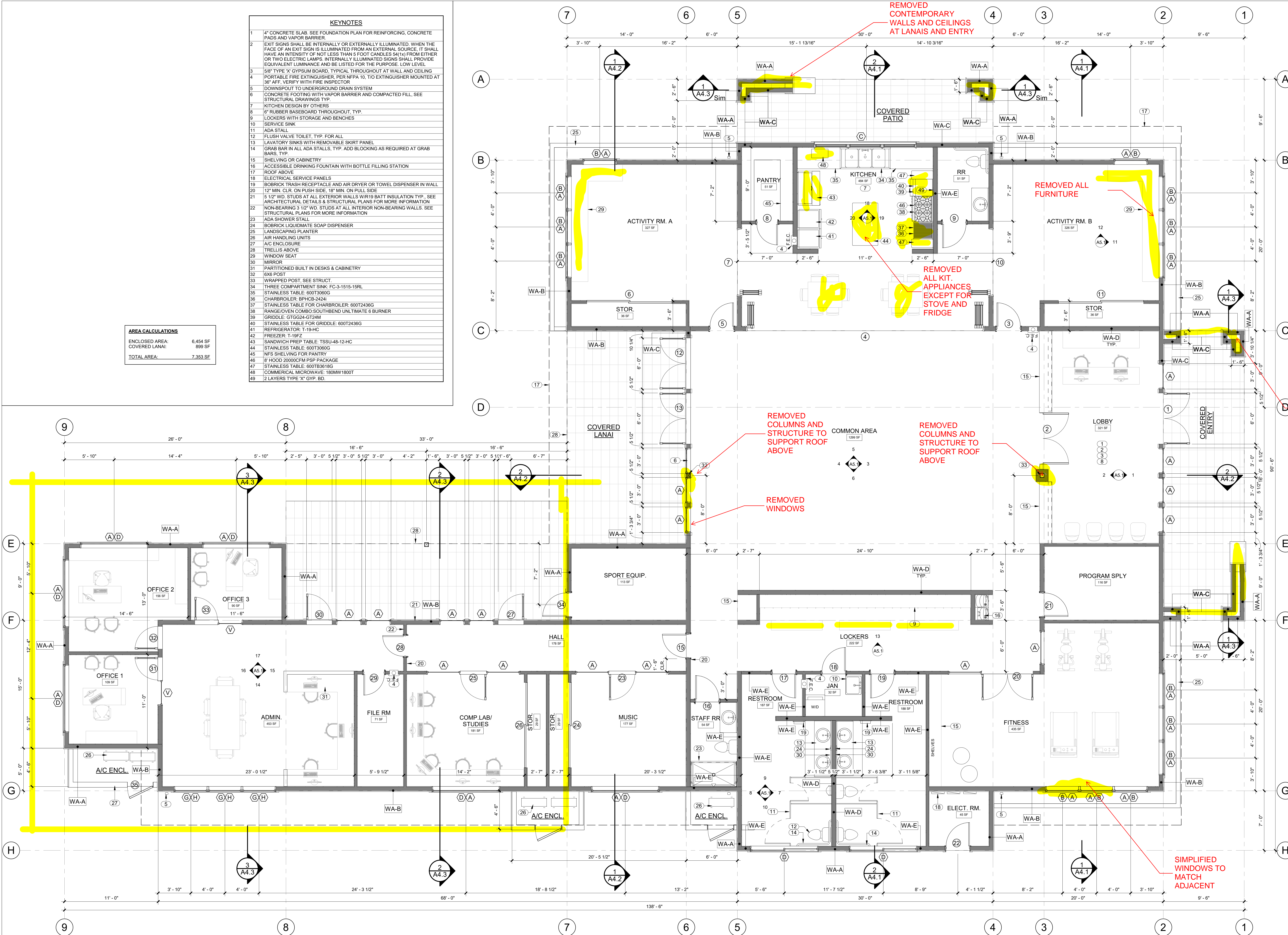
- | | |
|----|--|
| 2 | ASPHALTIC PAVING |
| 3 | CONC. SIDEWALK - SEE SHEET C.... FOR SLOPE & CROSS SLOPE OF WALKWAYS
CROSS CODE NOT TO EXCEED 1/4" PER FOOT." |
| 4 | LANDSCAPING, SEE LANDSCAPING PLANS. |
| 5 | ELECTRICAL SWITCHBOARD |
| 6 | ELECTRICAL TRANSFORMER. SEE SHEET E.... FOR DETAILS. |
| 7 | DCDA. SEE CIVIL |
| 8 | RPBP VALVE |
| 9 | FDC. SEE CIVIL |
| 10 | CONC. PAD |

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1 FLOOR PLAN
SCALE 1/4" = 1'-0"

