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Director of Council Services Traci N. T. Fujita, Esq.

### **COUNTY COUNCIL**

COUNTY OF MAUI 200 S. HIGH STREET WAILUKU, MAUI, HAWAII 96793 www.MauiCounty.us

April 4, 2023

Mr. Patrick McCall, Director Department of Parks and Recreation County of Maui Wailuku, Hawaii 96793

Dear Mr. McCall:

SUBJECT: FISCAL YEAR ("FY") 2024 BUDGET (BFED-1) (PR-2)

May I please request you be prepared to answer the following questions at the BFED Committee meeting on **April 6, 2023**.\* This will enable the Committee to comprehensively review the FY 2024 Budget. May I further request that, after approval by the Office of the Mayor, you transmit your answers to bfed.committee@mauicounty.us by the end of the day on **April 10, 2023**. \*Date subject to change without notice.

#### **Overall**

- 1. Relating to Administration, Goal #1, item 1:
  - a. How often does each field and baseyard receive a safety inspection annually?
  - b. Briefly describe what occurs during a safety inspection, including what is being checked.
  - c. What is the total number of Parks and Recreation employees who receive OSHA training annually?
  - d. Enforcement as a performance measure is highlighted as one of the few means for public education. Are there other means in which the Department is educating the public about County parks, rules, and regulations? (Page 451, Program Budget) (TC)

- 2. Relating to Permit and Enforcement Section, Goal #1, item 1:
  - a. What occurs during a park inspection?
  - b. List the three most frequent types of citations issued by the Department. (Page 452, Program Budget) (TC)
- 3. Relating to Parks Program, Goal #1, item 1, please list the names and locations of all fields (rectangular and diamond) monitored by the Department. (Page 459, Program Budget) (TC)
- 4. Relating to Parks Program, Goal #1, item 2:
  - a. List the park locations where chain link fence replacements occurred in FY 2023.
  - b. List the park locations where upgraded irrigation or water management system installations occurred in FY 2023. (Page 459, Program Budget) (TC)
- 5. Relating to Waiehu Municipal Golf Course, Goal #1, item 1, how is the percentage of greens/tees/fairways free of weeds determined? (Page 460, Program Budget) (TC)
- 6. Relating to Recreation and Support Services Program, Goal #1, item 1:
  - a. Please provide a copy of the survey used to determine the percentage of satisfied park users.
  - b. What metrics are used to determine this percentage. (Page 467, Program Budget) (TC)
- 7. Relating to Recreation and Support Services Program, Goal #2, item 1, what metrics are used to determine the percentages of children's satisfaction with district recreation programs and PALS programs, and parents' satisfaction with PALS programs? (Page 467, Program Budget) (TC)
- 8. Relating to CBS-1117 Countywide Parks Americans with Disabilities Act Improvements:

- a. Please provide a list of County parks that are covered under this CIP, including:
  - i. Implementation completed in FY 2023
  - ii. Implementation anticipated in FY 2024
  - iii. Implementation anticipated through FY 2029 (Page 751, Program Budget) (TC)
- b. The Department's Accessibility Transition Plan started renovations nearly 11 years ago on 7/01/2012.
  - i. Is this 17-year project that ensures that all Countywide parks are ADA-compliant on schedule for the projected completion date in 2029?
  - ii. How does FY 2024's request of \$500,000 compare to FY 2025's potential future request of \$4 million? (Page 751, Program Budget) (NUH)
- 9. Relating to CBS 3232 Countywide Park Playground Improvements:
  - a. Please provide a list of playgrounds in County parks deemed unsafe by the Department.
  - b. From the list of playgrounds deemed unsafe:
    - i. List those with implementation completed in FY 2023.
    - ii. List those with implementation anticipated in FY 2024.
    - iii. List those with implementation anticipated through FY 2029. (Page 753, Program Budget) (TK)
  - c. Several playground locations are anticipated to be improved, including: Eddie Tam Playground, Hale Piʻilani Playground, Puʻu Hauole Playground, One Aliʻi Playground, Kahului Community Park Playground, and Hana Building "F" Playground.
    - i. How does the Department choose which parks and projects are included in the CIP?
    - ii. Will Honokowai Beach Park and Wahikuli Terrace Park be included under CBS-3232?

- iii. Please provide an update regarding the Wahikuli Terrace Park playground equipment.
- iv. Please also explain why the County removed the Wahikuli Terrace Park steps that access the playground platforms. In your response, indicate when it will be fixed. (Page 753, Program Budget and CIP) (TK) (TP)
- 10. Relating to CBS-5530 Old Hana School Improvements:
  - a. A survey of the existing conditions was completed detailing an order of priority repairs and associated costs. If available, please provide a copy of this survey. (Page 757, Program Budget) (TK)
  - b. How much of the \$1 million has been expended and what other work is there to do?
  - c. Is the FY 2024 budgeted amount anticipated to cover the costs for the project's completion?
  - d. When is the project expected to be completed? (Page 757, Budget Program) (SS)
  - e. Could you explain in detail why an additional \$3 million is being requested for this project? What phase is the project currently in and is it on track to be completed by 12/31/23? (Page 757, Program Budget) (NUH)
- 11. Please explain whether the addition of ADA-compliant bathrooms and sidewalks can be included in CBS-4581 Countywide Parks Facilities for two County parks on Lāna'i . (Page 755, Program Budget) (GJ)
- 12. Does the PALS program operate at 100% enrollment capacity? (GJ)
- 13. Is the PALS program enrollment capacity limited by staffing? (GJ)
- 14. Relating to CBS-6077 Lahaina Civic Center Rehabilitation, will the improvements to the Lahaina Civic Center include facility upgrades to meet the Enhanced Hurricane Protection Area (EHPA) requirements for a Category 3 hurricane shelter? (Page 770, Program Budget) (TP)

- 15. Why hasn't the \$825,000 in funding to implement improvements at the Lahaina Recreational Center been completed? CBS-7256 includes:
  - a. Design, planning, permitting, and construction of a replacement playground, shade structure, and fall surfacing at Lahaina Recreation Center Playground.
  - b. Design, planning, permitting, and construction for Lahaina Recreation Center 1 and 2 improvements including backstop and fencing replacement, roof repairs, and seal coating of the parking lot; includes accessibility, code, or agency-required improvements. (Page 7, Appendix C, FY 2023 Council Adopted Budget) (TP)
- 16. Would the Department support additional raises in non-resident camping fees? (Page 24, Appendix B, Ramseyer Version) (TP)
- 17. Has the Department developed a long-term maintenance plan for all County facilities? (SS)
- 18. Please provide a status update on increasing parking (handicap and regular stalls), providing an access road, and replacing the playground equipment at Pa'ani Mai Park.
  - a. Please provide a copy of the Pa'ani Mai Park Master Plan and an implementation update. (SS)
- 19. Are there any plans to allow handicap access for those attending sports and festivals at Hāna Ball Park?
  - a. Is any funding provided in the proposed FY 2024 Budget to address these types of park needs?
  - b. What type and amount of funding would be required to provide handicap and additional stalls, an access road, and to replace playground equipment at Hāna Ball Park? (SS)
- 20. Please list all proposed changes to rates and fees and the impact on projected revenues. (Appendix B) (YLS)
- 21. Please explain why each project with a lapse date of 2018 or prior listed in the CIP Quarterly Report has not been closed out. Can

- these contracts be closed out and monies lapsed into FY 2024? (Appendix A-1) (YLS)
- 22. Provide a list of organizations the MCCC Workline Program partners with to assist in the preparation of inmates' reintegration back into society.
  - a. What percentage of inmates enter this program and what qualifies them to join?
  - b. Does the Department hire from this program when inmates are released? (Page 455, Program Budget) (TP) (NUH)
- 23. Relating to CBS-4616 War Memorial Gym Building Improvements, did the Department fully expend the FY 2023 allocation of \$10 million for this project?
  - a. Will the additional \$4 million being requested for FY 2024 be enough to fully complete the project? (Page 765, Program Budget) (NUH)
- 24. Regarding CBS-7245 Central Maui Pickleball Courts, has the Department identified the 12 locations for the new courts?
  - a. Are there any County-owned properties that are potential suitable locations?
  - b. Will any existing tennis courts be converted in the Kahului-Wailuku area or are these new single-purpose facilities being constructed?
  - c. Will the dual-purpose tennis and pickleball court at War Memorial be returned to a single-purpose tennis court? (Page 768, Program Budget/CIP) (TK) (NUH)

### Salaries and Wages (Category "A")

- 1. Were all PALS positions filled last year? (GJ)
  - a. If not, how many remain vacant?
- 2. What would be the additional cost of raising the base PALS wage to \$17.84 per hour? (Page 13-29, Budget Details) (GJ)

- 3. What is the total number of positions for East Maui parks from Keanae to Kipahulu?
  - a. Are there expansion positions needed to cover this area? (SS)
- 4. Are the two expansion Park Caretaker I East Coastal positions for the East Maui District? (Page 470, Program Budget) (SS)
- 5. Why was the Park Caretaker 1 Hana (half-time) position eliminated? (Page 470, Program Budget) (SS)
- 6. How many Department positions are currently vacant? In which areas or sub-departments is there a high priority for coverage? (NUH)
- 7. There are two newly added Security Officer I positions for the recent acquisition of donated parcels from Alexander & Baldwin by Resolution 22-208.
  - a. Which parcels will these positions be assigned to? (NUH)

## Operations and Equipment (Categories "B" and "C")

- 1. Relating to 915321B-6138 R &M Services/Contracts for \$380,584, please provide a list of these projects and the total cost for each. (Page 13-23, Budget Details) (TC)
- 2. Relating to the \$35,000 for the replacement of a Cushman cart stolen from a County baseyard, what protocols does the Department have in place to prevent the future theft of County property or equipment? (Page 473, Program Budget) (TC)
- 3. \$450,000 is budgeted for the Master Plan Update of the Maui Raceway Park and the Baldwin Beach Park Adaptation Plan.
  - a. What are the total amounts for the Maui Raceway Park and Baldwin Beach Park, respectively?
  - b. What is the current progress on the Maui Raceway Park Master Plan?
  - c. What will the results of the offshore water quality study for Baldwin Beach Park be used for? (Page 465, Program Budget) (TC)

- 4. Relating to baseyard improvements, how is theft prevention of County-owned equipment or property incorporated into these improvements? (Pages 767 & 769, Program Budget) (TK)
- 5. Relating to the \$150,000 for maintenance & repair equipment, will this equipment be used to clean up parks after flooding/inclement weather events? (Page 473, Program Budget) (TC)
- 6. Can you please elaborate upon the necessity of replacing (3) golf carts, index code 915321C-Waiehu Golf Course in FY 2024? (Page 13-27, Budget Details) (GJ)
- 7. Can you please elaborate on the necessity of replacing (2) trucks with less than 100,000 miles under index code 915667C-Construction Maintenance in FY 2024? (Page 13-27, Budget Details) (GJ)
- 8. Can you please elaborate on the necessity of (3) new utility vehicles requested under 915074C-Central Maui Parks in FY 2024? (Page 13-66, Budget Details) (GJ)
- 9. What are some of the new pieces of equipment that will help clean up beach parks from large logs and debris in the Hāna District? (Page 13-68, Budget Details) (TP)
- 10. Are there any other pieces of equipment that were stolen from the South Maui Baseyard on January 31, 2021, that still need to be replaced?
  - a. If so, what types of equipment and what is the total replacement cost? (Page 13-69, Budget Details) (TP)
- 11. Has the cost of janitorial supplies increased in the past 12 months?
  - a. Is the higher use of park facilities, such as Hana Bay and other parks with restrooms a result of tourism numbers at record levels again?
  - b. The amount budgeted for janitorial supplies is the same as FY 2023 at \$72,500. Will this be enough to cover anticipated costs? (Page13-52, Budget Details) (SS)
- 12. What is the projected lifespan of the fairway mower, hybrid greens mower/verticut and club carts?

Mr. Patrick McCall April 4, 2023 Page 9

a. How many of these types of equipment does the Department currently have? Is there a sustainable way of disposing (i.e., salvaging) the older mowers and carts that would save on expenses? (Page 465, Program Budget) (NUH)

To ensure efficient processing, please include the relevant Committee item number in the subject line of your response.

Should you have any questions, please contact me or the Committee staff (Lesley Milner at ext. 7886, Kasie Apo Takayama at ext. 7665, or Yvette Bouthillier at ext. 7758).

Sincerely,

YUKI LEI K. SUGIMURA, Chair

Yuki Sei K. Sugimura

Budget Finance, and Economic

Development Committee

bfed:2024bgt:230403apr02:alkl

cc: Mayor Richard T. Bissen, Jr. Budget Director

#### **BFED Committee**

From: BFED Committee

**Sent:** Tuesday, April 4, 2023 9:39 AM **To:** Patrick.S.Mccall@co.maui.hi.us

Cc: Michelle Santos; Zeke Kalua; Maria Zielinski; Desiree Echalas; Janina Agapay; BFED

Committee; Lisa Sakumoto

**Subject:** PLEASE READ attached letter re: Fiscal Year ("FY") 2024 Budget (BFED-1) (PR-2)

Attachments: (PR-2) Correspondence to Parks and Recreation 04-04-2023.pdf

**Mr. McCall:** Please refer to the attached letter from the Budget, Finance, and Economic Development (BFED) Committee Chair, dated 04/04/2023.

Mayor's Office (Attention: Michelle Santos and Zeke Kalua): Please forward the attached letter to Mayor Bissen for his information.

Ms. Zielinski: FYI

Mahalo, Clarita Balala

RICHARD T. BISSEN, JR. Mayor

KEKUHAUPIO R. AKANA Managing Director

PATRICK S. MCCALL Director

SHANE T. DUDOIT Deputy Director



# DEPARTMENT OF PARKS AND RECREATION

COUNTY OF MAUI
700 HALI'A NAKOA STREET, UNIT 2
WAILUKU, MAUI, HAWAI'I 96793
www.mauicounty.gov

April 10, 2023



Ms. Maria Zielinski
Budget Director, County of Maui
200 South High Street

Wailuku, Hawaii 96793

Honorable Richard T. Bissen, Jr. Mayor, County of Maui 200 South High Street Wailuku, Hawaii 96793 APPROVED FOR TRANSMITTAL

For Transmittal to:

Honorable Yuki Lei K. Sugimura, Chair Budget, Finance, and Economic Development Committee Maui County Council 200 South High Street Wailuku, Hawaii 96793

Dear Chair Sugimura:

SUBJECT: FISCAL YEAR ("FY") 2024 BUDGET (BFED-1) (PR-2)

The following is our Department's response to your letter of request dated April 4, 2023:

### **Overall**

1. Relating to Administration, Goal #1, item 1:

a. How often does each field and baseyard receive a safety inspection annually?

Our Safety Specialist conducts approximately 120 -130 safety inspections annually at various facilities in conjunction with supervisors or facility staff. Staff are encouraged to report any safety issues they notice while performing daily duties.

 Briefly describe what occurs during a safety inspection, including what is being checked.

In checking a baseyard, the scope is to identify safety hazards that can cause injuries to employees. Safety hazards such as, but not limited to, housekeeping, storing of equipment, storing of chemicals, etc.

In checking fields, the focus is on employees exercising their job safely including the use of PPEs. In addition, another emphasis is placed into keeping the park users safe during the use of mowing equipment and machines.

c. What is the total number of Parks and Recreation employees who receive OSHA training annually?

As of 2022, 308 Parks and Recreation employees received annual OSHA training. The number increases as the work force increases with new hires.

d. Enforcement as a performance measure is highlighted as one of the few means for public education. Are there other means in which the Department is educating the public about County parks, rules, and regulations? (Page 451, Program Budget) (TC)

Efforts in park enforcement focus first on education. Any situation encountered first requires efforts to determine what has/is actually happening, and then if warranted, efforts to educate all parties involved. If after education efforts there is

still no willingness to comply, enforcement actions are then taken.

Parks Enforcement works closely with other Department employees throughout the county in communicating with park users and providing education through conversation and interactions. Informational signage is also posted throughout facilities and replaced as soon as possible if vandalized.

The Department is also educating the public about County Parks rules and regulations with the installation of prohibition signs throughout our parks and facilities. The Department of Parks and Recreation website also has pertinent information.

- 2. Relating to Permit and Enforcement Section, Goal #1, item 1:
  - a. What occurs during a park inspection?

Park Security Officers (PSOs) patrol County parks, facilities, and beaches to preserve order, prevent vandalism, educate the community, and enforce park ordinances, rules and regulations. PSOs typically provide information relating to park hours, park usage, unpermitted activity, permitted activity, parking, park facilities, recreational programs, commercial ocean recreation activities, and other points of interest. PSOs also re-direct those who may require the services of other agencies.

- List the three most frequent types of citations issued by the Department. (Page 452, Program Budget) (TC)
  - 1. Parking Citations (out of stall, after hours, no parking zone, derelict, etc.)
  - 2. Parking Infractions (expired safety and registration)
  - Court Summons Citations (illegal commercial activity, CORA, 13.04A violations)

> Relating to Parks Program, Goal #1, item 1, please list the names and locations of all fields (rectangular and diamond) monitored by the Department. (Page 459, Program Budget) (TC)

Please see Attachment "1".

- 4. Relating to Parks Program, Goal #1, item 2:
  - List the park locations where chain link fence replacements occurred in FY 2023.

Keopuolani Park Field #2 Keopuolani Park Field #4 Keopuolani Park Playground Waikapu Park

 List the park locations where upgraded irrigation or water management system installations occurred in FY 2023. (Page 459, Program Budget) (TC)

War Memorial Little League Field #3
War Memorial Little League Fields #4 and #5 – In progress
Waikapu Park
Ulua/Mokapu Beach Park

 Relating to Waiehu Municipal Golf Course, Goal #1, item 1, how is the percentage of greens/tees/fairways free of weeds determined? (Page 460, Program Budget) (TC)

Greens, tees and fairways are assessed and approximate percentage of weed free areas are determined by the following:

Total area of greens - weed treatment application area ÷ total area of greens = % of weed free area.

Relating to Recreation and Support Services Program, Goal #1, item
 1:

a. Please provide a copy of the survey used to determine the percentage of satisfied park users.

SMS Research conducted a study for the Department to measure County residents' level of use, need, and satisfaction with County parks and recreation facilities and programs. The report is titled Maui County Parks and Recreation Needs and Preferences Survey Results (July 2016).

See Attachments "2", "3" and "4".

b. What metrics are used to determine this percentage. (Page 467, Program Budget) (TC)

All participants issued a survey to be completed as shown in Attachment "4". Completed surveys are turned in to each district or section. Each district or section compiles a summary report as shown in Attachment "4" and submits report to the Recreation Program Planner. The Recreation Program Planner compiles summary reports from all districts and sections and uses the information collected to determine the percentage of satisfied participants.

7. Relating to Recreation and Support Services Program, Goal #2, item 1, what metrics are used to determine the percentages of children's satisfaction with district recreation programs and PALS programs, and parents' satisfaction with PALS programs? (Page 467, Program Budget) (TC)

The PALS program uses participant and parent surveys to determine the satisfaction of the program. Both of these surveys are optional.

- Participant survey uses a picture scale to determine satisfaction. There are three pictures; a thumb-up means good, a thumb in the middle means okay, and a thumb-down means bad.
  - To determine satisfaction, we count the "good" and "okay" responses as satisfaction.

- These are completed at each of the PALS sites on the last week of the program session. All surveys are collected, compiled, and results are recorded. \*Please note that compilation is as a program session not by individual PALS sites.
- Parent surveys use a numerical scale from 1 to 5, with 1 being strongly disagreed and 5 strongly agreed to answer questions about the PALS program session.
  - To determine satisfaction with the program we count all responses from 3 – 5 as satisfaction.
  - This survey is via Google Forms, PALS office sends a link during the last week of the program to the email provided by the parents. These are done by household. PALS office then compiles and records the results.
- Please see Attachment "4".
- 8. Relating to CBS-1117 Countywide Parks Americans with Disabilities Act Improvements:
  - a. Please provide a list of County parks that are covered under this CIP, including:
    - i. Implementation completed in FY 2023
      - 1. Haiku Park Restroom Building (ADA Scope)
      - 2. D.T. Fleming Beach Park Improvements (ADA Scope)
    - ii. Implementation anticipated in FY 2024

The consultant will be providing a priority list for projects to implement in FY 2024. The highest priority projects in each district will be implemented.

iii. Implementation anticipated through FY 2029 (Page 751, Program Budget) (TC)

Please see Attachment "5", ADA transition plan executive summary. The executive summary lists sites included in the ADA transition plan.

- The Department's Accessibility Transition Plan started renovations nearly 11 years ago on 7/01/2012.
  - i. Is this 17-year project that ensures that all Countywide parks are ADA-compliant on schedule for the projected completion date in 2029?
    - ADA compliance will likely be ongoing past 2029 due to the large number of projects. Projects will be prioritized and implemented according to priority.
  - How does FY 2024's request of \$500,000 compare to FY 2025's potential future request of \$4 million? (Page 751, Program Budget) (NUH)

The anticipated increase is due to additional ADA projects being construction ready. The request will be re-evaluated during the preparation of the FY 2025 budget.

- 9. Relating to CBS 3232 Countywide Park Playground Improvements:
  - a. Please provide a list of playgrounds in County parks deemed unsafe by the Department.

Honokowai Beach Park Playground was recently removed. Kahului Park Playground was recently removed. Hana Playground (next to preschool) is currently closed.

- b. From the list of playgrounds deemed unsafe:
  - List those with implementation completed in FY 2023.

Honokowai Beach Park Playground is projected to be completed. Equipment is scheduled to arrive on-site in late July.

List those with implementation anticipated in FY 2024.

Kahului Park Playground

 List those with implementation anticipated through FY 2029. (Page 753, Program Budget) (TK)

Playgrounds will continue to be repaired and replaced according to their design life and maintenance schedule.

- c. Several playground locations are anticipated to be improved, including: Eddie Tam Playground, Hale Pi'ilani Playground, Pu'u Hauole Playground, One Ali'i Playground, Kahului Community Park Playground, and Hana Building "F" Playground.
  - i. How does the Department choose which parks and projects are included in the CIP?

Parks district staff evaluate all playgrounds in their district and make recommendations for inclusion in the CIP budget. In addition, community needs are considered. Feedback from the community is received during project outreach, budget meetings, and through direct communication with our offices.

ii. Will Honokowai Beach Park and Wahikuli Terrace Park be included under CBS-3232?

Honokowai Beach Park was funded previously in the FY 2022 budget under CBS-3232. The contractor has ordered the new playground equipment which is expected to arrive on-site in late July. The new playground will be opened to the public in 2023.

Wahikuli Terrace Park Playground is not currently included in the FY 2024 budget request.

> Please provide an update regarding the Wahikuli Terrace Park playground equipment.

> > The Wahikuli Terrace Park playground is in good condition.

iv. Please also explain why the County removed the Wahikuli Terrace Park steps that access the playground platforms. In your response, indicate when it will be fixed. (Page 753, Program Budget and CIP) (TK) (TP)

The County did not remove any steps that access Wahikuli Terrace Park playground platforms. The structure was designed in that manner as a climbing apparatus. The playground was designed for youth ages 5 to 12 years old.

- 10. Relating to CBS-5530 Old Hana School Improvements:
  - A survey of the existing conditions was completed detailing an order of priority repairs and associated costs. If available, please provide a copy of this survey. (Page 757, Program Budget) (TK)

Please see Attachment "6", Building Assessment Report.

b. How much of the \$1 million has been expended and what other work is there to do?

\$102,713 has been expended as of April 4, 2023. The remaining funds will be used to address issues related to permit compliance and to contract a construction management consultant.

c. Is the FY 2024 budgeted amount anticipated to cover the costs for the project's completion?

Yes

 d. When is the project expected to be completed? (Page 757, Budget Program) (SS)

Start of construction is dependent on approval of the project building permits. After approval of the building permits, the construction is expected to take approximately 1 year.

e. Could you explain in detail why an additional \$3 million is being requested for this project? What phase is the project currently in and is it on track to be completed by 12/31/23? (Page 757, Program Budget) (NUH)

\$3 million is being requested as contingency to cover costs due to unforeseen conditions and agency required design changes.

11. Please explain whether the addition of ADA-compliant bathrooms and sidewalks can be included in CBS-4581 Countywide Parks Facilities for two County parks on Lāna'i. (Page 755, Program Budget) (GJ)

If identified by the ADA transition plan, these projects would be funded through CBS-1117 (Countywide ADA Improvements).

If not identified by the ADA transition plan, the project would typically be funded through their own line item in the CIP budget.

12. Does the PALS program operate at 100% enrollment capacity? (GJ)

No. Since COVID, staffing and enrollment have dropped significantly.

13. Is the PALS program enrollment capacity limited by staffing? (GJ)

Yes. Enrollment capacity is limited by staffing.

> 14. Relating to CBS-6077 Lahaina Civic Center Rehabilitation, will the improvements to the Lahaina Civic Center include facility upgrades to meet the Enhanced Hurricane Protection Area (EHPA) requirements for a Category 3 hurricane shelter? (Page 770, Program Budget) (TP)

Yes. The improvements will include facility upgrades to meet the Enhanced Hurricane Protection Area requirements for a Category 3 hurricane shelter.

- 15. Why hasn't the \$825,000 in funding to implement improvements at the Lahaina Recreational Center been completed? CBS-7256 includes:
  - a. Design, planning, permitting, and construction of a replacement playground, shade structure, and fall surfacing at Lahaina Recreation Center Playground.
  - Design, planning, permitting, and construction for Lahaina Recreation Center 1 and 2 improvements including backstop and fencing replacement, roof repairs, and seal coating of the parking lot; includes accessibility, code, or agency-required improvements. (Page 7, Appendix C, FY 2023 Council Adopted Budget) (TP)

This project is currently being contracted for design. Construction start is dependent on completion of the design and review and approval of permits. The Department's plan is to request construction funding in FY 2025 when the project is construction ready.

16. Would the Department support additional raises in non-resident camping fees? (Page 24, Appendix B, Ramseyer Version) (TP)

Currently the cost for a one (1) night camping permit with the maximum allowed of six (6) non-resident adults is as follows:

- Weekday \$300.00
- Weekend \$600.00

Prior non-resident rates for the same permit prior to July 1, 2022 were:

- Weekday \$60.00
- Weekend \$120.00

Therefore, the Department would not support additional raises in non-resident camping fees as non-residents have been less forthcoming with the actual number of people staying at the campsite, and may be choosing to camp illegally throughout the coastline. We have also found the largest challenge to be the illegal use of camper vans in and around our facilities which an increase in fees for tent camping does not address.

 Has the Department developed a long-term maintenance plan for all County facilities? (SS)

The Department is developing and implementing Preventative Maintenance Plans. These include scheduled inspections of parks, facilities and equipment which are automatically generated and issued as a work order to the responsible staff by our Maintenance Connection application. These inspections with specific tasks help to identify any failures before they occur and report all necessary repair.

18. Please provide a status update on increasing parking (handicap and regular stalls), providing an access road, and replacing the playground equipment at Pa'ani Mai Park.

Before the park can be developed, a 490' access road from Uakea Road needs to be constructed. The road passes through a parcel owned by Hana Ranch (Bio-logical Capital, LLC). The County will need approval from Bio-logical Capital for us to initiate the land entitlement process and move forward with the project.

 a. Please provide a copy of the Pa'ani Mai Park Master Plan and an implementation update. (SS)

> Please see Attachment "7". Implementation can occur after the access issue through Hana Ranch land is resolved.

19. Are there any plans to allow handicap access for those attending sports and festivals at Hāna Ball Park?

ADA access at Hana Ball Park is identified in the Department's ADA Transition Plan. Plans include an ADA ramp installed on the Hana Community Center side of the park and a perimeter ADA path. A portion of this work is being constructed with the Hana Park Courts Project.

a. Is any funding provided in the proposed FY 2024 Budget to address these types of park needs?

There is no ADA funding requested specifically for Hana Ball Park in FY 2024. The project consultant for the ADA transition plan is in the process of providing a priority ranking of projects by District. The highest priority projects will be included in future fiscal year budget requests.

 What type and amount of funding would be required to provide handicap and additional stalls, an access road, and to replace playground equipment at Hāna Ball Park? (SS)

\$150,000 of CIP funding for planning, design, and permitting would be sufficient. The consultant could then provide a construction cost estimate for a future fiscal year request.

 Please list all proposed changes to rates and fees and the impact on projected revenues. (Appendix B) (YLS)

With the recent increases in non-profit and commercial fees for permits, as well as the mindful approach to resident expense in using our facilities, there are no proposed changes to rates and fees for FY 2024 in our Permits Section.

Proposed changes to the rates and fees at the Waiehu Golf Course include the following:

Playing Fees - Green Fees - Golf Rates - weekdays:

• Residents with Resident Card \$[15]16

Rates - weekends and holidays:

Residents with Resident Card \$[20]21

Impact on projected revenue is an estimated increase of \$23,000. For your reference, please see Attachment "8" with rates and fees comparison.

 Please explain why each project with a lapse date of 2018 or prior listed in the CIP Quarterly Report has not been closed out. Can these contracts be closed out and monies lapsed into FY 2024? (Appendix A-1) (YLS)

See list of open projects from FY 2018 or prior. A majority of the projects are actively in design or construction. The remaining projects are being left open due to future plans to complete. We would defer to the Budget Director regarding lapsing prior fiscal year encumbrances into FY 2024.

CBS- 1971	P18/009	Helene Hall Restroom Renovations	On hold pending completion of DEM Septic Improvements
CBS- 2329	P16/021	Waiakoa Gym Improvements	Currently in design
CBS- 2351	P18/008	Wailuku Elem School Park Improvements	Design contract on hold pending design funding
CBS- 2743	P14/024	Kenolio Building "C" Repairs	Design contract on hold pending design funding

CBS- 3209	P18/012	CMRSC Maintenance Operations Building	Construction complete – punchlist in process
CBS- 3214	P14/026	Waikapu Community Center Expansion	Construction complete -punchlist in process
CBS- 3228	P15/004	Hannibal Tavares Center Improvements	Construction complete - project closeout in process
CBS- 4592	P15/001	Pa'ani Mai Park Development	Pending land acquisition or easement from Hana Ranch
CBS- 4616	P17/031	War Memorial Gym Building Improvements	Pre-construction
CBS- 5056	P15/014	Paia Gym Roofing Replacement	Pre-construction

 Provide a list of organizations the MCCC Workline Program partners with to assist in the preparation of inmates' reintegration back into society.

The MCCC Workline program referenced on page 455 of the Program Budget was temporarily suspended due to the pandemic. The Department is not aware of the list of organizations that partner with the MCCC Workline Program.

a. What percentage of inmates enter this program and what qualifies them to join?

We will defer to the Maui Community Correctional Center for a response as they facilitate the program.

b. Does the Department hire from this program when inmates are released? (Page 455, Program Budget) (TP) (NUH)

Recruitment for jobs is provided by the Department of Personnel Services (DPS) and hiring is done from eligible lists

of applicants provided by DPS. Released inmates would need to complete the application process as administered by DPS.

23. Relating to CBS-4616 War Memorial Gym Building Improvements, did the Department fully expend the FY 2023 allocation of \$10 million for this project?

Yes. The \$10 million was fully expended.

 Will the additional \$4 million being requested for FY 2024 be enough to fully complete the project? (Page 765, Program Budget) (NUH)

The \$4 million is being requested as contingency for the project. This amount was recommended by our construction management consultant. It is expected to cover unforeseen conditions and any remaining costs to complete the project.

24. Regarding CBS-7245 Central Maui Pickleball Courts, has the Department identified the 12 locations for the new courts?

The 12 new courts will be located at the Central Maui Regional Sports Complex.

a. Are there any County-owned properties that are potential suitable locations?

The Central Maui Regional Sports Complex was determined to be the most suitable location for the 12 new courts.

b. Will any existing tennis courts be converted in the Kahului-Wailuku area or are these new single-purpose facilities being constructed?

No existing tennis courts will be converted in the Kahului-Wailuku area. The new pickleball courts will be constructed as single-purpose facilities.

> c. Will the dual-purpose tennis and pickleball court at War Memorial be returned to a single-purpose tennis court? (Page 768, Program Budget/CIP) (TK) (NUH)

We do not have any plans at this time to return the dualpurpose tennis/pickleball court at War Memorial to a singlepurpose tennis court.

### Salaries and Wages (Category "A")

- Were all PALS positions filled last year? (GJ)
  - a. If not, how many remain vacant?

The four (4) permanent positions were filled.

All seasonal positions were not filled. There were 321 vacancies out of 468. We believe this was a carryover from the pandemic.

 What would be the additional cost of raising the base PALS wage to \$17.84 per hour? (Page 13-29, Budget Details) (GJ)

A raise in the base PALS wage to \$17.84 reflects an increase of 18.9%. If this increase rate is applied to all positions, the additional cost to the program would be \$390,885.76 assuming all positions are filled. We have not been close to filling all of these positions in the last couple of years. If we use a projected number of employees that will be hired, the increase would be \$237,418.96

3. What is the total number of positions for East Maui parks from Keanae to Kipahulu?

Currently there are 10 positions.

a. Are there expansion positions needed to cover this area? (SS)

Yes. Expansion positions requested are one (1) Clerk III and one (1) Park Caretaker I.

> Are the two expansion Park Caretaker I – East Coastal positions for the East Maui District? (Page 470, Program Budget) (SS)

Yes. The two expansion Park Caretaker I positions for East Coastal are located in the East Maui District.

 Why was the Park Caretaker 1 – Hana (half-time) position eliminated? (Page 470, Program Budget) (SS)

The position was not eliminated. It was converted from a seasonal position to a part-time position to attract candidates. A candidate has been selected and is currently going through the HR process.

6. How many Department positions are currently vacant? In which areas or sub-departments is there a high priority for coverage? (NUH)

Currently there are 70 permanent vacancies and 183 seasonal positions. There is a high priority of coverage in our Pools Section as well as the Maintenance Division. Coverage is needed to be able to provide the necessary services as well as the necessary repair and maintenance of parks, facilities and equipment.

The Planning and Development Division currently has 3 vacancies (2 Capital Improvement Project Coordinators, 1 Construction Inspector).

Our priority is to fill the CIP Coordinator positions. These Coordinators are needed to manage the CIP Projects and ensure the CIP program is administered effectively. CIP Coordinators are essential for keeping projects on schedule and on budget.

- There are two newly added Security Officer I positions for the recent acquisition of donated parcels from Alexander & Baldwin by Resolution 22-208.
  - a. Which parcels will these positions be assigned to? (NUH)

> The new positions will be added to the overall enforcement team to assist in increasing the frequency of patrols and span of coverage for all parcels under the control and management of the Department countywide. This approach allows for proper cross training and consistency in all education and enforcement efforts.

### Operations and Equipment (Categories "B" and "C")

- Relating to 915667B-6138 R &M Services/Contracts for \$380,584, please provide a list of these projects and the total cost for each. (Page 13-23, Budget Details) (TC)
  - Please see Attachment "9" with a list of projects and total cost for each project completed in FY 2023.
- Relating to the \$35,000 for the replacement of a Cushman cart stolen from a County baseyard, what protocols does the Department have in place to prevent the future theft of County property or equipment? (Page 473, Program Budget) (TC)
  - Installation of security cameras and increased vigilance by supervisors in end of day locking procedures.
- \$450,000 is budgeted for the Master Plan Update of the Maui Raceway Park and the Baldwin Beach Park Adaptation Plan.
  - a. What are the total amounts for the Maui Raceway Park and Baldwin Beach Park, respectively?
    - The Master Plan Update for the Maui Raceway Park is \$200,000 and the Baldwin Beach Park Adaptation Plan is \$250,000.
  - b. What is the current progress on the Maui Raceway Park Master Plan?

Original plan was completed in 2016. We have requested for additional funds to update the plan as conditions have changed. Action is pending potential State agency development North and South of the property. Hawaii Community Development Authority has recently informed us that they will begin their study into the development in 2023.

c. What will the results of the offshore water quality study for Baldwin Beach Park be used for? (Page 465, Program Budget) (TC)

The results of the offshore water quality study for Baldwin Beach Park will help to understand existing impacts of land-based activities on offshore water quality and inform adaptation options considered in the Adaption Plan.

 Relating to baseyard improvements, how is theft prevention of County-owned equipment or property incorporated into these improvements? (Pages 767 & 769, Program Budget) (TK)

We have retrofitted our baseyards and facilities with security alarm systems and security cameras.

Theft prevention will be incorporated with the installation of security camera, alarm and lighting systems and the construction of storage bays to secure parts, material and equipment. Staff are also responsible to secure all locks and gates when area is not in use.

 Relating to the \$150,000 for maintenance & repair equipment, will this equipment be used to clean up parks after flooding/inclement weather events? (Page 473, Program Budget) (TC)

The \$150,000 is for the skid steer and trailer to tow the skid steer for the Hana District. Yes, this equipment will assist in cleaning up parks after flooding/inclement weather events.

> Can you please elaborate upon the necessity of replacing (3) golf carts, index code 915321C-Waiehu Golf Course in FY 2024? (Page 13- 27, Budget Details) (GJ)

Existing club carts are 14, 16 and 17 years old and are not able to be repaired. These carts have exceeded their lifespan and are utilized by staff 7 days a week to complete required maintenance on the golf course.

 Can you please elaborate on the necessity of replacing (2) trucks with less than 100,000 miles under index code 915667C- Construction Maintenance in FY 2024? (Page 13-27, Budget Details) (GJ)

Truck CM 1963 is 17 years old. The Section has spent over \$18,000 in repairs and the current Kelly Blue book value of the truck is \$5,000. The Department of Public Works assists with major repairs of the Department's vehicles and has recommended that we do not make any additional repairs to this vehicle. As it takes approximately 500 days from the Notice to Proceed to receiving a new truck, a replacement is highly recommended at this time.

Truck CM 2137 is 15 years old. The Section has spent over \$24,000 in repairs and the current Kelly Blue book value of the truck is \$5,000. As it is taking approximately 500 calendar days from the Notice to Proceed to receiving a new truck, a replacement is highly recommended at this time.

 Can you please elaborate on the necessity of (3) new utility vehicles requested under 915074C-Central Maui Parks in FY 2024? (Page 13-66, Budget Details) (GJ)

Utility carts are needed for maintenance, dragging fields and emptying trash at the Central Maui Regional Sports Complex which consists of eight (8) ball fields, three (3) multipurpose fields and three (3) soccer fields as well as Luana Gardens which consists of five (5) ball fields, two (2) soccer fields and Kahului School Complex which consists of one (1) ball field, two (2) softball fields and one (1) multipurpose field for soccer and football.

- What are some of the new pieces of equipment that will help clean up beach parks from large logs and debris in the Hāna District? (Page 13-68, Budget Details) (TP)
  - Skid steer and trailer to tow skid steer. Although the equipment is not allowed on the beaches, we will utilize it to assist in dragging and loading debris in clean-up efforts.
- 10. Are there any other pieces of equipment that were stolen from the South Maui Baseyard on January 31, 2021, that still need to be replaced?
  - a. If so, what types of equipment and what is the total replacement cost? (Page 13-69, Budget Details) (TP)
    - One (1) utility cart has been requested in the FY 2024 budget. The replacement cost is \$35,000.
- 11. Has the cost of janitorial supplies increased in the past 12 months?
  - No, the cost of janitorial supplies has not increased in the past 12 months.
  - a. Is the higher use of park facilities, such as Hana Bay and other parks with restrooms a result of tourism numbers at record levels again?
    - Now that the threat of COVID has decreased, there has been an increase in usage throughout our parks and facilities.
  - b. The amount budgeted for janitorial supplies is the same as FY 2023 at \$72,500. Will this be enough to cover anticipated costs? (Page 13-52, Budget Details) (SS)
    - The amount budgeted is actually \$72,700 in East Maui (915082B) for janitorial supplies. This amount is adequate.

12. What is the projected lifespan of the fairway mower, hybrid greens mower/verticut and club carts?

The average projected lifespan of the club cart is 8-10 years. The average projected lifespan of the fairway mower and hybrid greens mower is 5-7 years. Lifespan will be affected based on frequency of use and environmental conditions in area of use. Once equipment exceeds the projected lifespan, the cost to repair mechanical failures increases and the length of time the equipment is down gets longer.

a. How many of these types of equipment does the Department currently have? Is there a sustainable way of disposing (i.e., salvaging) the older mowers and carts that would save on expenses? (Page 465, Program Budget) (NUH)

The Recreation and Support Services Division currently has 22 club carts.

The Maintenance Division currently has: Beautification Section – 2 Club Carts

Waiehu Golf Course - 2 Fairway Mowers, 3 Hybrid Greens Mowers and 7 Club Carts

Yes. Equipment that is no longer operable or is performing poorly is used for parts or to do maintenance on areas that do not require the precise cutting provided by new equipment.

Should you have any questions, please contact me at Ext. 7230.