AREA CALCULATIONS	
ENCLOSED AREA:	6,454 SF
COVERED LANAI:	899 SF
TOTAL AREA:	7,353 SF

KEYNOTES	
1	4" CONCRETE SLAB. SEE FOUNDATION PLAN FOR REINFORCING. CONCRETE PADS AND VAPOR BARRIER.
2	EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (5414) FROM EITHER OR TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE. LOW LEVEL.
3	5/8" TYPE 'X' GYPSUM BOARD, TYPICAL THROUGHOUT AT WALL AND CEILING.
4	PORTABLE FIRE EXTINGUISHER, PER NFPA 10, 7.0 EXTINGUISHER MOUNTED AT 36" AFF. VERIFY WITH FIRE INSPECTOR.
5	DOWNSPOUT TO UNDERGROUND DRAIN SYSTEM.
6	CONCRETE FOOTING WITH VAPOR BARRIER AND COMPACTED FILL, SEE STRUCTURAL DRAWINGS TYP.
7	KITCHEN DESIGN BY OTHERS.
8	6" RUBBER BASEBOARD THROUGHOUT, TYP.
9	LOCKERS WITH STORAGE AND BENCHES.
10	SERVICE SINK.
11	ADA STALL.
12	FLUSH VALVE TOILET, TYP. FOR ALL.
13	LAVATORY SINKS WITH REMOVABLE SKIRT PANEL.
14	GRAB BAR IN ALL ADA STALLS, TYP. ADD BLOCKING AS REQUIRED AT GRAB BARS, TYP.
15	SHELVING OR CABINETS.
16	ACCESSIBLE DRINKING FOUNTAIN WITH BOTTLE FILLING STATION.
17	ROOF ABOVE.
18	ELECTRICAL SERVICE PANELS.
19	BOBRIK TRASH RECEPTACLE AND AIR DRYER OR TOWEL DISPENSER IN WALL.
20	12" MIN. CLR. ON PUSH SIDE, 18" MIN. ON PULL SIDE.
21	5 1/2" WD. STUDS AT ALL EXTERIOR WALLS W/ R19 BATT INSULATION TYP. - SEE ARCHITECTURAL DETAILS & STRUCTURAL PLANS FOR MORE INFORMATION.
22	NON-BEARING 3 1/2" WD. STUDS AT ALL INTERIOR NON-BEARING WALLS. SEE STRUCTURAL PLANS FOR MORE INFORMATION.
23	ADA SHOWER STALL.
24	BOBRIK LIQUIDMATE SOAP DISPENSER.
25	LANDSCAPING PLANTER.
26	AIR HANDLING UNITS.
27	A/C ENCLOSURE.
28	TRELLIS ABOVE.
29	WINDOW SEAT.
30	MIRROR.
31	PARTITIONED BUILT IN DESKS & CABINETS.
32	6X6 POST.
33	WRAPPED POST. SEE STRUCT.
34	THREE COMPARTMENT SINK, FC-3-1515-15RL.
35	STAINLESS TABLE: 600T3060G.
36	CHARBROILER: BPHCB-2424.
37	STAINLESS TABLE FOR CHARBROILER: 600T2436G.
38	RANGE/COOKER COMBO SOUTH BEND UNLIMITED 6 BURNER.
39	GRIDDLE: GTG624-GT24M.
40	STAINLESS TABLE FOR GRIDDLE: 600T2436G.
41	REFRIGERATOR: T-19-HC.
42	FREEZER: T-19FZ.
43	SANDWICH PREP TABLE: TSSU-48-12-HC.
44	STAINLESS TABLE: 600T3060G.
45	NFS SHELVING FOR PANTRY.
46	8" HOOD 2000CFM PSP PACKAGE.
47	STAINLESS TABLE: 600T83618G.
48	COMMERCIAL MICROWAVE: 180MW1800T.
49	2 LAYERS TYPE 'X' GYP. BD.



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STAMP
PETER NIESS
LICENSED PROFESSIONAL ARCHITECT
No. 16086
HAWAII, U.S.A.
Exp. Date: 4-30-22

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I am a duly Licensed Professional Architect.
Exp. Date: 4-30-22

Signature

LANAI YOUTH CENTER
CIP PROJECT NO. P19/036
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LANAI HI 96763
TMK: (2) 4-9-014-002

No.	Revision

FLOOR PLAN

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KEYNOTES

- 1 4" CONCRETE SLAB, SEE FOUNDATION PLAN FOR REINFORCING, CONCRETE PAOS AND VAPOR BARRIER
- 2 EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES SA(4) FROM EITHER OR TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE. LOW LEVEL.
- 3 5/8" TYPE "G" GYPSUM BOARD, TYPICAL, THROUGHOUT AT WALL AND CEILING
- 4 PORTABLE FIRE EXTINGUISHER, PER NFPA 10, TO EXTINGUISHER MOUNTED AT 38" AFF., VERIFY WITH FIRE INSPECTOR
- 5 DOWNSPOUT TO SPASH BLOCK TO DRAIN AWAY FROM BLDG., TYP.
- 6 CONCRETE FOOTING WITH VAPOR BARRIER AND COMPACTED FILL, SEE STRUCTURAL DRAWINGS TYP.
- 7 6" RUBBER BASEBOARD THROUGHOUT, TYP.
- 8 LOCKERS WITH STORAGE AND BENCHES
- 9 SERVICE SINK
- 10 ADA STALL
- 11 FLUSH VALVE TOILET, TYP. FOR ALL
- 12 LAVATORY SINKS WITH REMOVABLE SKIRT PANEL
- 13 GRAB BAR IN ALL ADA STALLS, TYP. ADD BLOCKING AS REQUIRED AT GRAB BARS, TYP.
- 14 SHELVING OR CABINERY
- 15 ACCESSIBLE REFRIGERATION FOUNTAIN WITH BOTTLE FILLING STATION
- 16 ROOF ABOVE
- 17 ELECTRICAL SERVICE PANELS
- 18 BOBRIK/ TRASH RECEPTACLE AND AIR DRYER OR TOWEL DISPENSER IN WALL
- 19 12" MIN. CLR. ON FLOORSIDE, 18" MIN. ON PULL SIDE
- 20 ADA SHOWER, LALL
- 21 CONCRETE LIQUID SOAP DISPENSER
- 22 MIRROR
- 23 THREE COMPARTMENT SINK: FC-3-3155-15RL
- 24 STAINLESS TABLE: 600730060
- 25 RANGE/OVEN/GRILL/STOVE/THBEND UNLIMITED 6 BURNER
- 26 STAINLESS TABLE FOR GRID/OLE: 600724366
- 27 REFRIGERATOR: 1-914C
- 28 FREEZER: 1-912Z
- 29 NFS SHELVING FOR PANTRY
- 30 8" MOOD 2000007 PRP PACKAGE
- 31 2 LAYERS TYPE "G" GYP. BD.
- 32 AIR HANDLING UNITS
- 33 CLASS K FIRE EXTINGUISHER