Sincerely,

PATRICK S. MCCALL

Director of Parks and Recreation

Attachments

: Shane T. Dudoit, Deputy Director

PSM:lms

# County of Maui Field Inventory

# Central District

<u>Field</u>	Facility	Field Type
Wailuku El Field 1	Wailuku Elementary Park	LL Diamond
Wailuku El Field 2	Wailuku Elementary Park	LL Diamond
Kahului Pony Field 1	Kahului Park	LL Diamond
Kahului Field 2	Kahului Park	Softball Diamond
Kahului Field 3	Kahului Park	Softball Diamond
Luana Gardens MIL Field	Luana Gardens	MIL Diamond
Luana Gardens LL Field	Luana Gardens	LL Diamond
Luana Gardens LL Field 2	Luana Gardens	LL Diamond
Leisure Estates Field 1	Leisure Estates	LL Diamond
Leisure Estates Field 2	Leisure Estates	LL Diamond
Mokuhau Field 1	Mokuhau Park	LL Diamond
Mokuhau Field 2	Mokuhau Park	LL Diamond
Papohaku Field	Papohaku Park	Softball Diamond
Waihee Field	Waihee Park	LL Diamond
Lihikai Field 1	Lihikai Park	LL Diamond
Lihikai Field 2	Lihikai Park	LL Diamond
CMRSC 1 – 4	Central Maui Regional Sports Complex	Softball Diamond
CMRSC 5 – 8	Central Maui Regional Sports Complex	LL Diamond
CMRSC Multi-Purpose Field	Central Maui Regional Sports Complex	Soccer/Football Field
CMRSC Soccer Fields	Central Maui Regional Sports Complex	Soccer Field
Maui Lani Playing Field	Maui Lani Regional Park	Soccer/Football Field

## Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field Soccer and Football Field = Rectangular Field

# County of Maui Field Inventory

# East District

Field	Facility	Field Type
Pukalani Ball Field	Pukalani Park	LL Diamond
Pukalani Soccer Field	Pukalani Park	Soccer Field
Kulamalu Football Field	Kulamalu Park	Football Field
Kula Baseball Field	Kula Ball Field	LL Diamond
Kula Lower Field	Kula Ball Field	LL Diamond/Soccer
Paia Ball Field	Paia Gym & Ball Park	LL Diamond
Makana Park Field	Makana Park	LL Diamond/Soccer
Eddie Tam 1	Eddie Tam Memorial Park	LL Diamond
Eddie Tam 2	Eddie Tam Memorial Park	Softball Diamond
Eddie Tam 3	Eddie Tam Memorial Park	Soccer Field
Eddie Tam 4	Eddie Tam Memorial Park	Soccer Field
Eddie Tam 5	Eddie Tam Memorial Park	MIL Diamond
Eddie Tam 6	Eddie Tam Memorial Park	Softball Diamond
Eddie Tam 7	Eddie Tam Memorial Park	LL Diamond
Haiku Field	Haiku Park	LL Diamond
Haliimaile Field	Haliimaile Park	Softball Diamond
Hana Ball Field	Hana Ball Park	Softball/LL Diamond

### Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field Soccer and Football Field = Rectangular Field

# County of Maui Field Inventory

## Moloka'i District

<u>Field</u>	<u>Facility</u>	Field Type
DMRP Baseball Field	Duke Maliu Regional Park	LL Diamond
DMRP Baseball Field	Duke Maliu Regional Park	MIL Diamond
		Multi-Purpose/Soccer/Flag Football
DMRP Softball Field	Duke Maliu Regional Park	Softball Diamond
Kaunakakai Baseball Field	Kaunakakai Ball Park	LL Diamond
Kaunakakai Softball	Kaunakakai Ball Park	Softball Diamond/Multi-Purpose
Kaunakakai Athletic Field	Kaunakakai Ball Park	Multi-Purpose Soccer/Flag Football
Kilohana Field	Kilohana Community Center	Baseball/Soccer/LL Diamond
Kualapuu Field	Kualapuu Community Center	Baseball/Soccer/Flag Football
One Alii Athletic Field	One Alii Beach Park	Muti-Purpose/Soccer/Flag Football

### Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field

Muti-Purpose/Soccer/Football Field = Rectangular Field

# County of Maui Field Inventory

# South District

<u>Field</u>	<u>Facility</u>	Field Type
SMCP Softball	South Maui Community Park	Softball Diamond
SMCP Soccer Fields	South Maui Community Park	Soccer Field
Kenolio Field	<b>Kenolio Recreational Complex</b>	LL Diamond/Soccer
Kalama LL 1	Kalama Park	LL Diamond
Kalama LL 2	Kalama Park	LL Diamond
Kalama LL 3	Kalama Park	LL Diamond
Kalama Football	Kalama Park	Football Field

# Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field Soccer and Football Field = Rectangular Field

# County of Maui Field Inventory

# Wailuku District

Field	<u>Facility</u>	Field Type
Keopuolani 1	Keopuolani Park	LL Diamond
Keopuolani 2	Keopuolani Park	Softball Diamond
Keopuolani 3	Keopuolani Park	Softball Diamond
Keopuolani 4	Keopuolani Park	Soccer Field
Keopuolani 5	Keopuolani Park	Soccer Field
Keopuolani 8	Keopuolani Park	Football Field
War Memorial 1	War Memorial Complex	LL Diamond
War Memorial 2	War Memorial Complex	LL Diamond
War Memorial 3	War Memorial Complex	LL Diamond
War Memorial 4	War Memorial Complex	LL Diamond
War Memorial 5	War Memorial Complex	LL Diamond
War Memorial FBS	War Memorial Football Stadium	Football Field
Maehara BBS	Ichiro Iron Maehara Baseball Stadium	MIL Diamond
Wells Park Field	Wells Park	LL Diamond

# Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field Soccer and Football Field = Rectangular Field

# County of Maui Field Inventory

# West District

<u>Field</u>	Facility	Field Type
Napili Ball Field	Napili Park	LL Diamond
Lahaina LL Field	Lahaina Recreation Center #1	LL Diamond
Lahaina Softball	Lahaina Recreation Center #1	Softball Diamond
Lahaina Ball Field	Lahaina Recreation Center #2	MIL Diamond
Lahaina Softball	Lahaina Recreation Center #2	Softball Diamond
Ainakea LL Field	Ainakea Park	LL Diamond
Ainakea Softball	Ainakea Park	Softball Diamond
Lanai Softball Field	Lanai Park Complex	Softball Diamond
Lanai LL Field	Lanai Park Complex	LL Diamond

# Notes:

LL = Little League

MIL = Maui Interscholastic League Game Field Soccer and Football Field = Rectangular Field



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## **EXECUTIVE SUMMARY**

SMS Research conducted a study for the Maui County Department of Parks and Recreation to measure County residents' level of use, need, and satisfaction with County parks and recreation facilities and programs.

More than 12,000 randomly selected Maui County households received a 4-page survey in the mail. More than 2,700 residents completed the survey.

Key findings from the analysis of survey data include:

- Nearly 90% of Maui County households report having participated in at least one activity that is or could be offered at a Maui County parks and recreation facility in the last year.
- 70% of County households report having used at least one parks and recreation facility in the in the past year.
- 70% of County households report having participated in at least one parks and recreation program in the past year.
- More than 80% of County households visit County parks and recreation facilities to enjoy nature, enjoy time with family and friends, and to exercise to improve their health.
- County-wide evaluation of parks is high: 54% of households rate them as excellent or good.
- The majority of County residents (81%) give parks and recreation facilities a satisfaction rating of 3 or higher on a 5-point scale.
- The condition of restrooms, the condition of locker rooms, and the safety and security at County parks received the highest number of dissatisfaction ratings.

In addition to these key County-wide findings, analyses of differences between districts indicate use of, participation in, and satisfaction with parks and recreation facilities and programs vary depending on where residents live. In general, residents of Hāna, Moloka'i, and Lāna'i report lower use of but higher satisfaction with facilities.

#### METHOD

#### SAMPLE

For the purpose of sampling, Maui County was divided into seven districts. Maui Island was divided into five districts including East, Central, West, South, and Hāna. Lāna'i and Moloka'i each comprised their own districts. In total, 12,450 randomly selected households were sent surveys in the mail. An initial mailing of 12,450 surveys was sent to households on March 21, 2016. Four weeks later, a second wave of 10,157 surveys was sent to households that had not yet returned a survey and that did not contact SMS to decline participation. Participants were also given the option to complete the survey online by going to a link provided in the cover letter of the survey and by using a unique password to login to the survey.

At the close of the fielding period, a total of 2,617 surveys were returned by mail and an additional 137 surveys were submitted online for a total of 2,754 completions. This rate of return exceeded the expected target by 19 percent. The resulting margin of error for the County was +/- 1.9 percent. Response rates and margins of error by district are presented in Table 1 below.

Total Response Margin of **Total Returned Total Mailed** Households Rate Error County 22,607 2,754 12.2% 52,910 +/- 1.9% 14.2% 13,976 +/- 4.3% East Maui 3,617 513 Central Maui 3,646 451 12.4% 16,462 +/- 4.6% West Maui 3,651 313 8.6% 7,575 +/- 5.4% South Maui 433 12.2% 3,553 10,972 +/- 4.6% 168 12.4% Häna 1,359 523 +/- 6.2% Moloka'i 4,517 619 13.7% 2,260 +/- 3.4% 11.4% Lāna'i 2,264 257 1,142 +/- 5.4%

Table 1: Response Rates and Margins of Error by District

#### SURVEY INSTRUMENT

The survey instrument was developed as a collaborative effort between the Maui County Department of Parks and Recreation and the research staff at SMS. The survey instrument was a 4-page document that asked respondents for information regarding their households' degree of participation in activities, use of parks and recreations facilities, barriers to use, and suggestions for improvement. Households also reported on several demographic variables used to describe typical park users and for purposes of statistical weighting. The final version of the survey instrument is included in Appendix B of this report.

#### STATISTICAL WEIGHTING AND ANALYSIS

Because park districts were disproportionally sampled, the sample data had to be weighted to the households in each district in order to correct for over- or under-representation of data from any district.

Following the weighting of data, analyses were tabulated by district in order to identify variability between the districts in their patterns of use, needs, and preferences as they pertain to Maui County parks and recreation facilities.

#### NOTES REGARDING THIS REPORT

This report contains considerable discussion of between-district differences in responses to survey items. Data analyses demonstrate that residents of Hāna report use, needs, preferences, and satisfaction in a manner that is less similar to the rest of Maui Island and more similar to residents of Moloka'i and Lāna'i. As a result, for the sake of brevity and clarity in the discussion of district comparisons, the term "Maui Island" will refer to data from households in the East, West, Central, or South Maui districts. Data from households on Hāna will be referred to separately as "Hāna," and Moloka'i and Lāna'i will also be referred to by their own names. The terms "Maui County" or "County" will refer to data aggregated across all cases from all districts.

This report provides a discussion of County-wide findings and significant differences between districts with regard to use, participation, satisfaction, and barriers to use of County parks and recreation facilities and programs. Though the text of this report focuses on critical findings, all of the data available from the survey instrument are included in Appendix A of this report.

### **FINDINGS**

#### **ACTIVITY PARTICIPATION**

### **Overall Participation**

Nearly 90 percent of Maui County households report engaging in at least one activity at a County parks and recreation facility in the past year. Fewer households on Moloka'i and Lāna'i reported participating in activities at County facilities than the County on the whole. Residents in West and South Maui districts reported the overall highest level of activity participation in the last 12 months.

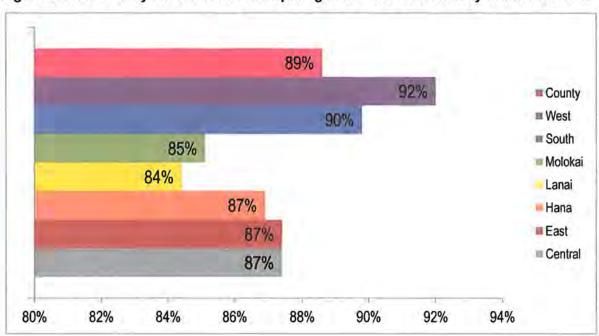


Figure 1: Maui County Households Participating in at Least One Activity in the Past Year

# Specific Activity Participation

Walking was the most commonly reported activity County-wide (69% of households) followed closely by ocean swimming (64% of households). Picnicking (57%), parties and celebrations (56%), and swimming in a pool (48%) rounded out the top five activities reported by County residents.

Across districts, participation in specific activities varied somewhat. Ocean-related activities tended to vary across districts more than activities of other types. About 50 percent of residents from South Maui and West Maui reported having participated in ocean sports in the past year, which is 16 percentage points higher than the average of the other five districts. Fishing/throw net was more commonly reported by residents in Hāna, Lāna'i, and Moloka'i than residents on Maui Island by an average of 11 percentage points. Residents of Hāna, Moloka'i, West Maui, and South Maui reported participating in canoe paddling more than residents of the other three districts by an average of 13 percentage points.

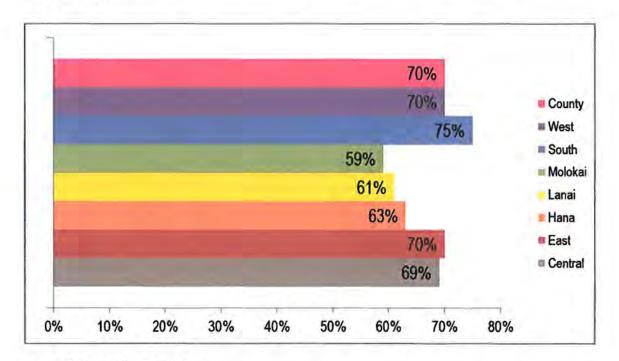
Although they reported less overall activity participation, residents of Hāna and Moloka'i reported notably higher levels of participation in a variety of specific activities than Lāna'i or Maui Island residents. Specifically, Hāna and Moloka'i households more frequently reported participating in men's and women's volleyball, men's softball, and kickball. Hāna residents also reported participating in hula, men's basketball, and skateboarding more frequently than residents in any other district.

#### **USE OF MAUI COUNTY PARKS AND RECREATION FACILITIES**

#### **Overall Facilities Use**

The majority (70%) of Maui County residents report using at least one County Parks and Recreation facility in the past 12 months. Maui Island residents reported greater use of parks and recreation facilities (average of 71% of households across the four Maui Island districts) than residents from Hāna (63%), Moloka'i (59%), or Lāna'i (61%).

Figure 2: Maui County Households Using at Least One Parks and Recreation Facility in the Past Year



#### Use of Specific Facilities

Across Maui County, the most commonly used type of facility were beach parks (53%), followed by walking trails or paths (41%), and park shelters or picnic areas (40%). Use of parks and recreation facilities was generally similar across most districts. Exceptions to this pattern were Hāna and Moloka'i whose residents reported less overall use of parks and recreation facilities than the rest of the County.

In particular, residents of Moloka'i were substantially less likely to report using walking trails or paths, off-leash dog parks, and heritage gardens than residents of other districts. Residents of Hāna were substantially less likely to report using swimming pools, bicycle paths, golf courses, and indoor athletic courts than residents of other districts.

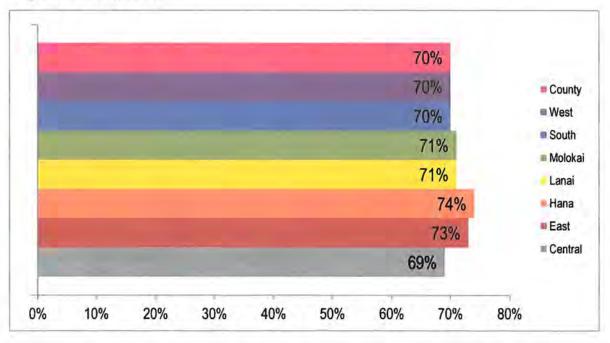
Although Hāna residents reported the least overall use of parks and recreation facilities among the districts, they did report the highest rate of use of skate parks among all districts (16%).

#### PROGRAM PARTICIPATION

### **Overall Program Participation**

Across Maui County, 70 percent of households report having participated in at least one County parks and recreation program in the past year. Counties differed very little from one another in their overall rates of program participation, though slightly more households from Hāna and Lāna'i and slightly fewer households from Central Maui reported participating in County parks and recreation programs.

Figure 3: Maui County Households Participating in at Least One Parks and Recreation Program in the Past Year



# Participation in Specific Programs

Farmers' markets were the most frequently reported parks and recreation program participated in by County households (60%). A little less than half of County residents indicate having participated in various community events (48%), cultural events (46%) in the past year. Although they are in the top five most often participated in programs County-wide, less than one-quarter of County households reported participating in senior citizen programs (23%) or recreation programs (21%).

Consistent with differences in activities participation and facilities use, by-district analyses indicate that residents of Hāna and Moloka'i exhibit different program use patterns than the rest of Maui County. Specifically, Hāna and Moloka'i households are substantially more likely to participate in recreation programs, Play and Learn Sessions (PALS), and community events than are households in other districts.

Additionally, more Hāna residents participate in cultural events, senior citizen programs, community garden programs, and Jr. Lifeguard programs than do residents of other districts.

Also a notable deviation from County-wide patterns is that residents in South Maui district are considerably less likely than residents in any other district to report having participated in an after school care program.

# REASONS FOR PARKS AND RECREATION FACILITIES USE AND PROGRAM PARTICIPATION

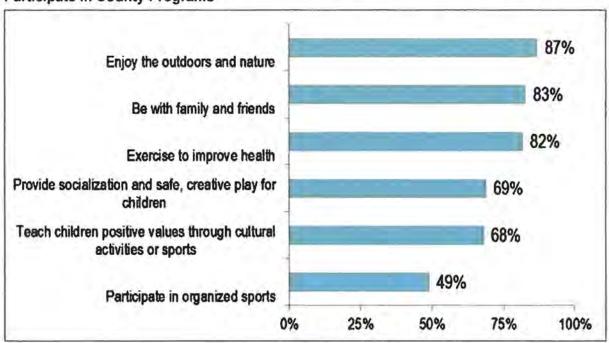
Maui County residents indicate that visiting County parks and recreation facilities and participating in County programs provides several benefits. Nearly 90 percent of all County residents agree that they visit County parks facilities and participate in programs because they provide an opportunity to enjoy the outdoors and nature. Additionally, more than 80 of respondents indicate that parks and recreation programs and facilities allow them the opportunity to enjoy time with family and friends and to have an opportunity to exercise to improve their health.

Nearly 70 percent of respondents also agree that County parks and recreation facilities and programs provide benefits for children including teaching them positive values through participation in cultural activities or sports and providing opportunities for socialization and safe play.

Less than half of County residents agree that they visit County parks and recreation facilities or participate in County programs in order to participate in organized sports.

Reasons for visiting parks and recreation facilities and for participating in programs were highly similar across districts with one exception. Residents from Hāna, Moloka'i, and Lāna'i were more likely to indicate that they participate in County programs and visit parks and recreation facilities to teach children positive values through cultural activities or sports. This is consistent with the higher frequency of residents in these three districts who report participating in cultural programs provided by the County Department of Parks and Recreation.

Figure 4: Reasons Maui County Residents Visit Parks and Recreation Facilities and Participate in County Programs



#### BARRIERS TO ACCESSING PARKS AND PROGRAMS

# **County-Wide Barriers**

A lack of time is the reason cited by the largest number of Maui County households (35%) for not visiting parks and recreation facilities or participating in County programs. A lack of awareness about available facilities and programs and concerns about safety and security were each cited by 31 percent of County-wide respondents. Relatively few residents indicated that inconvenient facility or program hours or location were barriers to accessing parks and recreation facilities and programs.

Lack of time 35% Not aware of parks and programs 31% Safety and security 31% Facilities are not well maintained 28% Do not have things I am interested in 26% 21% Lack of night lighting Times are not convenient for me 19% Sites are too far from my home 19% 0% 5% 10% 15% 20% 25% 30% 35% 40%

Figure 5: Reasons Maui County Residents Do Not Access Visit Parks and Facilities or Participate in Programs

#### **District Barriers**

Residents of Central Maui cited concerns about safety and security of parks and recreation facilities as their most significant barrier to utilizing parks and recreation services. Residents of Hāna, Lāna'i, and Moloka'i were significantly less likely than Maui Island residents to cite safety concerns as a barrier.

Residents of Lāna'i and Moloka'i indicated that they do not use parks and recreation facilities or participate in programs because of a lack of activities that they are interested in doing at County parks facilities. Lāna'i and Moloka'i residents also frequently cited inconvenient hours as a barrier to parks facilities use.

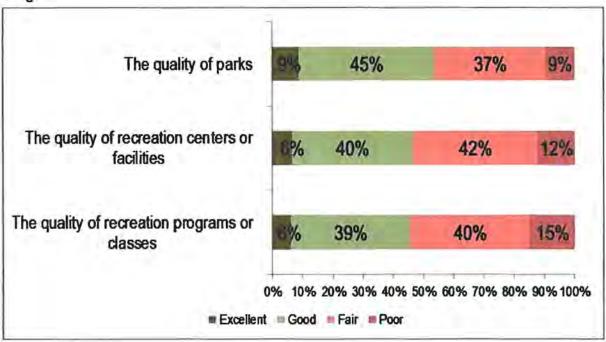
Residents in East Maui and Hāna were most likely to report distance between their homes and parks facilities as an obstacle to using them. Significantly fewer South Maui reported that the distance between their homes and County parks and recreation facilities as a barrier to use.

# RESIDENT EVALUATIONS OF PARKS AND RECREATION FACILITIES AND PROGRAMS

### Overall Rating of Parks and Recreation Facilities

The majority (54%) of County residents rate the quality of parks as excellent or good. Ratings of parks varied somewhat by district: a significantly higher proportion of respondents from Hāna (61%) and South Maui (62%) rating parks as excellent or good. Consistent with their concerns about safety and security of their parks, a lower proportion of Central Maui residents (48%) gave their parks a rating of excellent or good.

Figure 6: County-Wide Evaluation of Parks, Recreation Facilities, and Recreation Programs



Slightly less than half (46%) of County residents gave recreation centers and facilities a rating of excellent or good. Ratings of recreation centers also varied by district. The majority of West Maui (53%) residents rated their recreation facilities as excellent or good. Fifty percent of residents in South Maui and on Moloka'i gave their recreation facilities a favorable rating. Lāna'i residents gave their recreation facilities the lowest ratings with 38 percent of respondents giving them a favorable rating.

#### Satisfaction with Specific Features of Parks and Recreation Facilities

When asked about the extent to which they are satisfied with specific characteristics of Maui County parks and recreation facilities, the majority (81%) gave parks and recreation facilities a rating of 3 or higher on a 5-point scale, and 36 percent gave a rating of 4 or higher. These scores indicate that, in general, County residents are satisfied with parks facilities.

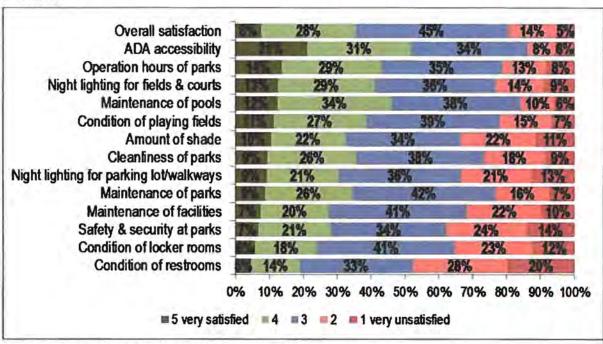
Satisfaction varied across individual facility characteristics. ADA accessibility (52%), hours of park operation (43%), night lighting on fields and courts, (42%), and maintenance of pools (46%) all received satisfaction ratings of 4 or higher by more than 40 percent of County residents.

County-wide, residents reported very low levels of satisfaction with the general condition of restrooms; nearly half (48%) of respondents reported being very or somewhat dissatisfied with their condition. More than one-third of County residents also reported being very or somewhat dissatisfied with the safety and security of facilities (38%) and the condition of locker rooms (35%).

Examining facilities satisfaction ratings by district reveals that residents of Lāna'i, and Moloka'i are more satisfied with various characteristics of their facilities than are residents of Maui Island, including Hana. Residents of Moloka'i and Lāna'i were more likely than Maui Island and Hāna residents to assign a satisfaction score of 4 or higher to the maintenance of pools, parks, and facilities, cleanliness of parks, safety and security of parks, condition of locker rooms, and the condition of restrooms.

Hāna and South Maui residents also reported higher than County-average degrees of satisfaction with night lighting of playing fields and courts and the condition of playing fields.

Figure 7: County-Wide Satisfaction with Specific Characteristics of Parks and Recreation Facilities



<sup>\*</sup>Note: graph excludes responses of "don't know" when computing percentages.

# **Satisfaction with Recreation Programs**

County-wide, residents gave recreation programs ratings similar to those they gave to recreation facilities. Overall, 45 percent of Maui County residents rated recreation programs as excellent or good. About half of residents of East, West, and South Maui gave favorable ratings to their recreation programs. Less than 40 percent of Hāna residents and less than 30 percent of Lāna'i residents rated their recreation programs favorably.

# **APPENDIX**

### APPENDIX A: MAUI PARKS BY DISTRICTS

# Appendix A1: Countywide Maui Parks

# Usage

### **Activity Participation and Needs -- County**

	Particip	ation	Of Th	te	Future Need Mean			
	%	# Households	% Youth	% Adult.	% Senior	3=More, 1=Le		
Walking	68.7%	108,597	26.0%	60.2°°	39.9%	2.5		
Swimming in ocean	63.9%	101,012	39.9%	66.3%	32.0%	2.4		
Picnic	57.2%	90,377				2.6		
Parties/celebrations	56.3%	89,035						
Swimming in pool	48.1%	76,044	46.3%	60.8%	32.4%	2.5		
Diving/snorkeling	44.0%	69,588	33.0%	72.7%	28.6%	23		
Ocean sports	41.1%	65,048	37.7%	67.3%	28.5%	2.2		
Jogging	37.5%	59,337	26.4%	72.0%	22.9%	2.5		
Camping	33.4%	52,745		12.51	00000	2.6		
Bicycling	29.7%	47,030	33.4%	70.3%	25.0%	2.6		
Surfing	29.1%	46,006	40.0%	68.8%	16.9%	2.3		
Fishing/throw net	25.1%	39,649	37.6%	73.9%	27.3%	2.3		
Canoe paddling	21.2%	33,501	35.9%	62.2%	22.7%	2.3		
Yoga	21.1%	33,337	14.0%	62.0%	29.7%	2.4		
Tennis	19.8%	31,354	37.2%	61.2%	25.8%	2.4		
Weight lifting/training	19.6%	30,954	22.7%	61.6%	18.6%	2.4		
Hula	16.7%	26,392	49.1%	44.0%	28.4%	2.4		
Baseball	15.5%	24,546	75.4%	41.0%	11.2%	2.0		
Basketball - men	13.6%	21,522	53.5%	67.4%	10.0%	2.3		
Water aerobics	13.3%	21,027	11.7%	43.1%	46.2%	2.4		
Skateboarding	13.0%	20,594	63.9%	36.3%	4.8%	22		
Zumba	12.7%	20,144	14.1%	61.1%	31.6%	2.3		
Frisbee	12.6%	19,911	45.6%	63.3%	17.9%	1.9		
Martial arts	9.4%	14,879	56.5%	46.1%	15.2%	2.3		
Track and field	9.2%	14,577	65.5%	41.9%	11.9%	2.3		
Volleyball - women	9.2%	14,498	48.8%	59.8%	15.0%	2.3		
Soccer - men	8.7%	13,790	64.3%	42.8%	6.3%	2.2		
Softball - men	8.7%	13,725	30.8%	69.5%	29.4%	2.2		
Flag football	8.0%	12,643	54.8%	46.1%	6.9%	2.2		
Inline skating	7.8%	12,381	62.2%	60.6%	13.3%	2.0		
Disc golf	7.7%	12,201	25.8%	73.2%	24.2%	2.2		
Soccer - women	7.6%	12,077	70.6%	36.4%	5.9%	2.2		
Kickball	7.6%	11,982	56.5%	51.0%	6.2%	1.9		
Volleyball - men	7.4%	11,623	52.1%	65.1%	15 9%	2.3		
Softball - women	6.8%	10,819	48.2%	61.3%	12 8%	2.2		
Basketball - women	6.5%	10,321	62.3%	47.8%	8 7%	23		
Wrestling	5.0%	7,897	71.1%	27.7%	3.4%	2.2		
	2.5%	3,921	39.9%	61.5%	14.9%	1.8		
Rugby	2.5%	3,888	67.1%	34.5%	13.7%	1.7		
Cricket	7%	1,121	12.5%	38.7%	24.0%	2.0		
TOTAL	88.6%	140,113	44.4%	70.0%	45.8%	2.0		

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

a Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c Is the number of activities currently provided adequate or do we need more or less of these activities?

# Facilities Usage -- County

	Use		Monthly L	Isage	Need More Mean	% Likely to Use in Future
	%	# HH	Mean	Median	3=Need More, 1=Need Less	%
Beach park	52.5%	83,019	7.6	4.0	2.4	86.1%
Walking trail/ path	41.1%	64,997	7.0	4.0	2.6	83.9%
Park shelter and picnic area	39.8%	62,965	3.7	2.0	2.6	82.8%
Swimming pool	29.3%	46,381	4.2	1.0	2.4	67.3%
Small neighborhood park	28.3%	44,736	4.1	2.0	2.6	74.5%
Bicycle path	25.4%	40,184	4.2	1.0	2.6	61.7%
Social hall / Community center	25.0%	39,570	1.6	1.0	2.4	68.1%
Large regional park	24.6%	38,855	2.9	1.0	2.5	69.0%
Playground	23.5%	37,199	3.3	1.0	2.5	51.4%
Ballfield for organized sports	16.4%	25,999	3.2	0.0	2.3	43.1%
Golf course	15.3%	24,266	1.5	0.0	2.0	40.1%
Tennis court	14.1%	22,290	2.0	0.0	2.3	41.6%
Off-leash dog park	12.6%	19,845	2.6	0.0	2.4	42.1%
Outdoor fitness equipment	12.0%	18,898	1.6	0.0	2.3	45.5%
Heritage garden	9.6%	15,152	0.8	0.0	2.3	48.3%
Skate park	9.3%	14,753	1.3	0.0	2.2	29.1%
Weightroom	8.4%	13,255	1.8	0.0	2.3	38.0%
Indoor athletic court	8.1%	12,831	1.2	0.0	2.4	40.8%
Firing range	7.1%	11,182	0.7	0.0	2.2	37.3%
Sand volleyball court	6.7%	10,523	0.7	0.0	2.3	31.4%
Archery					11 000	28.4%
BMX track					0.	19.5%
Bowling alley			-			57.3%
Climbing wall						35.9%
Horseshoe pit			100			34.2%
Nature trail		-	10		1	74.2%
Outdoor basketball court			30			38.7%
Pickleball court						13.8%
Racquetball court					9	23.1%
Ropes course / Challenge course					3	34.4%
Soccer golf course			111			22.0%
Water park / splash pad						49.2%
TOTAL	69.8%	110,340				

#### Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities? Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

#### **Program Participation -- County**

	Participa	ted	Need More Mean	
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate in Future
Farmers' markets	59.5%	78,981	2.6	48.8%
Community events	48.4%	62,968	2.4	53.0%
Cultural events	45.6%	59,217	2.5	53.8%
Senior citizen programs	23.4%	30,597	2.5	43.3%
Recreation programs	20.8%	26,167	2.5	44.6%
After school programs	19.6%	25,964	2.6	27.5%
Aquatics program/swimming lessons	19.4%	25,177	2.5	47.6%
Community gardens	16.2%	20,551	2.6	49.4%
Dance instruction	14.1%	17,890	2.4	42.3%
Play & Learn Sessions (PALS)	11.7%	14,704	2.4	25.6%
Art classes	11.2%	14,220	2.4	53.7%
Musical instrument instruction	10.2%	12,950	2.5	44.9%
Urban forest programs	8.4%	10,543	2.5	43.4%
Jr. Lifeguard program	6.5%	8,127	2.4	23.8%
TOTAL	70.4%	111,383		

- The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

# Reasons for Participation and Park Usage -- County

	0					
	Strongly Agree	Neither	Strongly Disagree	Mean	Median	
	3	2	1		2	
Enjoy the outdoors and nature	86.9%	12.3%	.8%	2.9	3.0	
Be with family and friends	82.8%	16.3%	.9%	2.8	3.0	
Exercise to improve health	81.9%	17.0%	1.0%	2.8	3.0	
Provide socialization and safe, creative play for children	69.0%	26.6%	4.4%	2.6	3.0	
Teach children positive values through cultural activities or sports	68.0%	27.7%	4.3%	2.6	3.0	
Participate in organized sports	49.0%	42.0%	9.0%	2.4	2.0	
Question:						
1. How strongly do you agree with each of the following statemen	its?					

# Reasons for Non-Participation -- County

Obstacles to Park Usage	% Mentions
Lack of time	35.1%
Not aware of parks and programs	30.8%
Safety and security	30.7%
Facilities are not well maintained	27.8%
Do not have things I am interested in	25.7%
Lack of night lighting	20.7%
Times are not convenient for me	19.3%
Sites are too far from my home	19.1%
Health problems	14.6%
Frequent other clubs/facilities	13.1%
Too expensive	7.7%
Lack of ADA accessibility	4.3%
Other reasons:	7.3%

What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

# Overall Satisfaction -- County

	% Distribution							[Exclude DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	8.1%	43.1%	35.1%	9.0%	4.7%	2.6	2.0	2.5	2.0
The quality of recreation centers or facilities	5.5%	35.2%	36.6%	10.6%	12.2%	2.9	3.0	2,6	3.0
The quality of recreation programs or classes	4.2%	28.4%	28.8%	10.6%	28.0%	3.3	3.0	2.6	3.0

Question:

Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

#### Satisfaction with Specific Features -- County

			% Distribu	noti					[Exch	ide DKJ
	Very Satisfied				Very Dissatisfied					
	5	4	3	2	4	DK	Mean	Median	Mean	Median
ADA accessibility	12.3%	17.8%	19.8%	4.8%	3.3%	42.0%	4.6	5.0	3.5	4.0
Operation hours of parks	11.2%	24.2%	29.1%	10.8%	6.8%	17.8%	3.8	4.0	3.3	3.0
Amount of shade	9.2%	19.3%	30.0%	19.6%	10.1%	11.8%	3.3	3.0	3.0	3.0
Cleanliness of parks	8.6%	24.1%	34.4%	16.3%	8.1%	8.5%	3.3	3.0	3.1	3.0
Night lighting for fields & courts	8.4%	19.3%	24.0%	9.7%	6.0%	32.7%	4.1	4.0	3.2	3.0
Maintenance of pools	8.4%	23.3%	26.0%	7.1%	4.0%	31.3%	4.2	4.0	3.4	3.0
Condition of playing fields	8.3%	20.3%	28.9%	11.4%	4.9%	26.3%	3.9	4.0	3.2	3.0
Maintenance of parks	7.7%	22.8%	37.6%	14.0%	6.6%	11.2%	3.4	3.0	3.1	3.0
Night lighting for parking lot/walkways	6.6%	15.4%	25.9%	15.1%	9.2%	27.8%	3.8	3.0	2.9	3.0
Maintenance of facilities	6.5%	17.8%	35.8%	19.3%	8.6%	11.9%	3.3	3.0	2,9	3.0
Safety & security at parks	5.5%	17.5%	27.9%	19.5%	11.5%	18.1%	3.4	3.0	2.8	3.0
Condition of restrooms	4.1%	13.0%	29.8%	25.3%	17.7%	10.2%	2.9	3.0	2.6	3.0
Condition of locker rooms	2.8%	9.1%	20.0%	11.5%	6.0%	50.6%	4.4	6.0	2.8	3.0
Overall satisfaction	7.0%	25.4%	41.0%	12.9%	4.8%	8.9%	3.4	3.0	3.2	3.0

Question:

1. How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Appendix A2: Central Maui

# Usage

# Activity Participation and Needs -- Central

	Partici	pation	Of Th	Of Those that Participate			
	%	# Households	% Youth	% Adult	% Senior	Mean 3=More, 1=Les	
Walking	68.5%	39,325	29.8%	62.8%	37.5%	2.5	
Parties/celebrations	60.1%	34,489	- 100				
Swimming in ocean	57.4%	32,962	48.6%	69.5%	30.1%	2.4	
Picnic	56.5%	32,453				2.6	
Swimming in pool	49.0%	28,126	56.1%	62.9%	28.1%	2.5	
Jogging	38.6%	22,144	29.9%	70.1%	23.0%	2.5	
Diving/snorkeling	35.7%	20,490	39.8%	74.5%	31.7%	2.3	
Ocean sports	33.3%	19,090	46.0%	68.0%	27.3%	2.2	
Camping	29.7%	17,054	10.070	00.070	21.070	2.5	
ishing/throw net	29.3%	16,799	37.1%	76.5%	31.1%	2.3	
Surfing	22.4%	12,854	42.6%	67.3%	7.9%	2.3	
Bicycling	22.2%	12,727	40.0%	72.0%	18.0%	2.5	
Weight lifting/training	19.5%	11,199	19.3%	64.8%	6.8%	2.4	
Hula	19.3%	11,072	55.2%	37.9%	26.4%	2.4	
Tennis	18.0%	10,309	40.7%	55.6%	22.2%	23	
Baseball	17.1%	9,799	79.2%	36.4%	2.5%	2.0	
Zumba	16.0%	9,163	13.9%	61.1%	31.9%	23	
Basketball - men	15.5%	8,909	55.7%	71.4%	8.6%	23	
/oga	15.3%	8,781	10.1%	62.3%	23.2%	24	
Canoe paddling	14.6%	8,400	50.0%	68.2%	13.6%	2.3	
Water aerobics	14.0%	8,018	9.5%	42.9%	42.9%	2.5	
risbee	11.5%	6,618	51.9%	55.8%	13.5%	1.9	
lag football	11.1%	6,363	48.0%	52.0%	6.0%	2.2	
Skateboarding	10.6%	6,109	72.9%	37.5%	4.2%	2.2	
Frack and field	10.4%	5,982	66.0%	48.9%	10.6%	2.3	
Softball - men	10.0%	5,727	28.9%	75.6%	31.1%	2.2	
Cickball	9.8%	5,600	65.9%	50.0%	6.8%	1.9	
/olleyball - women	9.8%	5,600	47.7%	54.5%	13.6%	2.4	
Martial arts	9.5%	5,472	55.8%	41.9%	11.6%	23	
Soccer - women	9.3%	5,345	83.3%	33.3%	2.4%	2.2	
Soccer - men	9.1%	5,218	68.3%	43.9%	0.0%	2.2	
Softball - women	8.2%	4,709	51.4%	56.8%	8.1%	2.3	
Disc golf	6.9%	3,945	25.8%	71.0%	19.4%	2.2	
nline skating	6.9%	3,945	64.5%	58.1%	6.5%	1.9	
Basketball - women	6.2%	3,563	60.7%	50.0%	7.1%	2.3	
/olleyball - men	6.2%	3,563	64.3%	67.9%	10.7%	2.3	
Vrestling	4.0%	2,291	77.8%	27.8%	0.0%	2.1	
Rugby	3.1%	1,782	35.7%	64.3%	14.3%	1.8	
utsal	2.2%	1,273	80.0%	40.0%	20.0%	1.8	
Cricket	.2%	127	0.0%	0.0%	0.0%	2.0	
TOTAL	87.4%	50,143	49.7%	73.1%	43.1%		

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c. Is the number of activities currently provided adequate or do we need more or less of these activities?

# Facilities Usage -- Central

	Use		Monthly U	Isage	Need More Mean	% Likely to Use in Future
	%	#HH	Mean	Median	3=Need More, 1=Need Less	%
Beach park	49.2%	28,253	5.9	3.0	2.4	84.4%
Walking trail/ path	40.8%	23,417	6.1	3.0	2.6	83.2%
Park shelter and picnic area	39.5%	22,653	3.1	2.0	2.6	84.4%
Swimming pool	30.8%	17,690	3.9	1.5	2.5	71.9%
Social hall / Community center	28.4%	16,290	1.6	1.0	2.4	73.9%
Small neighborhood park	27.7%	15,908	3.9	1.0	2.5	76.8%
Playground	27.1%	15,526	3.2	1.0	2.5	54.3%
Large regional park	23.9%	13,745	2.6	1.0	2.5	67.6%
Bicycle path	20.8%	11,963	2.7	0.0	2.5	56.0%
Ballfield for organized sports	19.3%	11,072	4.4	0.0	2.3	44.7%
Golf course	16.4%	9,418	1.4	0.0	2.0	43.9%
Outdoor fitness equipment	13.5%	7,763	1.7	0.0	2.3	46.2%
Off-leash dog park	13.3%	7,636	1.9	0.0	2.4	40.4%
Tennis court	12.9%	7,381	1.7	0.0	2.3	41.6%
Heritage garden	12.0%	6,872	0.6	0.0	2.2	48.0%
Weightroom	10.4%	5982	2.1	0.0	2.3	40.6%
Indoor athletic court	9.1%	5,218	1.4	0.0	2.4	46.6%
Firing range	7.1%	4,073	0.6	0.0	2.2	39.4%
Skate park	7.1%	4,073	0.7	0.0	2.2	25.2%
Sand volleyball court	5.3%	3,054	0.5	0.0	2.3	29.6%
Archery		690	1000		-	25.9%
BMX track			3.0			17.6%
Bowling alley		- 10	100			62.9%
Climbing wall			100			37.2%
Horseshoe pit		9.				32.3%
Nature trail		70	187			69.2%
Outdoor basketball court		3)				40.4%
Pickleball court			3.0			15.7%
Racquetball court			3.9			26.0%
Ropes course / Challenge course			10		V	35.6%
Soccer golf course					0 3	25 5%
Water park / splash pad		and the				52 1%
TOTAL	69.2%	39,707		- 1		1500

Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

### **Program Participation -- Central**

	Participa	ted	Need More Mean	
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate in Future
Farmers' markets	55.2%	27,235	2.5	41.0%
Community events	48.6%	23,671	2.4	52.2%
Cultural events	45.7%	22,526	2.5	51.3%
Senior citizen programs	25.5%	12,599	2.5	42.7%
Recreation programs	24.9%	11,963	2.5	43.9%
After school programs	22.6%	11,454	2.6	31.6%
Aquatics program/swimming lessons	19.1%	9,418	2.5	51.5%
Community gardens	15.6%	7,509	2.5	46.2%
Dance instruction	13.7%	6,618	2.4	43.3%
Play & Learn Sessions (PALS)	13.6%	6,491	2.4	27.7%
Musical instrument instruction	10.8%	5,218	2.5	46.7%
Art classes	8.8%	4,200	2.4	52.6%
Urban forest programs	8.3%	3,945	2.4	38.4%
Jr. Lifeguard program	4.8%	2,291	2.4	25.0%
TOTAL	69.2%	39,707		

1. The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:

a. Did you or other members of your household participate in these programs in the past year?

b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?

c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

# Reasons for Participation and Park Usage -- Central

		% Distribution			Median	
	Strongly Agree	Neither	Strongly Disagree	Mean		
	3	2	1			
Enjoy the outdoors and nature	82.6%	16.2%	1.2%	2.8	3.0	
Exercise to improve health	80.6%	18.5%	.9%	2.8	3.0	
Be with family and friends	79.4%	19.4%	1.2%	2.8	3.0	
Provide socialization and safe, creative play for children	71.2%	25.2%	3.6%	2.7	3.0	
Teach children positive values through cultural activities or sports	68.4%	28.3%	3.4%	2.6	3.0	
Participate in organized sports	49.9%	43.4%	6.7%	2.4	2.0	

<sup>1.</sup> How strongly do you agree with each of the following statements?