FLOOR PLAN

Grid System: 1-8 (Horizontal), A-H (Vertical)

Rooms and Areas:

- ACTIVITY RM. A: 327 SF
- ACTIVITY RM. B: 326 SF
- COMMON AREA: 190 SF
- LOBBY: 323 SF
- COMPUTER LAB: 196 SF
- MUSIC: 255 SF
- ADMIN/OFFICE SPACE: 355 SF
- STOR.: 36 SF
- STOR.: 35 SF
- LOCKERS: 222 SF
- RESTROOM: 187 SF
- RESTROOM: 188 SF
- STAFF RR: 54 SF
- ELECT. RM.: 40 SF
- SPORT EQUIP.: 113 SF
- COVERED LANAI
- COVERED PATIO
- COVERED ENTRY

Structural Annotations:

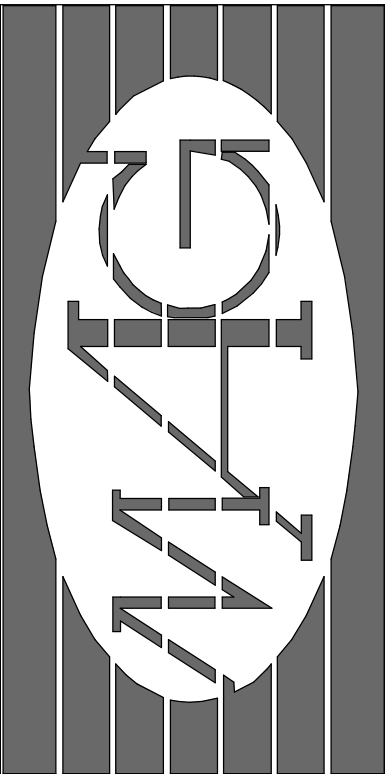
- REMOVED COLUMNS AND STRUCTURE TO SUPPORT ROOF ABOVE
- REMOVED COLUMNS AND STRUCTURE TO SUPPORT ROOF ABOVE
- SIMPLE COLUMNS AND FLAT EXTERIOR CEILING AT LANAIS AND ENTRY
- SIMPLE COLUMNS AND FLAT EXTERIOR CEILING AT LANAIS AND ENTRY
- SIMPLIFIED WINDOWS TO MATCH ADJACENT
- SIMPLIFIED WINDOWS TO MATCH ADJACENT

Dimensions:

Horizontal: 9'-6", 3'-2", 14'-0", 16'-10", 6'-0", 15'-0", 30'-0", 15'-0", 6'-0", 16'-10", 14'-0", 3'-2", 9'-6"

Vertical: 9'-6", 3'-2", 4'-0", 4'-0", 4'-0", 8'-10", 5'-0", 8'-8", 3'-4", 3'-0", 5'-0", 6'-0", 2'-7", 24'-10", 6'-0", 2'-7", 5'-6", 6'-0", 10'-8", 20'-0", 4'-0", 4'-0", 3'-2", 7'-0"

1 FLOOR PLAN
SCALE 1/4" = 1'-0"



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STAMP

THIS WORK WAS PREPARED BY ME
OR UNDER MY SUPERVISION AND
CONSTRUCTION OF THIS PROJECT
WILL BE UNDER MY OBSERVATION.
Observation of construction as defined in
Chapter 16, Section 16-116.1, Article 16,
Chapter 115, Section 16-116-2

LANA'I YOUTH CENTER
CIP PROJECT NO. P19/036
139 FIFTH ST
LANA'I HI 96763
TMK: (2) 4-9-014:002

No.	Revision
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FLOOR PLAN

Date	4/7/2021 12:40:10 PM
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Chart

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Street	City
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1 ROOF PLAN
SCALE 1/4" = 1'-0"

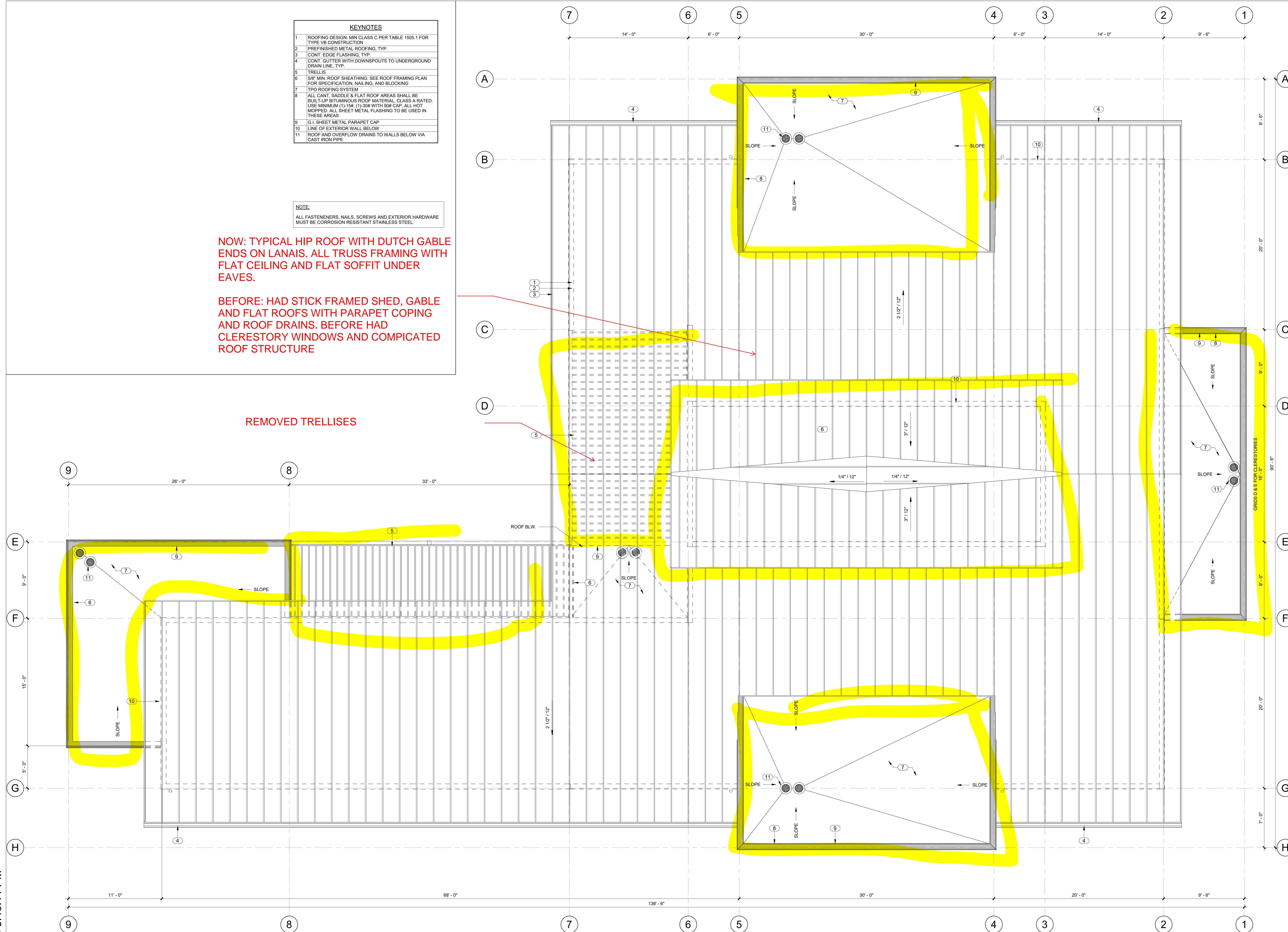
	KEYNOTES
1	ROOFING DESIGN: MIN CLASS C PER TABLE 1505.1 FOR TYPE VB CONSTRUCTION
2	PREFINISHED METAL ROOFINGS, TYP.
3	CONT. EDGE FLASHING, TYP.
4	CONT. GUTTER WITH DOWNSPOUTS TO UNDERGROUND DRAIN LINE, TYP.
5	TRELLIS
6	5/8" MIN. ROOF SHEATHING- SEE ROOF FRAMING PLAN FOR SPECIFICATION, NAILING, AND BLOCKING
7	TPO ROOFING SYSTEM
8	CONT. SADDLE FLASHING TO ROOF AREAS SHALL BE BUILT-UP BITUMINOUS ROOF MATERIAL, CLASS A RATED, USE MINIMUM (1)-15#, (1)-30# WITH 90# CAP. ALL HOT MESH SHALL SHEET METAL FLASHING TO BE IN THESE AREAS
9	G.I. SHEET METAL PARAPET CAP
10	LINE OF EXTERIOR WALL BELOW
11	ROOF AND OVERFLOW DRAINS TO WALLS BELOW VIA CAST IRON PIPE

NOTE:
ALL FASTENERS, NAILS, SCREWS AND EXTERIOR HARDWARE
MUST BE CORROSION RESISTANT STAINLESS STEEL.

**NOW: TYPICAL HIP ROOF WITH DUTCH GABLE
ENDS ON LANAIS. ALL TRUSS FRAMING WITH
FLAT CEILING AND FLAT SOFFIT UNDER
EAVES.**

BEFORE: HAD STICK FRAMED SHED, GABLE AND FLAT ROOFS WITH PARAPET COPING AND ROOF DRAINS. BEFORE HAD CLERESTORY WINDOWS AND COMPLICATED ROOF STRUCTURE

REMOVED TRELLISES



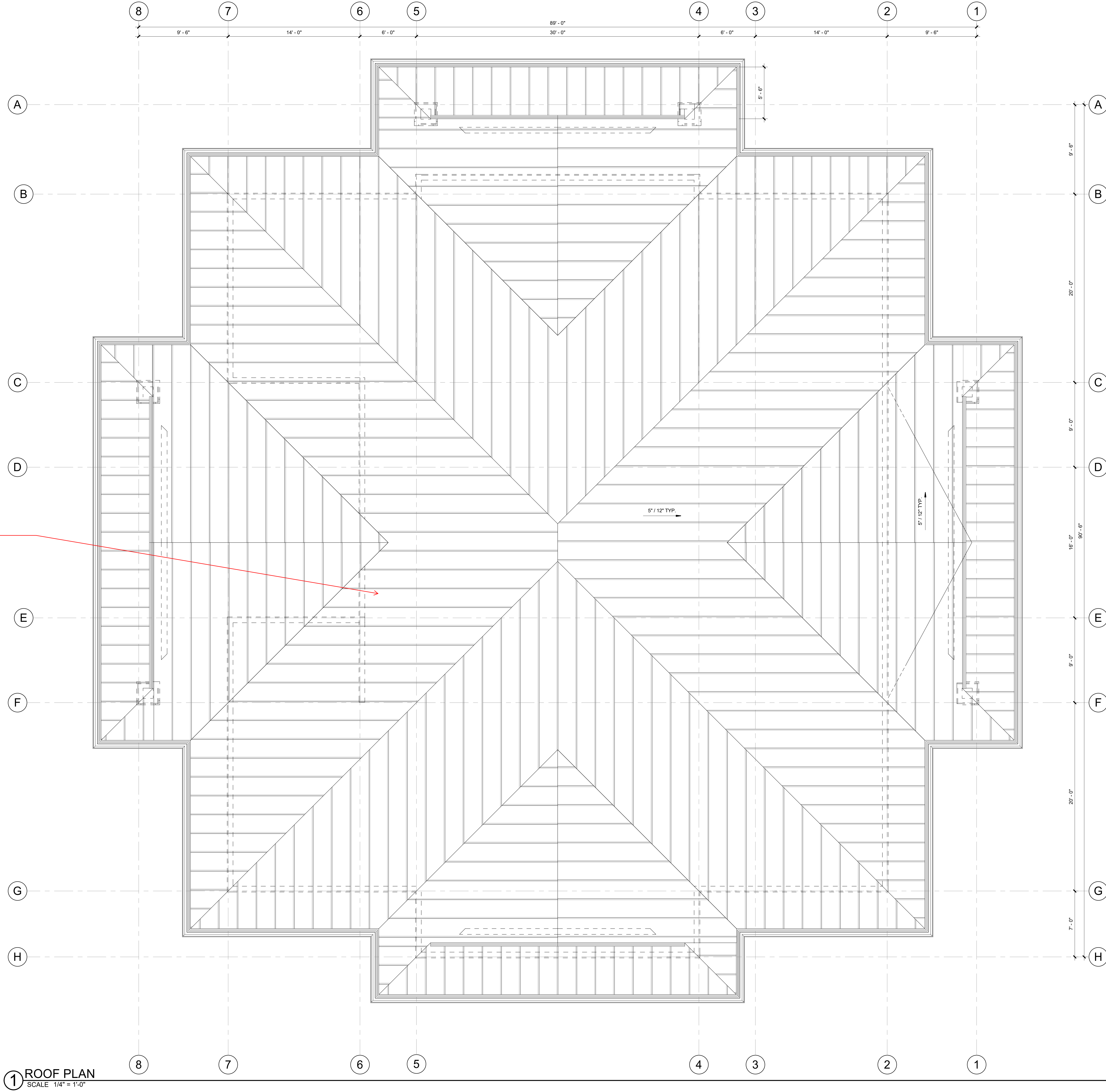
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KEYNOTES