# Reasons for Non-Participation -- Central

Obstacles to Park Usage	% Mentions
Safety and security	39.7%
Lack of time	37.0%
Not aware of parks and programs	33.0%
Facilities are not well maintained	32.2%
Do not have things I am interested in	28.4%
Lack of night lighting	25.9%
Times are not convenient for me	22.2%
Frequent other clubs/facilities	16.4%
Health problems	16.0%
Sites are too far from my home	15.1%
Too expensive	9.1%
Lack of ADA accessibility	4.4%
Other reasons:	6.7%

What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

#### Overall Satisfaction -- Central

	% Distribution							[Exclude DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of recreation centers or facilities	6.3%	30.9%	41.2%	10.5%	11.2%	2.9	3.0	2.6	3.0
The quality of parks	5.9%	39.5%	39.7%	8.7%	6.2%	2.7	3.0	2.5	3.0
The quality of recreation programs or classes	3.5%	27.6%	32.3%	11.5%	25.1%	3.3	3.0	2.7	3.0

<sup>1.</sup> Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

#### Satisfaction with Specific Features -- Central

			% Distribu	ition			Mean	Median	[Exclud	e DK]
	Very Satisfied		3	2	Very Dissatisfied	DK			Mean	Median
ADA accessibility	9.8%	19.1%	25.4%	3.7%	3.7%	38.4%	4.4	4.0	3.4	3.0
Operation hours of parks	9.1%	23.6%	31.7%	12.2%	6.0%	17.4%	3.7	4.0	3.2	3.0
Amount of shade	7.5%	16.9%	28.0%	21.7%	an 1,100 dec. 450	14.3%	3.3	3.0	2.8	3.0
Condition of playing fields	7.3%	18.4%	31.0%	12.8%		24.5%	3.8	4.0	3.1	3.0
Cleanliness of parks	6.2%	21.3%	35.4%	19.1%	27.71	10.3%	3.3	3.0	3.0	3.0
Night lighting for fields & courts	6.1%	19.4%	23.5%	12.4%	ACC236	31.1%	4.0	4.0	3.1	3.0
Maintenance of parks	5.3%	19.6%	38.0%	16.7%		13.6%	3.4	3.0	3.0	3.0
Night lighting for parking lot/walkways	5.3%	14.5%	25.7%	17.7%	10.7%	26.2%	3.6	3.0	2.8	3.0
Maintenance of pools	5.3%	22.9%	29.2%	8.0%	5.6%	29.0%	4.0	4.0	3.2	3.0
Maintenance of facilities	5.3%	15.9%	35.3%	21.6%	8.4%	13.5%	3.3	3.0	2.9	3.0
Safety & security at parks	2.7%	16.7%	25.1%	23.2%	14.5%	17.9%	3.2	3.0	2.6	3.0
Condition of restrooms	2.3%	12.7%	29.6%	26.1%	16.7%	12.7%	3.0	3.0	2.5	3.0
Condition of locker rooms	1.5%	9.4%	19.8%	11.4%	5.9%	52.0%	4.5	6.0	2.8	3.0
Overall satisfaction	4.6%	22.9%	41.1%	13.8%	6.8%	10.9%	3.4	3.0	3.1	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Verbatim Q7

# Central Maui - Open-ended Responses

% within Actual District	Actual District
% Within Actual District	Central Maui
Park hours do not fit schedule	12.5%
Parks do not offer desired facilities or programs	12.5%
Crime/violence in parks	8.3%
Homeless people in parks	8.3%
Physically disabled/unable to get to parks	8.3%
Lack of parking	4.2%
Other comment about a specific park	4.2%
Comments about Hāna or Moloka'i specifically	4.2%
	100.0%

<sup>7.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Verbatim Q8

# Central Maui - Open-ended Responses

By widthin Annual Pitchina	Actual District		
% within Actual District	Central Maui		
Maintain/clean restrooms and other park facilities	24.7%		
Create more programs/facilities for family activities	17.6%		
Add bike/walking/jogging paths	11.8%		
Provided better security in parks	8.2%		
Enforce no-camping laws in parks	4.7%		
Comments about improving a specific park	4.7%		
Provide better/more parking	2.4%		
Provide more/better camping sites	2.4%		
Decrease costs associated with park use/permits/etc.	1.2%		
Comments about Hāna or Moloka'i	1.2%		
	100.0%		

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A3: East Maui

# Usage

#### Activity Participation and Needs -- East

	Participation		Of Th	Future Need Mean		
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Walking	68.5%	39,325	29.8%	62.8%	37.5%	2.5
Parties/celebrations	60.1%	34,489				T - 1-17 - 5
Swimming in ocean	57.4%	32,962	48.6%	69.5%	30.1%	2.4
Picnic	56.5%	32,453				2.6
Swimming in pool	49.0%	28,126	56.1%	62.9%	28.1%	2.5
Jogging	38.6%	22,144	29.9%	70.1%	23.0%	2.5
Diving/snorkeling	35.7%	20,490	39.8%	74.5%	31.7%	2.3
Ocean sports	33.3%	19,090	46.0%	68.0%	27.3%	2.2
Camping	29.7%	17,054		20000	2,777	2.5
Fishing/throw net	29.3%	16,799	37.1%	76.5%	31.1%	2.3
Surfing	22.4%	12,854	42.6%	67.3%	7.9%	2.3
Bicycling	22.2%	12,727	40.0%	72.0%	18.0%	2.5
Weight lifting/training	19.5%	11,199	19.3%	64.8%	6.8%	2.4
Hula	19.3%	11,072	55.2%	37.9%	26.4%	24
Tennis	18.0%	10,309	40.7%	55.6%	22.2%	2.3
Baseball	17.1%	9,799	79.2%	36.4%	2.5%	2.0
Zumba	16.0%	9,163	13.9%	61.1%	31.9%	2.3
Basketball - men	15.5%	8,909	55.7%	71.4%	8.6%	2.3
Yoga	15.3%	8,781	10.1%	62.3%	23.2%	2.4
Canoe paddling	14.6%	8,400	50.0%	68.2%	13.6%	23
Water aerobics	14.0%	8,018	9.5%	42.9%	42.9%	2.5
Frisbee	11.5%	6,618	51.9%	55.8%	13.5%	1.9
Flag football	11.1%	6,363	48.0%	52.0%	6.0%	2.2
Skateboarding	10.6%	6,109	72.9%	37.5%	4.2%	2.2
Track and field	10.4%	5,982	66.0%	48.9%	10.6%	2.3
Softball - men	10.0%	5,727	28.9%	75.6%	31.1%	2.2
Kickball	9.8%	5,600	65.9%	50.0%	6.8%	1.9
Volleyball - women	9.8%	5,600	47.7%	54.5%	13.6%	2.4
Martial arts	9.5%	5,472	55.8%	41.9%	11.6%	2.3
Soccer - women	9.3%	5,345	83.3%	33.3%	2.4%	2.2
Soccer - men	9.1%	5,218	68.3%	43.9%	0.0%	2.2
Softball - women	8.2%	4,709	51.4%	56.8%	8.1%	2.3
Disc golf	6.9%	3,945	25.8%	71.0%	19.4%	2.2
Inline skating	6.9%	3,945	64.5%	58.1%	6.5%	1.9
Basketball - women	6.2%	3,563	60.7%	50.0%	7.1%	23
Volleyball - men	6.2%	3,563	64.3%	67.9%	10.7%	2.3
Wrestling	4.0%	2,291	77.8%	27.8%	0.0%	2.1
Rugby	3.1%	1,782	35.7%	64.3%	14.3%	1.8
Futsal	2.2%	1,273	80.0%	40.0%	20.0%	1.8
Cricket	.2%	127	0.0%	0.0%	0.0%	2.0
TOTAL	87.4%	50,143	49.7%	73.1%	43.1%	2.0

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year

c. Is the number of activities currently provided adequate or do we need more or less of these activities?

# Facilities Usage -- East

	Use		Monthly L	Isage	Need More Mean	
	%	# HH	Mean	Median	3=Need More, 1=Need Less	% Likely to Use in Future
Beach park	53.8%	20,969	7.9	4.0	2.4	86.2%
Walking trail/ path	42.3%	16,487	6.3	4.0	2.7	83.8%
Park shelter and picnic area	37.8%	14,739	3.9	2.0	2.6	80.7%
Small neighborhood park	29.6%	11,548	3.9	2.0	2.6	73.1%
Swimming pool	27.5%	10,712	3.7	1.0	2.4	65.0%
Social hall / Community center	27.1%	10,560	1.6	1.0	2.3	67.3%
Bicycle path	25.7%	10,029	4.1	1.0	2.7	59.9%
Large regional park	25.1%	9,801	3.0	1.0	2.5	69.6%
Playground	20.3%	7,901	3.1	0.0	2.6	50.9%
Tennis court	14.6%	5,698	2.2	0.0	2.3	39.2%
Ballfield for organized sports	13.3%	5,166	2.1	0.0	2.3	39.8%
Off leash dog park	13.3%	5,166	3.0	0.0	2.4	44.4%
Golf course	12.5%	4,862	1.3	0.0	1.9	34.8%
Skate park	10.3%	4,027	1.8	0.0	2.3	31.2%
Outdoor fitness equipment	9.6%	3,723	1.2	0.0	2.3	42.7%
Heritage garden	8.4%	3,267	0.6	0.0	2.3	51.2%
Firing range	8.2%	3,191	0.8	0.0	2.2	33.6%
Sand volleyball court	7.2%	2,811	0.6	0.0	2.3	31.9%
Indoor athletic court	7.0%	2,735	0.7	0.0	2.3	36.9%
Weightroom	6.8%	2,659	1.1	0.0	2.2	33.5%
Archery						30.4%
BMX track						20.6%
Bowling alley		- 1			7	54.3%
Climbing wall		- 1			0 00	32.6%
Horseshoe pit	3 9	265			N N	32.1%
Nature trail			- 1			76.8%
Outdoor basketball court		- 3				37.1%
Pickleball court						10.0%
Racquetball court		810	1			20.6%
Ropes course / Challenge course	13.		1		( )	30.8%
Soccer golf course						19.3%
Water park / splash pad					A	44.2%
TOTAL	69.6%	27,123				

Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

### **Program Participation -- East**

_	Participa	ted	Need More Mean	% Likely to Participate in Future	
	%	# HH	3=Need More, 1=Need Less		
Farmers' markets	67.6%	21,729	2.5	61.2%	
Community events	47.4%	14,587	2.4	58.5%	
Cultural events	43.8%	13,372	2.5	62.9%	
Senior citizen programs	21.3%	6,610	2.5	50.0%	
After school programs	18.4%	5,774	2.6	24.5%	
Aquatics program/swimming lessons	17.4%	5,394	2.5	48.6%	
Community gardens	16.8%	5,090	2.6	49.1%	
Dance instruction	15.9%	4,710	2.4	47.1%	
Recreation programs	14.7%	4,331	2.5	44.1%	
Art classes	12.0%	3,647	2.5	56.2%	
Play & Learn Sessions (PALS)	10.6%	3,191	2.4	24.1%	
Musical instrument instruction	9.1%	2,735	2.4	47.2%	
Urban forest programs	8.4%	2,507	2.5	47.9%	
Jr. Lifeguard program	7.4%	2,203	2.4	23.6%	
TOTAL	72.9%	28,415			

<sup>1.</sup> The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:

a. Did you or other members of your household participate in these programs in the past year?

b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?

c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

# Reasons for Participation and Park Usage -- East

	9					
	Strongly Agree	Neither	Strongly Disagree	Mean	Median	
	3	2	1			
Enjoy the outdoors and nature	88.2%	11.6%	.2%	2.9	3.0	
Be with family and friends	84.3%	15.0%	.6%	2.8	3.0	
Exercise to improve health	82.4%	17.0%	.6%	2.8	3.0	
Provide socialization and safe, creative play for children	68.3%	27.9%	3.9%	2.6	3.0	
Teach children positive values through cultural activities or sports	68.0%	27.4%	4.5%	2.6	3.0	
Participate in organized sports	49.7%	39.5%	10.8%	2.4	2.0	

<sup>1.</sup> How strongly do you agree with each of the following statements?

# Reasons for Non-Participation-East

Obstacles to Park Usage	% Mentions
Lack of time	33.3%
Sites are too far from my home	29.0%
Not aware of parks and programs	27.7%
Facilities are not well maintained	26.1%
Safety and security	26.1%
Do not have things I am interested in	24.2%
Times are not convenient for me	16.8%
Lack of night lighting	16.4%
Health problems	13.5%
Frequent other clubs/facilities	13.3%
Too expensive	8.4%
Lack of ADA accessibility	2.9%
Other reasons:	6.6%

<sup>1.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

## Overall Satisfaction -- East

		% Distribution						[Exclude DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	8.2%	44.5%	33.8%	9.7%	3.7%	2.6	2.0	2.5	2.0
The quality of recreation programs or classes	4.7%	28.8%	25.8%	10.4%	30.4%	3.3	3.0	2.6	3,0
The quality of recreation centers or facilities	4.0%	37.2%	33.0%	13.2%	12.6%	2.9	3.0	2.6	3.0

<sup>1.</sup> Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

### Satisfaction with Specific Features -- East

			% Distribu	ition					[Exclude DK]	
	Very Satisfied				Very Dissatisfied					
	5	4	3	2	1	DK	Mean	Median	Mean	Median
ADA accessibility	12.8%	14.9%	17.8%	5.0%	2.5%	47.1%	4.7	5.0	3.6	4.0
Operation hours of parks	11.5%	22.6%	29.1%	10.7%	7.0%	19.1%	3.8	4.0	3.3	3.0
Amount of shade	10.7%	20.5%	31.3%	19.0%	9.4%	9.2%	3.3	3.0	3.0	3.0
Maintenance of pools	9.8%	21.3%	26.5%	5.9%	2.8%	33.7%	4.3	4.0	3.4	3.0
Cleanliness of parks	9.8%	25.9%	33.1%	15.1%	9.1%	7.0%	3.3	3.0	3.1	3.0
Maintenance of parks	9.4%	23.6%	37.9%	11.3%	7.5%	10.3%	3.5	3.0	3.2	3.0
Condition of playing fields	8.9%	21.4%	30.6%	10.7%	3.1%	25.2%	4.0	4.0	3.3	3.0
Night lighting for fields & courts	8.5%	15.0%	25.3%	8.9%	5.2%	37.0%	4.2	4.0	3.2	3.0
Maintenance of facilities	7.5%	17.9%	34.9%	19.2%	9.9%	10.6%	3.3	3.0	2.9	3.0
Safety & security at parks	6.5%	15.9%	31.3%	18.9%	9.3%	18.0%	3.5	3.0	2.9	3.0
Night lighting for parking lot/walkways	6.1%	13.2%	24.6%	15.4%	8.3%	32.5%	3.9	4.0	2.9	3.0
Condition of restrooms	5.9%	13.0%	28.9%	23.4%	21.4%	7.4%	2.8	3.0	2.6	3.0
Condition of locker rooms	3.4%	8.3%	21.6%	11.5%	6.1%	49.2%	4.4	5.0	2.8	3.0
Overall satisfaction	8.2%	26.1%	41.6%	12.7%	4.3%	7.1%	3.4	3.0	3.2	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# East Maui - Open-ended Responses

% within Actual District	
Homeless people in parks	16.2%
Other comment about a specific park	16.2%
Parks do not offer desired facilities or programs	10.8%
Lack of parking	5.4%
Playground or other equipment is unsafe	5.4%
Crime/violence in parks	2.7%
Park hours do not fit schedule	2.7%
Total	100.0%

Question:
7. What prevents you or other members of your household <u>most often</u> from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# East Maui - Open-ended Responses

% within Actual District	Actual District
76 Within Actual District	East Maui
Maintain/clean restrooms and other park facilities	22.8%
Create more programs/facilities for family activities	17.8%
Add bike/walking/jogging paths	10.9%
Provided better security in parks	7.9%
Comments about improving a specific park	6.9%
Enforce no-camping laws in parks	5.9%
Ensure beaches are accessible despite condo/hotel growth	2.0%
Provide more/better camping sites	2.0%
Improve/expedite process for obtaining permits	1.0%
Provide better/more parking	1.0%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A4: Hāna

# Usage

### Activity Participation and Needs -- Hāna

	Participation		Of Th	Future Need Mean		
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Swimming in ocean	69.0%	1,154	45.7%	67.2%	42.2%	2.5
Picnic	63.7%	1,065	1	THE RESERVE OF THE PERSON NAMED IN	-	2.7
Walking	63.7%	1,065	32.7%	60.7%	39.3%	2.6
Parties/celebrations	63.1%	1,055				100000
Diving/snorkeling	44.0%	736	51.4%	79.7%	29.7%	2.4
Ocean sports	39.3%	657	43.9%	68.2%	28.8%	2.2
Fishing/throw net	38.1%	637	65.6%	79.7%	32.8%	2.4
Camping	35.1%	587	2-14-16-16		0.00	2.7
Yoga	33.3%	557	12.5%	57.1%	28.6%	2.5
Canoe paddling	31.0%	518	53.8%	65.4%	28.8%	2.5
Jogging	31.0%	518	25.0%	71.2%	25.0%	2.5
Tennis	29.2%	488	51.0%	63.3%	38.8%	2.5
Surfing	28.6%	478	60.4%	52.1%	18.8%	2.5
Swimming in pool	26.8%	448	46.7%	53.3%	42.2%	2.7
Bicycling	25.0%	418	40.5%	69.0%	21.4%	2.5
Skateboarding	24.4%	408	82.9%	31.7%	2.4%	2.4
Water aerobics	22.6%	378	23.7%	52.6%	44.7%	2.6
Baseball	22.0%	368	54.1%	73.0%	6.8%	2.1
Softball - men	22.0%	368	40.5%	75.7%	24.3%	2.4
Hula	21.4%	358	52.8%	75.0%	30.6%	26
Basketball - men	20.8%	348	57.1%	74.3%	20.0%	2.5
Volleyball - women	20.8%	348	60.0%	74.3%	28.6%	2.6
Volleyball - men	18.5%	309	61.3%	64.5%	25.8%	2.5
Weight lifting/training	18.5%	309	41.9%	58.1%	32.3%	2.6
Frisbee	15.5%	259	61.5%	76.9%	7.7%	1.7
Kickball	14.9%	249	80.0%	52.0%	0.0%	2.0
Softball - women	12.5%	209	61.9%	76.2%	23.8%	2.4
Wrestling	12.5%	209	71.4%	33.3%	14.3%	2.2
Soccer - men	11.9%	199	80.0%	45.0%	10.0%	2.4
Zumba	10.7%	179	33.3%	66.7%	50.0%	2.4
Basketball - women	10.1%	169	58.8%	47.1%	0.0%	24
Martial arts	10.1%	169	88.2%	47.1%	29.4%	2.5
Flag football	8.3%	139	64.3%	35.7%	0.0%	2.3
Soccer - women	7.7%	129	69.2%	69.2%	15.4%	2.3
Track and field	7.7%	129	84.6%	46.2%	23.1%	2.4
Futsal	6.5%	109	72.7%	27.3%	0.0%	1.6
	5.4%	90	88.9%	44.4%	22.2%	1.7
Inline skating Disc golf	4.2%	70	42.9%	85.7%	28.6%	2.1
	3.0%	50	100.0%	60.0%		1.5
Rugby			10 (10 (10 (10 (10 (10 (10 (10 (10 (10 (	Contraction (Montraction Co. Page)	0.0%	
Cricket TOTAL	1.8% 86.9%	30 1,453	66.7% 47.3%	66.7% 71.2%	66.7% 54.1%	1.8

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c Is the number of activities currently provided adequate or do we need more or less of these activities?

### Facilities Usage -- Hāna

	Use		Monthly L	Jsage	<b>Need More Mean</b>	
	%	# HH	Mean	Median	3=Need More, 1=Need Less	% Likely to Use in Future
Beach park	49.4%	826	9.7	5.0	2.4	85.7%
Park shelter and picnic area	40.5%	677	5.3	3.0	2.6	85.3%
Social hall / Community center	32.1%	537	3.4	2.0	2.4	76.6%
Small neighborhood park	26.2%	438	5.4	2.0	2.6	75.7%
Walking trail/ path	24.4%	408	6.9	2.0	2.7	80.5%
Large regional park	21.4%	358	2.8	1.0	2.6	72.8%
Outdoor fitness equipment	19.0%	318	4.0	1.0	2.3	53.2%
Playground	19.0%	318	4.2	2.0	2.7	58.0%
Ballfield for organized sports	16.1%	269	3.0	0.0	2.4	56.3%
Skate park	16.1%	269	4.6	0.0	2.3	43.3%
Tennis court	13.7%	229	2.8	0.0	2.3	54.6%
Swimming pool	11.9%	199	3.7	0.0	2.6	69.0%
Bicycle path	9.5%	159	2.5	0.0	2.7	65.7%
Heritage garden	6.5%	109	3.0	0.0	2.5	54.2%
Off leash dog park	5.4%	90	1.0	0.0	22	34.3%
Sand volleyball court	3.6%	60	1.3	0.0	2.5	42.2%
Weightroom	3.6%	60	1.8	0.0	2.6	48.2%
Golf course	3.0%	50	0.4	0.0	1.9	27.8%
Indoor athletic court	3.0%	50	0.6	0.0	2.5	44.7%
Firing range	1.2%	20	0.3	0.0	2.2	30.3%
Archery	1					36.2%
BMX track			100			24.4%
Bowling alley						44.1%
Climbing wall	8	1	(9)			36.8%
Horseshoe pit		- 1			,	49.5%
Nature trail					1 0	76.7%
Outdoor basketball court		30				52.8%
Pickleball court		0.00				12.0%
Racquetball court		73	1		) )	20.9%
Ropes course / Challenge course		3.0	13.0		4	47.4%
Soccer golf course		- 1				30.0%
Water park / splash pad						47.4%
TOTAL	62.5%	1,045				

Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

### Program Participation -- Hāna

	Participa	ted	Need More Mean		
	% # нн		3=Need More, 1=Need Less	% Likely to Participate in Future	
Community events	70.2%	916	2.5	60.0%	
Cultural events	70.2%	916	2.7	63.3%	
Farmers' markets	53.9%	687	2.9	84.4%	
Senior citizen programs	33.3%	428	2.7	50.0%	
Recreation programs	31.1%	378	2.7	60.7%	
Community gardens	29.7%	348	2.7	65.6%	
After school programs	25.4%	328	2.7	35.9%	
Jr. Lifeguard program	23.0%	289	2.6	21.7%	
Art classes	19.7%	239	2.6	66.2%	
Play & Learn Sessions (PALS)	17.3%	219	2.5	20.0%	
Dance instruction	15.8%	189	2.6	57.3%	
Musical instrument instruction	14.9%	179	2.8	50.7%	
Aquatics program/swimming lessons	14.6%	179	2.8	56.6%	
Urban forest programs	12.4%	149	2.7	56.6%	
TOTAL	73.8%	1,234		4.11	

- The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

# Reasons for Participation and Park Usage -- Hāna

	Strongly Agree 3	Neither	Strongly Disagree	Mean	Median
		2	1		
Enjoy the outdoors and nature	89.2%	10.8%	0.0%	2.9	3.0
Be with family and friends	83.6%	14.5%	1.9%	2.8	3.0
Exercise to improve health	77.7%	22.3%	0.0%	2.8	3.0
Teach children positive values through cultural activities or sports	75.8%	21.0%	3.2%	2.7	3.0
Provide socialization and safe, creative play for children	73.1%	23.7%	3.2%	2.7	3.0
Participate in organized sports	49.0%	43.0%	7.9%	2.4	2.0
Question	1				
1. How strongly do you agree with each of the following statements?					