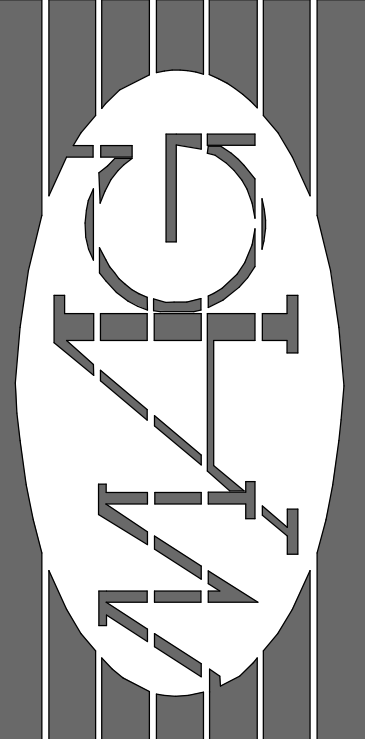
NOTE:
ALL FASTENERS, NAILS, SCREWS AND EXTERIOR HARDWARE
MUST BE CORROSION RESISTANT STAINLESS STEEL.

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BEFORE: HAD STICK FRAMED SHED, GABLE
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ROOF STRUCTURE



1 ROOF PLAN
SCALE 1/4" = 1'-0"



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STAMP

Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME
OR UNDER MY SUPERVISION AND
I AM A LICENSED PROFESSIONAL ARCHITECT
WHO WILL BE UNDER MY OBSERVATION
AND CONTROL. I AM NOT PROVIDING
DESIGN SERVICES FOR THE PROJECT.
(Signature: [Signature], Title: [Title])

LANA'I YOUTH CENTER
CIP PROJECT NO. P19/036
139 FIFTH ST
LANA'I HI 96763
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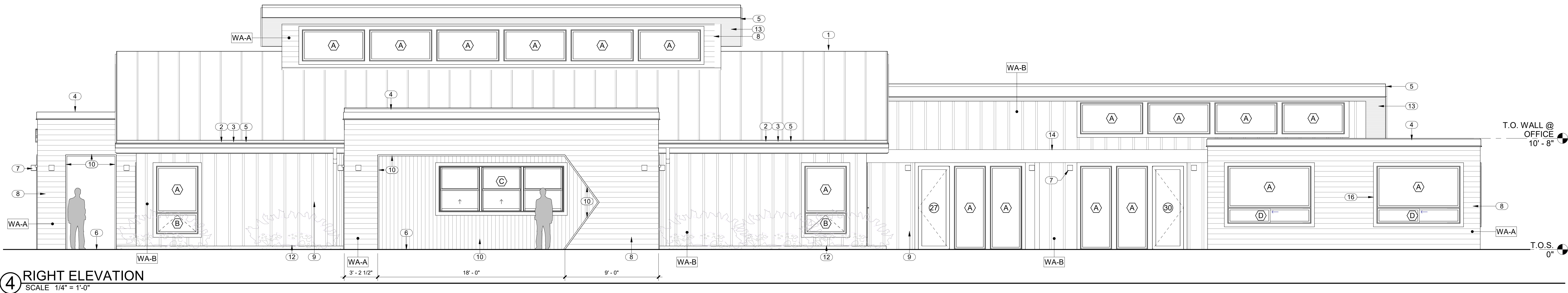
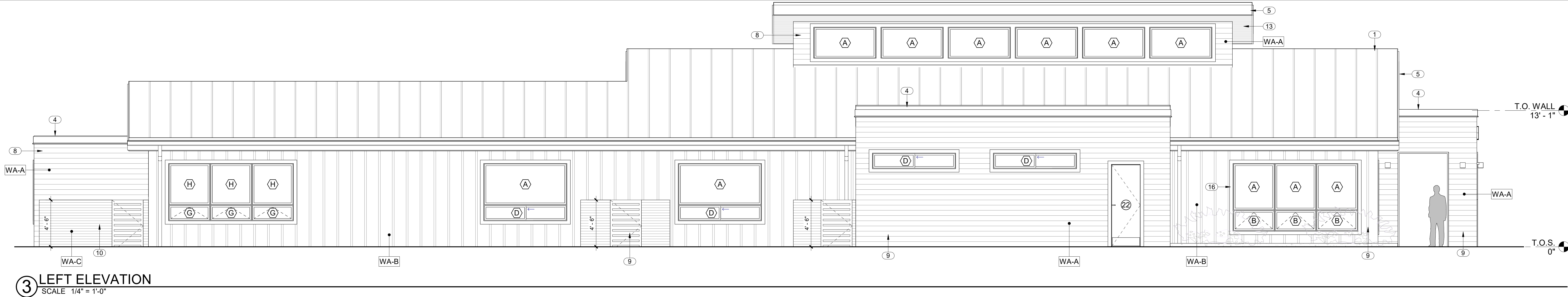
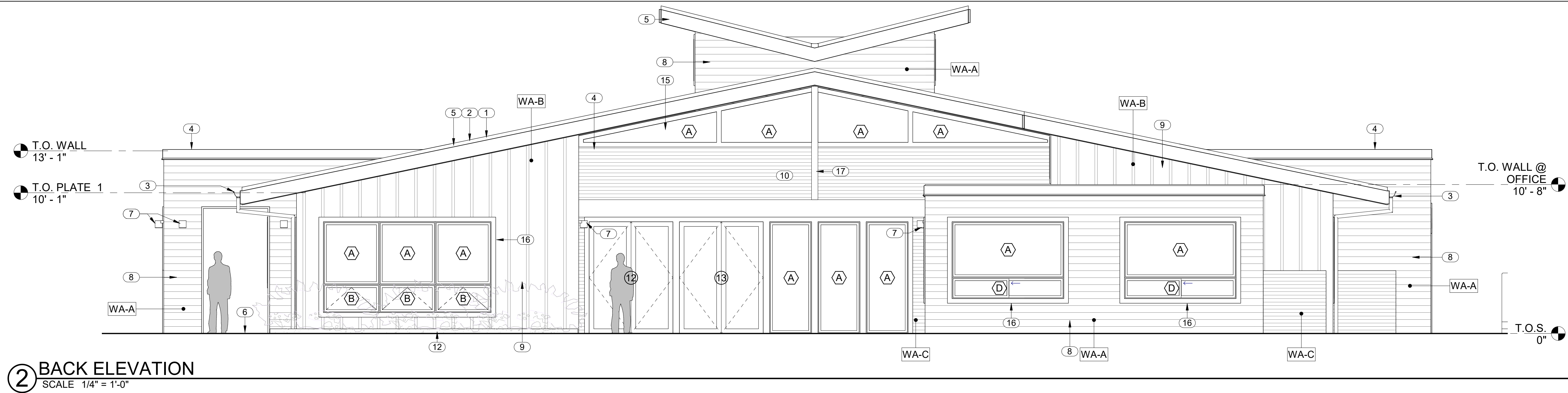
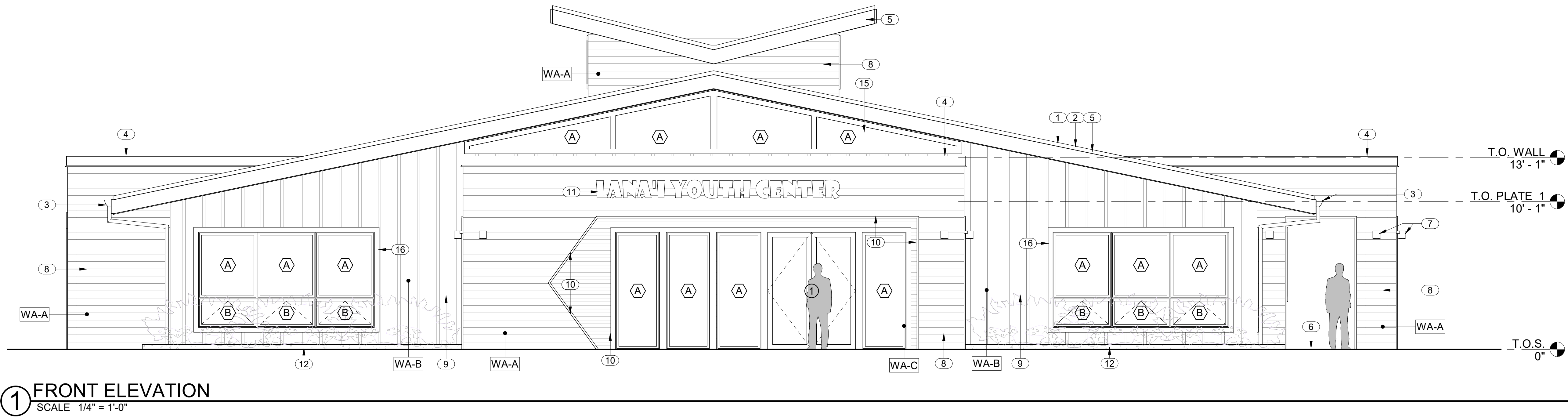
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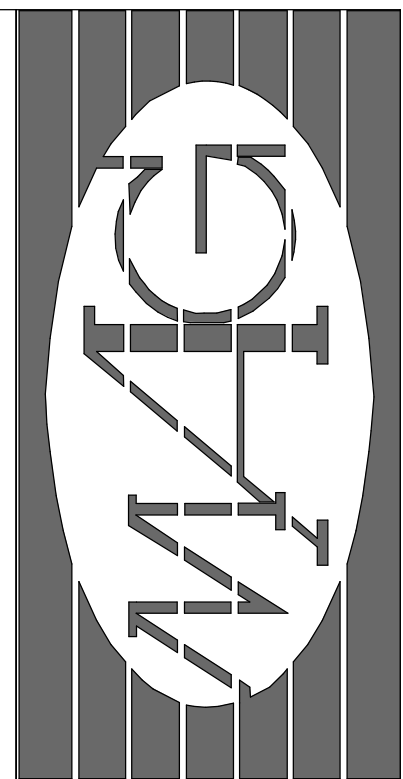
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KEYNOTES	
1	PREFINISHED METAL ROOFING, TYP.
2	CONT. EDGE FLASHING, TYP.
3	CONT. GUTTER WITH DOWNSPOUTS TO DRAIN SYSTEM, TYP.
4	PARAPET COPING
5	SMOOTH HARDIE TRIM FASCIA
6	CONC. SIDEWALK SLOPE AWAY FROM BLDG.
7	CONTEMPORARY DOWNLIGHT WALL SCONCE (SEE RCP FOR LOCATION)
8	HARDIE PLANK LAP SIDING OVER 5/8" GYPSUM SUBSTRATE
9	HARDIE PANEL VERTICAL SIDING
10	SYNTHETIC WOOD SIDING
11	ILLUMINATED CUSTOM NAME SIGNAGE ON TIMER
12	LANDSCAPING PLANTER
13	T&G AT UNDERSIDE OF EAVES
14	SYNTHETIC WOOD OR METAL TRELLIS
15	FIXED GLASS
16	4" HARDIETRIM BOARD, SMOOTH FINISH, TYP.
17	6X6 POST