## Reasons for Non-Participation -- Hāna

Obstacles to Park Usage	% Mentions
Lack of time	36.3%
Do not have things I am interested in	29.8%
Sites are too far from my home	29.2%
Not aware of parks and programs	26.2%
Times are not convenient for me	18.5%
Facilities are not well maintained	15.5%
Health problems	14.9%
Lack of night lighting	13.1%
Safety and security	8.3%
Too expensive	7.7%
Frequent other clubs/facilities	7.1%
Lack of ADA accessibility	7.1%
Other reasons:	6.0%

<sup>1.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

## Overall Satisfaction -- Hāna

	% Distribution						[Exclu	de DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	11.6%	47.0%	30.5%	7.3%	3.7%	2.4	2.0	2.3	2.0
The quality of recreation centers or facilit	5.7%	30.4%	36.7%	16.5%	10.8%	3.0	3.0	2.7	3.0
The quality of recreation programs or cla	4.5%	27.4%	35.0%	16.6%	16.6%	3.1	3.0	2.8	3.0

<sup>1.</sup> Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

### Satisfaction with Specific Features -- Hāna

			% Distribu	ution					(Exclud	e DK]
	Very Satisfied				Very Dissatisfied					
	5	4	3	2	1	DK	Mean	Median	Mean	Median
Condition of playing fields	20.6%	24.8%	30.5%	3.5%	5.7%	14.9%	4.0	4.0	3.6	4.0
Night lighting for fields & courts	16.8%	25.5%	26.2%	6.0%	5.4%	20.1%	4.0	4.0	3.5	4.0
Cleanliness of parks	13.2%	29.8%	33.1%	9.3%	8.6%	6.0%	3.5	3.0	3.3	3.0
Operation hours of parks	12.4%	20.0%	33.1%	9.7%	9.0%	15.9%	3.6	3.0	3.2	3.0
Maintenance of parks	11.0%	27.4%	38.4%	8.9%	5.5%	8.9%	3.6	3.0	3.3	3.0
Safety & security at parks	10.6%	24.6%	30.3%	12.0%	5.6%	16.9%	3.7	4.0	3.3	3.0
Amount of shade	10.4%	20.1%	33.3%	13.2%	13.9%	9.0%	3.3	3.0	3.0	3.0
ADA accessibility	9.6%	22.6%	16.4%	6.2%	9.6%	35.6%	4.2	4.0	3.3	3.5
Maintenance of facilities	7.3%	18.7%	42.0%	13.3%	9.3%	9.3%	3.3	3.0	3.0	3.0
Condition of restrooms	7.2%	11.8%	24.2%	26.8%	22.2%	7.8%	2.8	3.0	2.5	2.0
Night lighting for parking lot/walkways	5.7%	16.4%	27.9%	15.0%	8.6%	26.4%	3.8	3.0	2.9	3.0
Maintenance of pools	5.5%	11.8%	11.8%	5.5%	4.7%	60.6%	4.9	6.0	3.2	3.0
Condition of locker rooms	1.6%	7.9%	18.9%	4.7%	7.9%	59.1%	4.7	6.0	2.8	3.0
Overall satisfaction	8.1%	32.9%	38.3%	11.4%	3.4%	6.0%	3.5	3.0	3.3	3.0

Question:

1. How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Hāna - Open-ended Responses

	% within Actual District	
		Hāna
Other R	esponse to Problems with Parks	
	Comments about Hāna or Moloka'i specifically	53.3%
	Lack of parking	6.7%
	Physically disabled/unable to get to parks	6.7%
Total		100.0%

<sup>7.</sup> What prevents you or other members of your household <u>most often</u> from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Hāna - Open-ended Responses

% within Actual District	Actual District
	Hāna
Create more programs/facilities for family activities	20.9%
Maintain/clean restrooms and other park facilities	20.9%
Add bike/walking/jogging paths	14.0%
Comments about Hāna or Moloka'i	14.0%
Decrease costs associated with park use/permits/etc.	2.3%
Enforce no-camping laws in parks	2.3%
Provided better security in parks	2.3%
Provide more/better camping sites	2.3%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A5: Lāna'i

# Usage

### Activity Participation and Needs -- Lāna'i

	Particip	pation	Of Th	ose that Participal	te	Future Need Mean
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Walking	63.0%	2,223	30.2%	64.2%	44.4%	2.5
Picnic	56.0%	1,976				2.5
Swimming in ocean	54.5%	1,921	37.9%	64.3%	31.4%	2.4
Parties/celebrations	54.5%	1,921				
Swimming in pool	51.0%	1,797	40.5%	60.3%	32.8%	2.5
Camping	48.6%	1,715				2.5
Diving/snorkeling	41.6%	1,468	31.8%	70.1%	24.3%	2.3
Jogging	36.6%	1,290	31.9%	74.5%	27.7%	2.5
Fishing/throw net	36.6%	1,290	31.9%	72.3%	26.6%	24
Bicycling	33.1%	1,166	31.8%	62.4%	32.9%	2.5
Ocean sports	30.0%	1,056	39.0%	66.2%	27.3%	2.3
Tennis	22.6%	796	51.7%	60.3%	25.9%	2.4
Baseball	22.2%	782	84.2%	31.6%	4.3%	2.3
Surfing	21.8%	768	50.0%	69.6%	30.4%	2.4
Weight lifting/training	20.6%	727	32.1%	56.6%	22.6%	2.5
Canoe paddling	19.1%	672	38.8%	49.0%	26.5%	2.5
Yoga	17.9%	631	13.0%	60.9%	30.4%	2.5
Hula	17.5%	617	57.8%	55.6%	24.4%	2.6
Basketball - men	15.6%	549	47.5%	70.0%	17.5%	2.4
Softball - men	14.0%	494	55.6%	69.4%	16.7%	2.4
Softball - women	14.0%	494	69.4%	63.9%	11.1%	2.4
Skateboarding	12.8%	453	72.7%	39.4%	0.0%	2.5
Volleyball - women	12.8%	453	57.6%	54.5%	15.2%	2.5
Zumba	12.5%	439	21.9%	78.1%	21.9%	2.4
Water aerobics	12.5%	439	12.5%	59.4%	46.9%	2.5
Kickball	11.3%	398	44.8%	48.3%	6.9%	2.2
Frisbee	10.9%	384	35.7%	64.3%	21.4%	2.2
Volleyball - men	10.5%	370	48.1%	59.3%	22.2%	2.4
Basketball - women	10.5%	370	70.4%	55.6%	11.1%	2.4
Martial arts	8.9%	316	52.2%	56.5%	34.8%	2.5
Wrestling	7.8%	274	85.0%	15.0%	10.0%	2.4
Flag football	7.4%	261	63.2%	31.6%	21.1%	2.4
Disc golf	7.0%	247	11.1%	72.2%	22.2%	22
Soccer - men	6.2%	220	62.5%	43.8%	6.3%	2.4
Track and field	5.8%	206	53.3%	60.0%	6.7%	2.4
Soccer - women	5.1%	178	69.2%	46.2%	0.0%	2.3
Inline skating	4.3%	151	45.5%	45.5%	27.3%	2.0
Futsal	1.9%	69	20.0%	20.0%	40.0%	2.0
Rugby	1.6%	55	0.0%	75.0%	0.0%	1.9
Cricket	.8%	27	0.0%	0.0%	50.0%	2.1
TOTAL	84.4%	2,977	47.5%	70.5%	47.0%	CED STREET

<sup>1</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c Is the number of activities currently provided adequate or do we need more or less of these activities?

### Facilities Usage -- Lāna'i

	Use		Monthly U	Isage	Need More Mean	
	%	# HH	Mean	Median	3=Need More, 1=Need Less	% Likely to use in Future
Beach park	42.4%	1,495	6.9	4.0	2.4	89.6%
Park shelter and picnic area	34.2%	1,207	5.5	2.0	2.7	84.0%
Swimming pool	31.9%	1,125	5.5	3.0	2.3	77.8%
Walking trail/ path	31.1%	1,098	8.8	5.0	2.7	84.4%
Social hall / Community center	25.3%	892	2.2	1.0	2.5	80.7%
Playground	21.4%	755	4.5	1.0	2.6	62.3%
Small neighborhood park	20.6%	727	4.6	1.0	2.6	73.1%
Bicycle path	19.8%	700	5.0	0.0	2.6	67.7%
Large regional park	19.5%	686	3.9	1.0	2.5	75.3%
Outdoor fitness equipment	19.1%	672	2.6	1.0	2.3	55.6%
Ballfield for organized sports	17.5%	617	3.9	0.0	2.5	53.0%
Indoor athletic court	16.0%	563	3.9	0.0	2.5	62.0%
Firing range	15.6%	549	1.8	0.0	2.3	49.7%
Golf course	15.6%	549	3.2	0.0	2.2	51.6%
Tennis court	14.4%	508	1.8	0.0	2.3	52.6%
Off leash dog park	11.3%	398	3.1	0.0	2.4	50.6%
Weightroom	10.1%	357	3.4	0.0	2.5	53.6%
Heritage garden	5.8%	206	0.9	0.0	2.5	44.6%
Sand volleyball court	5.1%	178	1.0	0.0	2.4	39.2%
Skate park	4.7%	165	0.5	0.0	2.4	44.1%
Archery						45.4%
BMX track		140				27.8%
Bowling alley			100			67.6%
Climbing wall		330			1	45.4%
Horseshoe pit		10.0	100			51.2%
Nature trail		- 39	- 1			77.7%
Outdoor basketball court		100	100			56.4%
Pickleball court		100	18			18.6%
Racquetball court	100		18			31.3%
Ropes course / Challenge course			1		( )	42.4%
Soccer golf course			100			26.0%
Water park / splash pad	The second					51.6%
TOTAL	61.1%	2,154				

#### Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

### Program Participation -- Lăna'i

	Participa	ted	Need More Mean	
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate In Future
Community events	59.0%	1,578	2.5	54.5%
Farmers' markets	52.0%	1,441	2.6	65.2%
Cultural events	46.7%	1,249	2.6	59.7%
Recreation programs	31.8%	851	2.6	62.7%
Senior citizen programs	31.1%	878	2.6	53.1%
After school programs	26.4%	727	2.7	39.8%
Community gardens	22.8%	604	2.7	65.7%
Aquatics program/swimming lessons	22.7%	604	2.7	58.3%
Art classes	21.5%	563	2.6	67.0%
Dance instruction	16.2%	425	2.6	51.6%
Play & Learn Sessions (PALS)	15.1%	384	2.5	33.7%
Musical instrument instruction	14.4%	370	2.6	48.5%
Urban forest programs	11.8%	302	2.6	52.9%
Jr. Lifeguard program	10.9%	274	2.5	29.9%
TOTAL	71.2%	2,511		

- The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

## Reasons for Participation and Park Usage -- Lāna'i

	9	6 Distribution			
	Strongly Agree	Neither		Mean	Median
	3	2	1		1
Enjoy the outdoors and nature	86.2%	12.9%	.9%	2.9	3.0
Be with family and friends	82.1%	17.1%	.9%	2.8	3.0
Exercise to improve health	79.8%	19.7%	.4%	2.8	3.0
Provide socialization and safe, creative play for children	76.2%	22.0%	1.8%	2.7	3.0
Teach children positive values through cultural activities or sports	76.0%	21.4%	2.6%	2.7	3.0
Participate in organized sports	49.3%	45.8%	4.8%	2.4	2.0

<sup>1.</sup> How strongly do you agree with each of the following statements?

## Reasons for Non-Participation -- Lāna'i

Obstacles to Park Usage	% Mentions
Do not have things I am interested in	36.2%
Lack of time	33.5%
Not aware of parks and programs	31.5%
Times are not convenient for me	28.4%
Lack of night lighting	21.4%
Facilities are not well maintained	19.8%
Health problems	18.7%
Safety and security	17.1%
Sites are too far from my home	13.6%
Frequent other clubs/facilities	11.3%
Too expensive	8.6%
Lack of ADA accessibility	5.4%
Other reasons:	8.2%

<sup>1.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

### Overall Satisfaction -- Lāna'i

	% Distribution						[Exclude DK]		
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	10.5%	40.8%	34.9%	8.8%	5.0%	2.6	2.0	2.4	2.0
The quality of recreation centers or facilities	5.9%	28.7%	40.5%	16.5%	8.4%	2.9	3.0	2.7	3.0
The quality of recreation programs or classes	2.6%	21.0%	33.9%	22.7%	19.7%	3.4	3.0	3.0	3.0

Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

### Satisfaction with Specific Features -- Lāna'i

			% Distribu	tion					[Exclud	e DK]
	Very Satisfied				Very Dissatisfied					
	5	4	3	2	4	DK	Mean	Median	Mean	Median
Maintenance of pools	18.0%	28.0%	24.6%	4.3%	2.8%	22.3%	4.2	4.0	3.7	4.0
ADA accessibility	17.2%	20.0%	19.1%	7.4%	4.7%	31.6%	4.3	4.0	3.6	4.0
Cleanliness of parks	17.0%	29.5%	30.8%	11.2%	3.6%	8.0%	3.7	4.0	3.5	4.0
Amount of shade	14.7%	22.2%	31.6%	14.7%	6.2%	10.7%	3.6	3.0	3.3	3.0
Condition of playing fields	13.6%	18.7%	31.8%	10.3%	3.3%	22.4%	4.0	4.0	3.4	3.0
Maintenance of facilities	12.0%	24.0%	34.7%	13.3%	4.4%	11.6%	3.6	3.0	3.3	3.0
Night lighting for fields & courts	11.7%	24.2%	21.1%	9.9%	8.1%	25.1%	4.0	4.0	3.3	3.0
Maintenance of parks	11.5%	29.5%	33.0%	9.7%	4.4%	11.9%	3.7	4.0	3.4	3.0
Safety & security at parks	11.0%	21.9%	25.6%	14.6%	7.8%	19.2%	3.7	4.0	3.2	3.0
Condition of restrooms	10.8%	20.6%	26.0%	20.2%	9.9%	12.6%	3.4	3.0	3.0	3.0
Operation hours of parks	10.3%	25.6%	25.6%	10.3%	5.8%	22.4%	3.9	4.0	3.3	3.0
Night lighting for parking lot/walkways	7.7%	16.8%	25.5%	15.5%	15.5%	19.1%	3.4	3.0	2.8	3.0
Condition of locker rooms	7.4%	11.8%	20.2%	12.3%	4.9%	43.3%	4.3	5.0	3.1	3.0
Overall satisfaction	9.0%	25.8%	39.4%	14.0%	4.1%	7.7%	3.4	3.0	3.2	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Lāna'i - Open-ended Responses

	% within Actual District				
		Lāna'i			
Other R	esponse to Problems with Parks				
	Comments about Hāna or Moloka'i specifically	25.0%			
	Parks do not offer desired facilities or programs	25.0%			
	Park hours do not fit schedule	20.0%			
	Homeless people in parks	5.0%			
	Physically disabled/unable to get to parks	5.0%			
Total		100.0%			

<sup>7.</sup> What prevents you or other members of your household <u>most often</u> from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Lāna'i - Open-ended Responses

% within Actual District	Actual District
	Lāna'i
Create more programs/facilities for family activities	34.6%
Provide more/better/cleaner chairs/benches/picnic areas	9.6%
Maintain/clean restrooms and other park facilities	7.7%
Add bike/walking/jogging paths	3.8%
Improve amount/clarity/quality of signage	3.8%
Provide more art/music programs	3.8%
Provide more/better camping sites	3.8%
Comments about Hāna or Moloka'i	3.8%
Enforce no-camping laws in parks	1.9%
Provided better security in parks	1.9%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A6: Moloka'i

## Usage

### Activity Participation and Needs -- Moloka'i

	Partici	pation	Of Th	Future Need Mean		
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Parties/celebrations	59.8%	3,720			The second	
Walking	55.3%	3,439	32.7%	58.2%	42.1%	2.5
Picnic	53.2%	3,308				2.5
Swimming in ocean	48.5%	3,016	45.0%	63.3%	34.3%	2.4
Swimming in pool	47.3%	2,946	52.6%	56.3%	33.8%	2.5
Camping	36.2%	2,252				2.5
Fishing/throw net	34.2%	2,132	44.8%	69.8%	32.5%	2.5
Diving/snorkeling	33.6%	2,091	37.0%	65.9%	34.6%	2.4
Ocean sports	33.1%	2,061	48.8%	64.4%	38.5%	2.2
Jogging	29.6%	1,840	36.6%	68.3%	30.6%	2.4
Canoe paddling	26.8%	1,669	48.8%	63.3%	36.7%	2.5
Baseball	26.7%	1,659	79.4%	57.6%	5.7%	2.1
Hula	24.7%	1,538	52.9%	58.2%	45.1%	2.5
Bicycling	21.6%	1,347	40.3%	64.9%	37.3%	2.4
Surfing	20.7%	1,287	55.5%	64.1%	26.6%	2.4
Zumba	19.9%	1,237	26.0%	64.2%	47.2%	2.4
Weight lifting/training	19.5%	1,217	38.8%	67.8%	28.9%	2.5
Softball - men	16.5%	1,026	31.4%	81.4%	22.5%	2.4
Tennis	16.3%	1,016	52.5%	65.3%	28.7%	2.4
Volleyball - women	16.3%	1,016	54.5%	65.3%	27.7%	2.4
Yoga	16.2%	1,005	20.0%	56.0%	44.0%	2.4
Basketball - men	15.7%	975	54.6%	68.0%	15.5%	2.3
Softball - women	14.9%	925	38.0%	77.2%	18.5%	2.4
Skateboarding	14.4%	895	78.7%	31.5%	5.6%	2.4
Volleyball - men	13.2%	825	56.1%	78.0%	31.7%	2.4
Kickball	12.0%	744	75.7%	41.9%	14.9%	1.9
Water aerobics	10.8%	674	26.9%	46.3%	53.7%	2.4
Basketball - women	10.2%	633	58.7%	63.5%	14.3%	2.3
Martial arts	9.2%	573	57.9%	61.4%	29.8%	2.4
Wrestling	9.0%	563	76.8%	39.3%	14.3%	2.3
Frisbee	8.7%	543	55.6%	51.9%	25.9%	1.8
Flag football	6.9%	432	72.1%	41.9%	16.3%	2.4
Soccer - women	6.8%	422	50.0%	52.4%	14.3%	2.4
Track and field	6.8%	422	83.3%	59.5%	21.4%	2.4
Soccer - men	6.3%	392	56.4%	51.3%	15.4%	2.4
Inline skating	3.2%	201	55.0%	45.0%	30.0%	1.8
Disc golf	3.1%	191	52.6%	57.9%	42.1%	2.1
Rugby	2.9%	181	50.0%	61.1%	16.7%	1.7
Cricket	1.8%	111	45.5%	54.5%	27.3%	2.1
Futsal	1.6%	101	70.0%	70.0%	40.0%	1.7
TOTAL	85.1%	5,299	49.3%	64.7%	49.5%	107

- 1. The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:
- a. Did you or other members of your household participate in this activity in the past year?
- b. If participated, please indicate your level of participation in the past year.
- c. Is the number of activities currently provided adequate or do we need more or less of these activities?

### Facilities Usage -- Moloka'i

	Use		Monthly U	Isage	Need More Mean	
	%	# HH	Mean	Median	3=Need More, 1=Need Less	% Likely to Use in Future
Beach park	43.8%	2,725	5.2	3.0	2.5	84.0%
Park shelter and picnic area	37.2%	2,313	3.8	2.0	2.6	83.2%
Swimming pool	29.7%	1,850	5.1	2.0	2.5	73.7%
Social hall / Community center	28.8%	1,790	2.6	1.0	2.4	77.3%
Large regional park	23.7%	1,478	3.0	1.0	2.4	71.5%
Playground	23.7%	1,478	3.7	1.0	2.6	65.0%
Walking trail/ path	20.5%	1,277	3.9	1.0		75.9%
Small neighborhood park	20.4%	1,267	3.1	1.0	2.6	75.9%
Ballfield for organized sports	17.6%	1,096	3.9	0.0	2.2	52.9%
Bicycle path	14.7%	915	2.5	0.0	2.6	60.1%
Golf course	11.0%	684	1.6	0.0	2.5	50.4%
Outdoor fitness equipment	11.0%	684	1.8	0.0	2.4	53.4%
Tennis court	10.2%	633	1.6	0.0	2.4	47.2%
Indoor athletic court	9.4%	583	1.8	0.0	2.5	51.9%
Weightroom	9.0%	563	2.7	0.0	2.4	47.5%
Skate park	7.3%	452	1.6	0.0	2.3	35.2%
Firing range	6.3%	392	0.8	0.0	2.5	53.7%
Sand volleyball court	5.0%	312	0.8	0.0	2.4	42.1%
Off leash dog park	3.9%	241	0.7	0.0	2.3	40.5%
Heritage garden	3.1%	191	0.6	0.0	2.5	47.7%
Archery	1 4 4 4	-				39.2%
BMX track		10	100			25.0%
Bowling alley		10				57.0%
Climbing wall						40.7%
Horseshoe pit					1	48.6%
Nature trail						72.9%
Outdoor basketball court					100000	49.1%
Pickleball court					0	17.9%
Racquetball court	7					25.5%
Ropes course / Challenge course		51.			. 3	36.9%
Soccer golf course						26.9%
Water park / splash pad	The second second	-				51.4%
TOTAL	58.8%	3,660				

#### Question

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

### Program Participation -- Moloka'i

_	Participated		Need More Mean		
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate in Future	
Community events	60.7%	3,167	2.5	47.0%	
Farmers' markets	51.3%	2,644	2.6	48.7%	
Cultural events	50.5%	2,564	2.5	51.9%	
Recreation programs	30.2%	1,478	2.6	49.3%	
After school programs	25.2%	1,307	2.6	29.7%	
Senior citizen programs	24.6%	1,247	2.6	46.3%	
Aquatics program/swimming lessons	21.2%	1,066	2.6	45.3%	
Play & Learn Sessions (PALS)	19.4%	965	2.4	27.1%	
Dance instruction	19.1%	945	2.5	43.2%	
Musical instrument instruction	17.2%	855	2.6	47.9%	
Community gardens	15.9%	794	2.6	55.9%	
Art classes	12.6%	623	2.6	55.6%	
Jr. Lifeguard program	10.2%	503	2.5	32.4%	
Urban forest programs	9.7%	473	2.5	46.9%	
TOTAL	71.4%	4,444			

- 1. The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

### Reasons for Participation and Park Usage -- Moloka'i

	9					
	Strongly Agree	Neither		Neither	Mean	Median
	3	2	1			
Enjoy the outdoors and nature	83.1%	16.5%	.4%	2.8	3.0	
Be with family and friends	82.1%	16.8%	1.0%	2.8	3.0	
Exercise to improve health	76.3%	23.1%	.5%	2.8	3.0	
Teach children positive values through cultural activities or sports	73.1%	23.7%	3.2%	2.7	3.0	
Provide socialization and safe, creative play for children	71.0%	25.8%	3.2%	2.7	3.0	
Participate in organized sports	55.1%	38.8%	6.1%	2.5	3.0	

<sup>1.</sup> How strongly do you agree with each of the following statements?