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LICENSED PROFESSIONAL ARCHITECT
No. 16086
HAWAII, U.S.A.
Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME
OR UNDER MY SUPERVISION AND
I WILL BE UNDER ANY OBSERVATION
BY THE BOARD OF ARCHITECTS.
I am a duly Licensed Architect
No. 16086, State of Hawaii
Exp. Date: 4-30-22

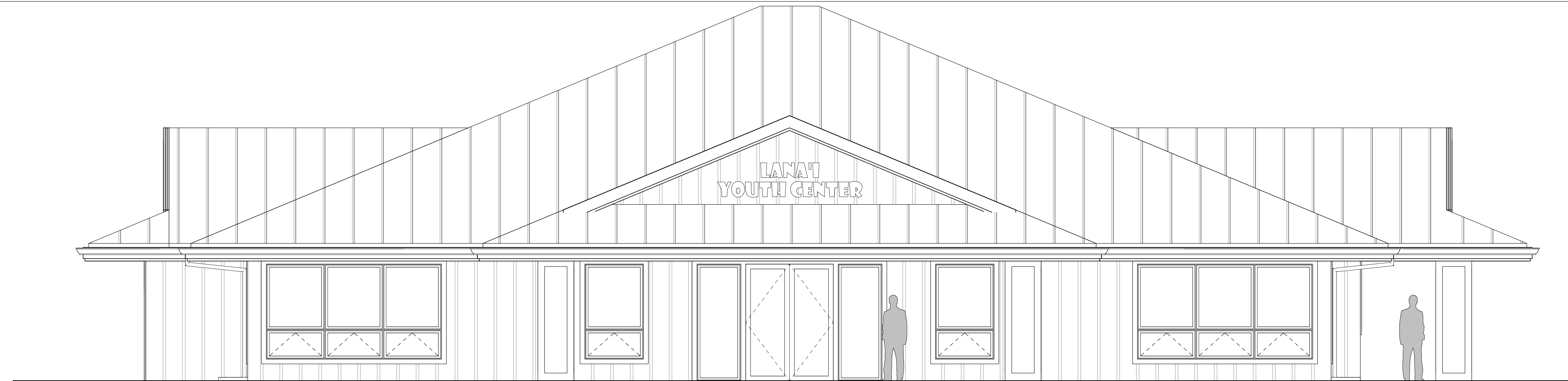
LANAI YOUTH CENTER
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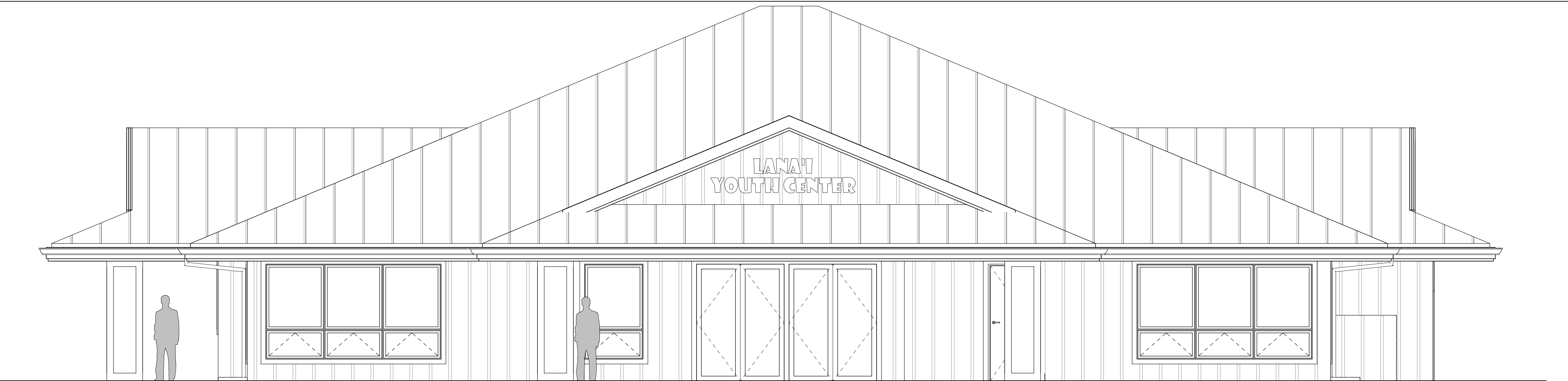
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TMK: (2) 4-9-014:002
Sheet: A3.1

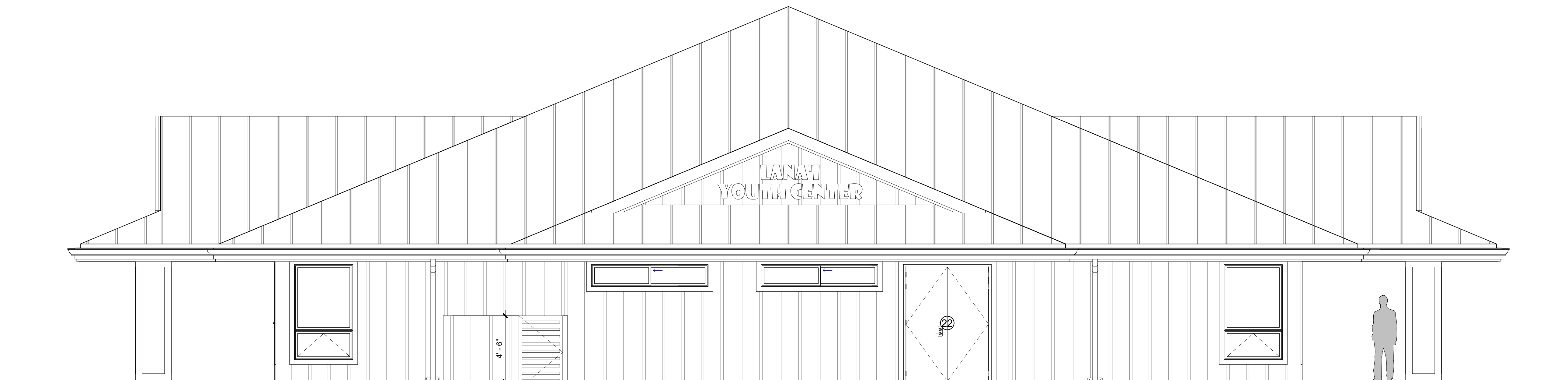
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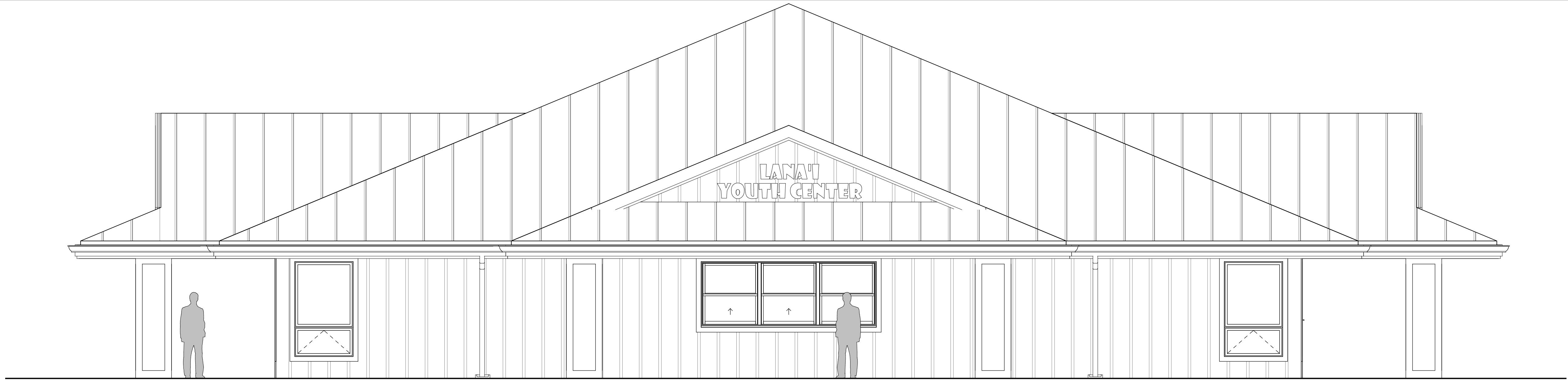
1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



2 BACK ELEVATION
SCALE 1/4" = 1'-0"

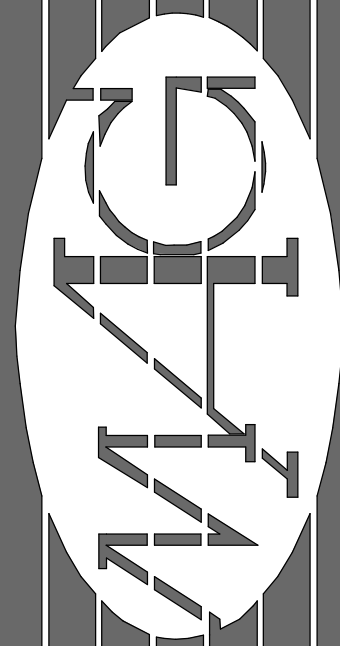


3 LEFT ELEVATION
SCALE 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE 1/4" = 1'-0"

KEYNOTES



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STAMP

Exp. Date: 4-30-22

THIS WORK WAS PREPARED BY ME
OR UNDER MY SUPERVISION AND
I AM A LICENSED ARCHITECT
IN THE STATE OF HAWAII.
I HEREBY CERTIFY THAT I AM
THE DESIGNER OF THIS PROJECT.
Signature: [Signature] Title: [Title]

LANAI'Y YOUTH CENTER
CIP PROJECT NO. P19/036
139 FIFTH ST
LANAI' HI 96763
TMK: (2) 4-9-014:002

No. Revision

EXTERIOR
ELEVATIONS

Date: 4/7/2021 12:40:13 PM

Scale: 1/4" = 1'-0"

File: [File Name]

TMK:

Sheet

A3.1

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