## Reasons for Non-Participation -- Moloka'i

Obstacles to Park Usage	% Mentions
Lack of time	37.0%
Do not have things I am interested in	34.1%
Not aware of parks and programs	31.5%
Times are not convenient for me	25.5%
Sites are too far from my home	25.4%
Facilities are not well maintained	22.8%
Health problems	19.5%
Safety and security	19.1%
Lack of night lighting	15.3%
Too expensive	10.0%
Frequent other clubs/facilities	6.9%
Lack of ADA accessibility	6.5%
Other reasons:	7.3%

<sup>1.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

## Overall Satisfaction -- Moloka'i

	% Distribution							[Exclude DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	9.1%	42.0%	32.5%	11.8%	4.6%	2.6	2.0	2.5	2.0
The quality of recreation centers or facil	7.4%	38.6%	31.2%	14.5%	8.3%	2.8	3.0	2.6	2.0
The quality of recreation programs or cla	6.2%	28.9%	31.5%	15.0%	18.4%	3.1	3.0	2.7	3.0

<sup>1</sup> Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

### Satisfaction with Specific Features -- Moloka'i

	Very Satisfied		% Distribu	ition					[Exclud	e DK]
		4	3	2	Very Dissatisfied	DK	Mean	Median	Mean	Median
Maintenance of pools	15.9%	30.1%	20.9%	6.8%	2.9%	23.5%	4.2	4.0	3.6	4.0
Cleanliness of parks	15.4%	27.2%	27.2%	13.8%	7.50	9.7%	3.6	4.0	3.3	3.0
Night lighting for fields & courts	14,1%	23.6%	26.4%	8.7%	25, 6, 77	22.0%	4.0	4.0	3.4	3.0
ADA accessibility	13.7%	19.5%	22.4%	7.6%	1000000	32.3%	4.3	4.0	3.4	3.0
Maintenance of parks	13.5%	28.6%	29.7%	10.3%		12.4%	3.7	4.0	3.4	3.0
Condition of playing fields	13.4%	24.7%	23.6%	12.9%		20.1%	3.9	4.0	3.4	3.0
Maintenance of facilities	12.3%	22.7%	31.9%	11.8%	7.9%	13.4%	3.6	3.0	3.2	3.0
Operation hours of parks	11.4%	24.5%	27.7%	8.9%	4.9%	22.6%	4.0	4.0	3.4	3.0
Night lighting for parking lot/walkways	10.2%	19.7%	26.5%	15.4%	7.0%	21.1%	3.7	4.0	3.1	3.0
Safety & security at parks	10.0%	21.0%	28.3%	13.7%	5.3%	21.7%	3.8	4.0	3.2	3.0
Amount of shade	9.8%	19.6%	28.9%	17.5%	12.9%	11.3%	3.3	3.0	3.0	3.0
Condition of restrooms	9.6%	18.8%	29.1%	17.2%	13.2%	12.1%	3.3	3.0	2.9	3.0
Condition of locker rooms	5.4%	11.6%	16.8%	10.0%	7.9%	48.3%	4.4	5.0	2.9	3.0
Overall satisfaction	10.8%	25.5%	38.0%	11.2%	3.1%	11.4%	3.6	3.0	3.3	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Moloka'i - Open-ended Responses

	% within Actual District	Actual District
		Molokaʻi
Other R	esponse to Problems with Parks	
	Physically disabled/unable to get to parks	16.4%
	Comments about Hana or Moloka'i specifically	14.8%
	Parks do not offer desired facilities or programs	9.8%
	Other comment about a specific park	6.6%
	Park hours do not fit schedule	4.9%
	Crime/violence in parks	1.6%
	Lack of parking	1.6%
	Playground or other equipment is unsafe	1.6%
Total		100.0%

<sup>7.</sup> What prevents you or other members of your household <u>most often</u> from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Moloka'i - Open-ended Responses

% within Actual District	Actual District
	Moloka'i
Create more programs/facilities for family activities	25.2%
Comments about Hāna or Moloka'i	16.8%
Maintain/clean restrooms and other park facilities	10.9%
Comments about improving a specific park	7.6%
Add bike/walking/jogging paths	6.7%
Provided better security in parks	5.0%
Decrease costs associated with park use/permits/etc.	2.5%
Provide more/better/cleaner chairs/benches/picnic areas	2.5%
Ensure beaches are accessible despite condo/hotel growth	0.8%
Improve amount/clarity/quality of signage	0.8%
Provide more art/music programs	0.8%
Provide more/better camping sites	0.8%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A7: South Maui

# Usage

### Activity Participation and Needs -- South Maui

	Partici	pation	Of Th	te	Future Need Mean	
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Walking	72.1%	20,525	17.9%	55.4%	42.9%	2.5
Swimming in ocean	68.6%	19,538	30.0%	62.3%	34.3%	2.3
Picnic	57.7%	16,446	00.070	02.070	04.070	2.5
Swimming in pool	52.9%	15,065	31.9%	59.4%	39.3%	2.4
Diving/snorkeling	52.7%	14,999	22.4%	67.1%	32.5%	2.3
Ocean sports	50.1%	14,275	28.1%	66.8%	30.0%	2.1
Parties/celebrations	48.0%	13,683			40.070	
Bicycling	41.8%	11,907	23.8%	66.9%	33.1%	2.6
Jogging	37.6%	10,723	20.2%	71.2%	28.2%	2.4
Camping	29.8%	8,486	29.274	711.20	20.270	2.6
Canoe paddling	29.6%	8,421	18.0%	57.0%	29.7%	2.3
Surfing	28.6%	8,157	35.5%	68.5%	17.7%	2.3
Yoga	28.4%	8,092	12.2%	56.1%	37.4%	2.4
Tennis	23.6%	6,710	30.4%	67.6%	28.4%	2.3
Weight lifting/training	19.9%	5,658	15.1%	52.3%	31.4%	2.3
Water aerobics	15.2%	4,342	4.5%	39.4%	51.5%	2.3
Fishing/throw net	14.1%	4,013	32.8%	62.3%	19.7%	2.1
Inline skating	13.9%	3,947	58.3%	65.0%	11.7%	1.9
Frisbee	13.4%	3,816	43.1%	72.4%	15.5%	1.8
Hula	11.8%	3,355	23.5%	43.1%	37.3%	2.3
Basketball - men	11.1%	3,158	33.3%	70.8%	8.3%	2.3
Skateboarding	10.6%	3,026	58.7%	32.6%	0.0%	2.1
Baseball	10.4%	2,960	62.2%	44.4%	1.3%	2.0
Disc golf	9.7%	2,763	21.4%	73.8%	28.6%	2.2
Zumba	9.5%	2,697	9.8%	43.9%	41.5%	2.2
Track and field	8.1%	2,302	45.7%	34.3%	17.1%	2.2
Soccer - men	7.4%	2,105	59.4%	34.4%	15.6%	2.1
Martial arts	7.2%	2,039	54.8%	41.9%	19.4%	2.2
Volleyball - men	7.2%	2,039	29.0%	58.1%	22.6%	2.2
Volleyball - women	7.2%	2,039	32.3%	64.5%	22.6%	2.2
Kickball	5.3%	1,513	34.8%	52.2%	0.0%	1.7
Soccer - women	5.1%	1,447	59.1%	27.3%	9.1%	2.1
Softball - men	5.1%	1,447	13.6%	59.1%	45.5%	2.2
Flag football	4.2%	1,184	55.6%	50.0%	0.0%	2.1
Basketball - women	3.9%	1,118	35.3%	41.2%	5.9%	2.2
Softball - women	3.9%	1,118	17.6%	58.8%	5.9%	2.2
Wrestling	3.5%	987	33.3%	33.3%	13.3%	2.1
Futsal	2.3%	658	60.0%	10.0%	10.0%	1.6
Rugby	1.6%	460	42.9%	42.9%	0.0%	1.7
Cricket	1.4%	395	0.0%	33.3%	16.7%	1.9
TOTAL	89.8%	25,590	33.2%	66.8%	49.1%	The State of the S

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c. Is the number of activities currently provided adequate or do we need more or less of these activities?

## Facilities Usage -- South Maui

	Use		Monthly U	Isage	Need More Mean	
	%	# HH	Mean	Median	3=Need More, 1=Need Less	% Likely to Use in Future
Beach park	55.9%	15,920	9.5	6.0		87.1%
Walking trail/ path	45.0%	12,828	9.5	5.0	2.7	86.7%
Park shelter and picnic area	38.6%	10,986	3.9	2.0	2.5	80.1%
Bicycle path	34.9%	9,934	6.5	3.0	2.7	68.6%
Swimming pool	31.4%	8,947	4.9	2.0	2.3	64.1%
Small neighborhood park	28.9%	8,223	4.5	2.0	2.6	74.9%
Large regional park	27.0%	7,697	3.6	1.0	2.4	70.0%
Playground	20.8%	5,921	3.4	0.0	2.5	40.7%
Social hall / Community center	19.4%	5,526	1.5	0.0	2.3	60.1%
Golf course	17.1%	4,868	1.7	0.0	2.0	34.8%
Tennis court	14.5%	4,144	2.1	0.0	2.3	41.6%
Ballfield for organized sports	14.1%	4,013	2.0	0.0	2.3	37.4%
Off leash dog park	14.1%	4,013	3.6	0.0	2.5	42.8%
Skate park	13.4%	3,816	1.7	0.0	2.3	30.5%
Outdoor fitness equipment	11.1%	3,158	1.7	0.0	2.3	44.0%
Heritage garden	9.7%	2,763	1.1	0.0	2.3	45.5%
Sand volleyball court	8.5%	2,434	1.2	0.0	2.3	29.4%
Weightroom	7.6%	2,171	1.8	0.0	2.2	31.7%
Firing range	6.5%	1,842	0.9	0.0	2.2	36.1%
Indoor athletic court	4.8%	1,381	0.8	0.0	2.4	31.8%
Archery						25.3%
BMX track						17.1%
Bowling alley						48.1%
Climbing wall						34.4%
Horseshoe pit		200	180		8	35.2%
Nature trail			100			76.8%
Outdoor basketball court					( )	30.0%
Pickleball court			(1)		1 1	16.0%
Racquetball court			3.0		1	21.2%
Ropes course / Challenge course						31.9%
Soccer golf course		.00	100		2	21.1%
Water park / splash pad	Total Control	2000	- V			48.4%
TOTAL	75.1%	21,380				

#### Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

# Program Participation -- South Maui

	Participated		Need More Mean	
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate in Future
Farmers' markets	63.8%	15,065	2.6	51.4%
Community events	43.9%	10,262	2.4	50.4%
Cultural events	42.3%	9,736	2.5	49.5%
Aquatics program/swimming lessons	24.6%	5,658	2.5	40.2%
Senior citizen programs	21.8%	5,000	2.5	39.2%
Recreation programs	16.9%	3,750	2.4	42.7%
Community gardens	15.6%	3,487	2.6	53.8%
After school programs	12.9%	3,026	2.5	20.2%
Dance instruction	11.8%	2,631	2.3	35.4%
Art classes	10.5%	2,368	2.4	50.2%
Urban forest programs	8.3%	1,842	2.4	41.9%
Musical instrument instruction	7.7%	1,710	2.3	38.4%
Play & Learn Sessions (PALS)	7.7%	1,710	2.3	20.8%
Jr. Lifeguard program	6.2%	1,381	2.3	16.8%
TOTAL	69.5%	19,801		

- 1. The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

# Reasons for Participation and Park Usage -- South Maui

	9					
	Strongly Agree	Neither	Strongly Disagree	Mean	Median	
	3	2	1			
Enjoy the outdoors and nature	93.2%	5.8%	1.0%	2.9	3.0	
Exercise to improve health	84.9%	13.6%	1.5%	2.8	3.0	
Be with family and friends	84.8%	14.4%	.8%	2.8	3.0	
Teach children positive values through cultural activities or sports	64.1%	29.8%	6.0%	2.6	3.0	
Provide socialization and safe, creative play for children	63.4%	28.9%	7.7%	2.6	3.0	
Participate in organized sports	44.2%	43.4%	12.5%	2.3	2.0	

<sup>1.</sup> How strongly do you agree with each of the following statements?

# Reasons for Non-Participation -- South Maui

Obstacles to Park Usage	% Mentions
Safety and security	30.7%
Lack of time	30.5%
Not aware of parks and programs	29.6%
Facilities are not well maintained	25.2%
Do not have things I am interested in	19.9%
Lack of night lighting	17.6%
Health problems	12.9%
Times are not convenient for me	11.5%
Frequent other clubs/facilities	11.1%
Sites are too far from my home	9.5%
Too expensive	5.8%
Lack of ADA accessibility	4.2%
Other reasons:	9.5%

<sup>1.</sup> What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

## Overall Satisfaction -- South Maui

	% Distribution						[Exclude DK]		
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	11.3%	48.2%	29.2%	8.0%	3.4%	2.4	2.0	2.3	2.0
The quality of recreation centers or facilities	6.8%	36.2%	34.7%	8.1%	14.2%	2.9	3.0	2.5	2.0
The quality of recreation programs or classes	5.2%	27.7%	24.7%	7.2%	35.3%	3.4	3.0	2.5	2.0

Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

## Satisfaction with Specific Features -- South Maui

			% Distribu	ition					[Exclud	le DK]
	Very Satisfied				Very Dissatisfied	5			days	
	5	4	3	2	1	DK	Mean	Median	Mean	Median
ADA accessibility	14.9%	17.6%	13.6%	3.8%	2.4%	47.7%	4.8	5.0	3.7	4.0
Operation hours of parks	14.2%	28.6%	24.2%	8.2%	9.3%	15.5%	3.8	4.0	3.4	4.0
Night lighting for fields & courts	10.8%	23.3%	19.2%	7.2%	5.4%	34.1%	4.3	4.0	3.4	4.0
Maintenance of pools	10.5%	26.6%	20.8%	6.1%	4.2%	31.8%	4.3	4.0	3.5	4.0
Cleanliness of parks	10.3%	26.1%	35.3%	13.3%	8.3%	6.8%	3.4	3.0	3.2	3.0
Amount of shade	9.6%	20.7%	31.3%	17.3%	9.8%	11.4%	3.4	3.0	3.0	3.0
Maintenance of parks	9.5%	25.1%	38.1%	11.5%	6.4%	9.5%	3.5	3.0	3.2	3.0
Condition of playing fields	8.8%	23.1%	23.3%	7.2%	5.3%	32.4%	4.2	4.0	3.3	3.0
Night lighting for parking lot/walkways	8.5%	18.2%	23.6%	12.6%	7.7%	29.5%	4.0	4.0	3.1	3.0
Safety & security at parks	5.9%	17.5%	26.3%	17.8%	14.2%	18.3%	3.4	3.0	2.8	3.0
Maintenance of facilities	5.7%	19.9%	38.1%	16.3%	8.0%	11.9%	3.3	3.0	3.0	3.0
Condition of locker rooms	3.8%	8.8%	18.8%	10.2%	5.6%	52.8%	4.5	6.0	2.9	3.0
Condition of restrooms	3.3%	14.0%	31.0%	24.7%	16.3%	10.7%	3.0	3.0	2.6	3.0
Overall satisfaction	7.8%	29.0%	40.8%	10.8%	3.3%	8.3%	3.5	3.0	3.3	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Verbatim Q7

# South Maui - Open-ended Responses

	% within Actual District	
	South Maul	
Other Re		
	Homeless people in parks	20.0%
	Parks do not offer desired facilities or programs	14.3%
	Lack of parking	8.6%
	Crime/violence in parks	5.7%
	Physically disabled/unable to get to parks	5.7%
	Other comment about a specific park	5.7%
	Park hours do not fit schedule	5.7%
	Playground or other equipment is unsafe	2.9%
	Too many tourists at parks/beaches	2.9%
	Comments about Hāna or Moloka'i specifically	2.9%
Total		100.0%

What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Verbatim Q8

# South Maui - Open-ended Responses

% within Actual District	Actual District
% Within Actual District	South Maui
Maintain/clean restrooms and other park facilities	21.3%
Create more programs/facilities for family activities	12.8%
Comments about improving a specific park	11.7%
Add bike/walking/jogging paths	9.6%
Provided better security in parks	7.4%
Enforce no-camping laws in parks	4.3%
Provide more/better camping sites	3.2%
Decrease costs associated with park use/permits/etc.	2.1%
Improve amount/clarity/quality of signage	2.1%
Provide more art/music programs	2.1%
Ensure beaches are accessible despite condo/hotel growth	1.1%
Improve/expedite process for obtaining permits	1.1%
Provide better/more parking	1.1%
Provide more/better/cleaner chairs/benches/picnic areas	1.1%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

# Appendix A8: West Maui

# Usage

# Activity Participation and Needs -- West Maui

	Particip	pation	Of Th	Future Need Mean		
	%	# Households	% Youth	% Adult	% Senior	3=More, 1=Less
Swimming in ocean	76.4%	16,665	33.1%	66.5%	32.2%	2.4
Walking	73.5%	16,038	24.8%	60.4%	37.8%	2.6
Picnic	60.7%	13,248	-			2.5
Parties/celebrations	59.4%	12,969			5.0	
Diving/snorkeling	57.2%	12,481	29.6%	74.9%	25.1%	2.3
Swimming in pool	50.2%	10,947	43.3%	63.1%	31.8%	2.4
Ocean sports	49.2%	10,738	33.8%	68.8%	26.6%	2.1
Jogging	41.2%	8,995	24.0%	69.8%	20.2%	2.5
Surfing	40.3%	8,786	40.5%	70.6%	19.0%	2.4
Camping	38.3%	8,367	-			2.6
Bicycling	34.2%	7,461	30.8%	71.0%	25.2%	26
Fishing/throw net	29.1%	6,345	37.4%	69.2%	25.3%	23
Canoe paddling	27.5%	5,997	38.4%	57.0%	18.6%	23
Tennis	25.6%	5,578	37.5%	58.8%	26.3%	2.3
Yoga	24.0%	5,230	12.0%	70.7%	25.3%	2.4
Weight lifting/training	19.8%	4,323	24.2%	64,5%	16.1%	2.4
Baseball	18.8%	4,114	72.9%	44.1%	3.0%	2.0
Hula	17.9%	3,905	48.2%	48.2%	21.4%	2.4
Skateboarding	16.6%	3,626	63.5%	36.5%	5.8%	2.3
Basketball - men	16.3%	3,556	62.7%	56.9%	9.8%	2.3
Frisbee	15.0%	3,277	29.8%	66.0%	19.1%	1.7
Water aerobics	13.7%	2,998	18.6%	46.5%	44.2%	2.3
Martial arts	11.5%	2,510	58.3%	41.7%	2.8%	2.3
Softball - men	10.2%	2,231	21.9%	68.8%	12.5%	2.3
Volleyball - women	10.2%	2,231	43.8%	65.6%	12.5%	2.3
Soccer - men	9.9%	2,162	58.1%	45.2%	3.2%	2.2
Volleyball - men	9.9%	2,162	48.4%	67.7%	12.9%	2.3
Disc golf	9.3%	2,022	34.5%	72.4%	27.6%	2.2
Zumba	9.3%	2,022	10.3%	75.9%	24.1%	2.3
Basketball - women	8.6%	1,883	77.8%	29.6%	7.4%	2.3
Kickball	8.6%	1,883	37.0%	48.1%	3.7%	1.6
Track and field	8.3%	1,813	76.9%	57.7%	23.1%	2.2
Soccer - women	8.0%	1,743	60.0%	48.0%	4.0%	2.3
Wrestling	7.7%	1,673	79.2%	12.5%	0.0%	22
Flag football	7.3%	1,604	56.5%	43.5%	8.7%	22
Inline skating	6.7%	1,464	52.4%	47.6%	19.0%	1.8
Softball - women	6.7%	1,464	38.1%	71.4%	19.0%	22
Futsal	3.5%	767	45.5%	45.5%	9.1%	1.5
Rugby	2.6%	558	37.5%	50.0%	12.5%	1.7
Cricket	1.3%	279	25.0%	25.0%	50.0%	20
TOTAL	92.0%	20,082	44.1%	68.1%	43.1%	

<sup>1.</sup> The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

a. Did you or other members of your household participate in this activity in the past year?

b. If participated, please indicate your level of participation in the past year.

c. Is the number of activities currently provided adequate or do we need more or less of these activities?

## Facilities Usage -- West Maui

	Use		Monthly L	Isage	Need More Mean	% Likely to Use in Future
	%	# HH	Mean	Median	3=Need More, 1=Need Less	
Beach park	58.8%	12,830	9.1	5.0	2.5	89.4%
Park shelter and picnic area	47.6%	10,390	4.6	2.0	2.6	84.8%
Walking trail/ path	43.5%	9,483	7.5	4.0	2.7	84.7%
Small neighborhood park	30.4%	6,624	4.4	2.0	2.6	70.5%
Bicycle path	29.7%	6,485	5.0	1.0	2.7	70.2%
Swimming pool	26.8%	5,857	4.2	1.0	2.4	60.3%
Playground	24.3%	5,299	3.4	1.0	2.5	51.1%
Large regional park	23.3%	5,090	2.3	1.0	2.4	68.8%
Social hall / Community center	18.2%	3,975	1.2	0.0	2.4	58.5%
Golf course	17.6%	3,835	2.0	0.0	2.0	42.1%
Ballfield for organized sports	17.3%	3,765	3.1	0.0	2.3	45.8%
Tennis court	16.9%	3,696	2.2	0.0	2.2	41.6%
Outdoor fitness equipment	11.8%	2,580	1.2	0.0	2.4	47.0%
Indoor athletic court	10.5%	2,301	1.5	0.0	2.3	37.9%
Off-leash dog park	10.5%	2,301	3.3	0.0	2.4	41.3%
Skate park	8.9%	1,952	1.1	0.0	2.2	28.8%
Heritage garden	8.0%	1,743	0.9	0.0	2.3	47.9%
Sand volleyball court	7.7%	1,673	0.9	0.0	2.3	32.4%
Weightroom	6.7%	1,464	2.0	0.0	2.3	41.2%
Firing range	5.1%	1,116	0.4	0.0	2.1	34.0%
Archery	1 1 1 1 1 1					29.0%
BMX track						22.5%
Bowling alley		1			7	58.8%
Climbing wall						37.5%
Horseshoe pit					N	34.7%
Nature trail	1					79.1%
Outdoor basketball court						40.5%
Pickleball court			3			11.5%
Racquetball court			18		T	20.5%
Ropes course / Challenge course					0	38.4%
Soccer golf course		377			100	16.0%
Water park / splash pad						50.8%
TOTAL	70.0%	15,271				ALC: NO.

#### Question:

The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:

How many times in an average month do you or other members of your household use each of the following facilities?

Do we have an adequate number of such facilities or do we need more or less?

Are you or other members of your household likely to use each facility in the future?

## Program Participation -- West Maui

	Participated		Need More Mean		
	%	# HH	3=Need More, 1=Need Less	% Likely to Participate in Future	
Farmers' markets	55.5%	10,180	2.6	45.8%	
Cultural events	49.0%	8,856	2.6	47.3%	
Community events	48.8%	8,786	2.5	49.2%	
Senior citizen programs	21.2%	3,835	2.5	36.0%	
Recreation programs	20.0%	3,417	2.5	45.3%	
After school programs	18.8%	3,347	2.6	28.9%	
Aquatics program/swimming lessons	16.3%	2,859	2.5	42.2%	
Community gardens	15.5%	2,719	2.6	48.2%	
Art classes	14.6%	2,580	2.5	54.0%	
Dance instruction	13.5%	2,371	2.4	37.3%	
Musical instrument instruction	10.7%	1,883	2.5	42.6%	
Play & Learn Sessions (PALS)	10.1%	1,743	2.4	27.5%	
Urban forest programs	7.6%	1,325	2.5	47.6%	
Jr. Lifeguard program	6.8%	1,185	2.4	25.8%	
TOTAL	70.0%	15,271			

- 1. The following is a list of programs and activities that are or could be offered in Maui County. For each program or activity please tell us:
- a. Did you or other members of your household participate in these programs in the past year?
- b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
- c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

# **Motivation Obstacles**

## Reasons for Participation and Park Usage -- West Maui

	0					
	Strongly Agree	Neither	Strongly Disagree	Mean	Median	
	3	2	1			
Enjoy the outdoors and nature	89.1%	10.2%	.7%	2.9	3.0	
Be with family and friends	87.3%	12.0%	.7%	2,9	3.0	
Exercise to improve health	83.3%	14.9%	1.7%	2.8	3.0	
Provide socialization and safe, creative play for children	69.6%	26.1%	4.2%	2.7	3.0	
Teach children positive values through cultural activities or sports	68.4%	26.6%	5.0%	2.6	3.0	
Participate in organized sports	49.8%	40.8%	9.4%	2.4	2.0	

<sup>1.</sup> How strongly do you agree with each of the following statements?

# Reasons for Non-Participation -- West Maui

Obstacles to Park Usage	% Mentions
Lack of time	39.0%
Not aware of parks and programs	32.3%
Facilities are not well maintained	26.2%
Do not have things I am interested in	24.3%
Sites are too far from my home	23.0%
Times are not convenient for me	23.0%
Safety and security	22.4%
Lack of night lighting	20.4%
Health problems	13.4%
Frequent other clubs/facilities	9.3%
Lack of ADA accessibility	5.8%
Too expensive	4.8%
Other reasons:	7.7%

What prevents you or other members of your household most often from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# **Quality Satisfaction**

# Overall Satisfaction -- West Maui

	% Distribution							[Exclude DK]	
	Excellent	Good	Fair	Poor	Don't Know	Mean	Median	Mean	Median
The quality of parks	8.7%	43.8%	34.1%	9.4%	4.0%	2.6	2.0	2.5	2.0
The quality of recreation programs or classes	3.8%	32.1%	28.0%	9.2%	27.0%	3.2	3.0	2.6	3.0
The quality of recreation centers or facilities	3.7%	42.2%	34.0%	6.8%	13.3%	2.8	3.0	2.5	2.0

<sup>1</sup> Please rate the following for Maui County Parks and Recreation facilities and programs as a whole. (Fill in one response per line)

## Satisfaction with Specific Features -- West Maui

			% Distribu	ution					[Exclud	e DK]
	Very Satisfied 5	4	3	2	Very Dissatisfied	DK	Mean	Median	Mean	Median
ADA accessibility	13.6%	18.6%	15.8%	7.9%	3.6%	40.5%	4.5	5.0	3.5	4.0
Operation hours of parks	12.3%	22.8%	29.1%	11.6%	6.3%	17.9%	3.8	4.0	3.3	3.0
Amount of shade	9.9%	21.5%	31.0%	19.7%	7.0%	10.9%	3.4	3.0	3.1	3.0
Night lighting for fields & courts	8.9%	18.9%	28.5%	7.5%	3.9%	32.4%	4.2	4.0	3.3	3.0
Safety & security at parks	8.3%	20.5%	31.3%	15.6%	6.6%	17.7%	3.6	3.0	3.1	3.0
Maintenance of pools	8.2%	21.8%	25.7%	8.6%	1.8%	33.9%	4.3	4.0	3.4	3.0
Night lighting for parking lot/walkways	7.4%	16.7%	31.6%	10.6%	8.5%	25.2%	3.8	3.0	3,1	3.0
Cleanliness of parks	7.3%	23.9%	35.6%	17.0%	8.0%	8.3%	3.3	3.0	3.1	3.0
Maintenance of parks	6.4%	23.8%	38.3%	17.0%	5.7%	8.9%	3.3	3.0	3.1	3.0
Condition of playing fields	6.1%	18.3%	28.3%	14.3%	4.7%	28.3%	3.9	4.0	3.1	3.0
Maintenance of facilities	6.0%	17.9%	36.8%	20.7%	8.4%	10.2%	3.2	3.0	2.9	3.0
Condition of restrooms	3.8%	10.0%	31.3%	30.2%	17.9%	6.9%	2.7	3.0	2.5	2.0
Condition of locker rooms	2.9%	9.1%	20.4%	14.2%	5.8%	47.4%	4.3	5.0	2.8	3.0
Overall satisfaction	8.4%	25.3%	41.1%	14.4%	3.5%	7.4%	3.4	3.0	3.2	3.0

<sup>1.</sup> How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

# Verbatim Q7

# West Maui - Open-ended Responses

	% within Actual District		
	West Maui		
Other Response to Problems with Parks			
	Parks do not offer desired facilities or programs	24.1%	
	Lack of parking	13.8%	
	Park hours do not fit schedule	10.3%	
	Homeless people in parks	6.9%	
	Playground or other equipment is unsafe	6.9%	
	Crime/violence in parks	3.4%	
	Lack of beach access	3.4%	
	Physically disabled/unable to get to parks	3.4%	
Total		100.0%	

<sup>7.</sup> What prevents you or other members of your household <u>most often</u> from visiting a park or participating in a recreational program? (SELECT UP TO FIVE)

# Verbatim Q8

# West Maui - Open-ended Responses

% within Actual District	Actual District
74 WILLIAM ACIDAL DISTRICT	West Maui
Create more programs/facilities for family activities	20.0%
Maintain/clean restrooms and other park facilities	16.9%
Add bike/walking/jogging paths	12.3%
Provided better security in parks	7.7%
Comments about improving a specific park	6.2%
Improve amount/clarity/quality of signage	4.6%
Enforce no-camping laws in parks	3.1%
Ensure beaches are accessible despite condo/hotel growth	3.1%
Provide better/more parking	3.1%
Provide more/better/cleaner chairs/benches/picnic areas	3.1%
Decrease costs associated with park use/permits/etc.	1.5%
	100.0%

<sup>8.</sup> In your own words, what else should the administration consider doing at the Maui County Parks and Recreation facilities to improve the quality of life for you and your family?

#### **MAUI COUNTY PARKS AND RECREATION COMMUNITY NEEDS ASSESSMENT SURVEY**

The Masi County, Department of Parks and Recreation would like your input to help identify parks and recreation priorities. This survey will take 10-15 minutes to complete. All your ensures are confidential. Please ensure each question by completely sheding in the bubbles or writing in the space provided with a pencil or pan. When you are finished, please return the survey in the enclosed postage-paid envelope. Mahalo for your time.

- The following is a list of possible activities that residents may do at Maul County Parks and Recreation facilities. For each activity, please tell us:

  - a. Did you or other members of your household participate in this activity in the past year?
    b. If participated, please indicate your level of participation in the past year.
    c. Is the number of activities currently provided adequate or do we need more or less of these activities?

		A			8			C		
Activity	IU_	pated	(881)	Participation level (SELECT ALL THAY APPLY)  Youth Adult Benfor			Should the County provide more or less of these activities?			
	Yes	No	Youth	The second second		More	Adequate	Lets		
Batebal	0	0	0	0	0	0	0	0		
flaskethal - men	0	0	0	0	0	0	0	0		
Elaskelbell - women	0	0	0	0	0	0	0	0		
Bicycling	0	0	0	0	0	0	0	0		
Camping	0	0	-			0	0	0		
Cance padding	0	0	0	0	0	0	0	0		
Cricket	0	0	0	0	0	0	0	0		
Disc golf	0	0	0	0	0	0	0	0		
Diving/snorkeling	0	0	0	0	0	0	0	0		
Fighinglisrow net	0	0	0	0	0	0	0	0		
Flag football	0	0	0	0	0	0	0	0		
Frisbee	0	0	0	0	0	0	0	0		
Futual	0	0	0	0	0	0	0	0		
Hula	0	0	0	0	0	0	0	0		
triine skating	0	0	0	0	0	0	0	0		
Jogging	0	0	0	0	0	0	0	0		
Kickbell	0	0	0	0	0	0	0	0		
Martial arts	0	0	0	0	0	0	0	0		
Ocean sports	0	0	0	0	0	0	0	0		
Parties/celebrations	0	0				-		-		
Plania	0	0				0	0	0		
Rugby	0	0	0	0	0	0	0	0		
	0	0	0	0	0	0	0	0		
Skateboarding	ő	0	0	0	0	0	0	0		
Socoer - men	Ö	0	Ö	0	0	ō	0	0		
Societ - women	Ö	0	Ö	0	0	ő	0	0		
Softball - men	0	0	i ö	0	0	ö	0	0		
Softball - wom en	0	0	Ö	0	0	Ö	0	0		
Surfing	10	0	0	0	0	0	0	0		
Swimming in occan		_	-	_	-		_	_		
Swimming in pool	0	0	0	0	0	0	0	0		
Tennia	0	0	0	0	0	0	0	0		
Track and Beld	0	0		0	0			0		
Volleyball - men	0	0	0	0	0	0	0	0		
Volleyball - women	0	0	0	0	0	0	0	0		
Walking	0	0	0	0	0	0	0	0		
Water perobics	0	0	0	0	0	0	0	0		
Weight Ming/braining	0	0	0	0	0	0	0	0		
Wresting	0	0	0	0	0	0	0	0		
Yoga	0	0	0	0	0	0	0	0		
Zumba	0	0	0	0	0	0	0	0		
Other activities not listed:		0	0	0	0	0	0	0		
	0	0	0	0	0	0	0	0		
	0	0	0	0	0	0	0	0		

Maul County Parks and Recreation Constunity Needs Assessment Survey - Confidential

© 5663

Please rate the following for Maul County Parks and Recreation facilities and programs as a whole. (FILL IN ONE RESPONSE PER LINE)

	Excellent	Good	Fair	Poor	Don't tunou
The quality of parks	0	0	0	0	0
The quality of recreation centers or facilities	0	0	0	0	0
The quality of recreation programs or classes	0	. 0	0	0	0

- 3. The following is a list of programs and activities that are or could be offered in Maul County. For each program or activity

  - a. Did you or other members of your household participate in these programs in the past year?
    b. Is the number of programs/activities currently provided adequate or do we need more or less of these programs/activities?
    c. If you do not ourrently participate in these programs or activities, would you participate in such programs in the future if they were offered?

		A		В			3
Program/Activity	Partic		ed more or le	Would participate Yes No			
	Yes	Mo	Need	Adequate	Need	Yes	No
After school programs	0	0	0	0	0	0	0
Aquatics program/swimming lessons Art classes	0	0	0	0	0	0	0
Art classes	0	0	0	0	0	0	0
Community events	0	0	0	0	0	0	0
Community gardens	0	0	0	0	0	0	0
Cultural events	0	0	0	0	0	0	0
Dance Instruction	0	0	0	0	0	0	0
Farmers' markets	0	0	0	0	0	0	0
Jr. Lifeguard program Musical instrument instruction	0	0	0	0	0	0	0
Musical instrument instruction	0	0	0	0	Ó	0	0
Play & Learn Sessions (PALS)	Ò	0	0	0	0	0	0
Recreation programs	0	0	0	0	0	0	0
Senior citizen programs	0	0	0	0	0	0	0
Recreation programs Senior citizen programs Urban forest programs	9	0	0	0	Ó	0	0
Others not feted:	0	0	0	0	0	0	0
	_ 0	0	0	0	0	0	0
	0	0	0	0	0	0	0

How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

	Very estisted				Very dissellation	Don't Know	
		4	3	2	1		
ADA accessibility	0	0	0	0	0	0	
Amount of shade	0	0	0	0	0	0	
Cleantiness of parks	0	0	0	0	0	0	
Condition of looker rooms	0	0	0	0	0	0	
Condition of playing fields	0	0	0	0	0	0	
Condition of restrooms	0	0	0	0	0	0	
Maintenance of facilities	0	0	0	0	0	0	
Maintenance of parks	0	0	0	0	0	Ò	
Maintenance of pools	0	0	0	0	0	0	
Night lighting for fields & courts	0	0	0	0	0	0	
Night lighting for parking lot/walkways	0	0	0	0	0	0	
Operation hours of parks	0	0	0	0	0	0	
Safety & security at parks	0	0	0	0	0	0	
Overall satisfaction	0	0	0	0	0	0	

5. How strongly do you agree with each of the following statements?

We visit parks or participate in recreational programs to	Strongly	Neither agree nor disagree	Strongly Disagree
	3	2	1
Be with family and triends	0	0	0
Erricy the autitoors and nature	0	0	0
Exercise to improve health	0	0	0
Participate in organized sports	0	0	0
Provide socialization and eafe, creative play for children	0	0	0
Yeach children positive values through cultural solivities or sports	0	0	0

Mass County Parks and Recreation Community Needs Assessment Survey - Confidential to SMS

Page 2 March 2016

- The following is a list of facilities that are or could be offered in Maul County. For each facility, please tell us:
  - How many times in an average month do you or other members of your household use each of the following facilities?

    Do we have an adequate number of such facilities or do we need more or less?

    Are you or other members of your household likely to use each facility in the future?

	A		8			3
Facility	# of times	Heed	Adequate	Need		to use
	egenera egenera etinom	MOP		less	Yes	No
Archery	THE RESERVE TO SERVE THE PARTY OF THE PARTY			-	0	0
Baltfield for organized sports		0	0	0	0	0
Beach park		0	0	0	0	0
Bicycle path		0	0	0	0	0
BMX track					0	0
Bowling alloy					0	0
Climbing was	Same Street				0	0
Firing range		0	0	0	0	0
Gall course		0	0	0	0	0
Hertage garden		0	0	0	0	0
Horsestico pit					0	0
Indoor athestic court		0	0	0	0	0
Large regional park		0	0	0	0	0
Nature trail	The state of the				0	0
Off-leash dog park		0	0	0	0	0
Outdoor basketbalt court		0	0	0	0	0
Outdoor Stress equipment					0	0
Park shelter and pionic area		0	0	0	0	0
Pickleball court					0	0
Playground		0	0	0	0	0
Racquetball court	10000000				0	0
Ropes course / Challenge course	A STATE OF THE PARTY OF				0	0
Send volleyball court		0	0	0	0	0
Skate park		0	0	0	0	0
Small neighborhood park		0	0	0	0	0
Socoer gelf course					0	0
Social hall / Community center		0	0	0	0	0
Swimming pool		0	0	0	0	0
Tennis court		0	0	0	0	0
Walking trail/ path		0	0	0	0	0
Water park / epissh pad					0	0
Weightroom		0	0	0	0	0

What prevents you or other members of your household most often from visiting a park or perticipating in a recreational program? (SELECT UP TO FIVE)

Do not have things I am interested in							
Facilities are not well maintained	**********	Titterrien		********	-	more services	
Frequent other dubs/facilities							
Health problems				200.00			
Lack of ADA accessibility				4			
Lack of night lighting			4 5				
Lack of time							
Not aware of parks and programs				Th Deep.	***	7 3	
Safety and security							inches.
Sites are too far from my home					-	1 100	
Times are not convenient for me			2 4	acres o		e vermenten non	america.
Too expensive					1000		
Other reasons (please specify below)	+======	7.44	Time Head				

Musi County Perks and Recreation Community	y Needs Assessment Survey	<ul> <li>Cordidential</li> </ul>

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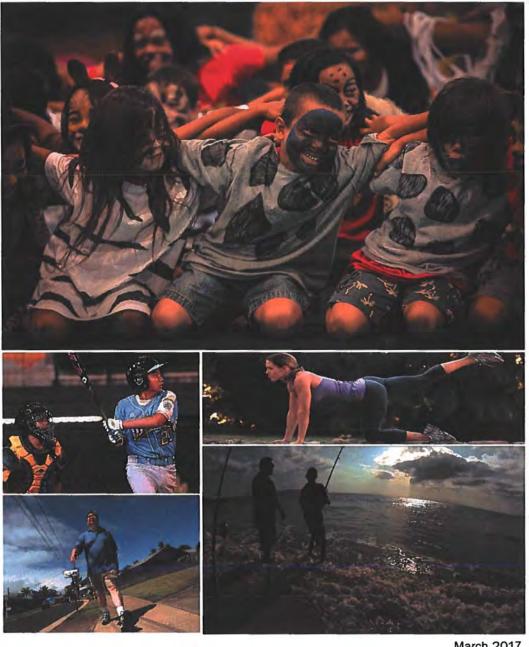
	administration consider doing at the filmi County Perior and Recreation facilities to improve the qualit	y	Own Rent	
	of life for you and your family?		Occupy without payment.	
			Other (please specify):	
			17. Are you a registered voter?	
-			Yes-1000000000000000000000000000000000000	-
			NO	iq.
			18. What is your ourrest employment status?	
_		_	Employed full-time	w)
			Employed part-time	
			Not employed	
			Student	
			Retired	
			Other (please specify):	
Jus	t a few questions for classification purposes:		19. What ethnic group do you most identify with (SELE	-
R.	How old are you?		CNET?	•
	18-25	0	African American	
	28-35		Caucasian	
	36-45		Chinesa	
	46-55		Filipino	
	56-65		Guamanian/Chamorro	-
	60-75	.0	Hawaian/Part-Hawaian	
	76+		Hispanio	٠
		7.1	Japanese	
10.	How long have you lived on Maul?		Korean	
	Not a \$6-time resident O Less than five years 0	Pacific Islander (not Hawaiian)		
			Mixed, not Hawaiian	
			Other (please specify):	
	5-10 years		Acres (hutana sharek)	-
	11-20 years O More than 20 years O Lifetime resident O What is your gender?  Male Female O		20. What is the highest level of education you have	
			completed?	
		High school, HS equivalent or less		
11.		Some college/Associates degree/technical school		
-		Bachelor's degree		
			Graduate degree or higher	
42	What is your marital status?		21. What was the income of your household in 2015?	
Pilla		2	Less than \$25,000	
	Single, never married		\$25,000 to \$49,999	
	Married American Control of the Cont		\$50,000 to \$74,999	
	Divorced		\$75,000 to \$89,899	
	Separated		\$100,000 to \$149,999	
	Widowed	0	\$150,000 to \$249,999	
-	thereber of maintain to sever become but of the best of		\$250,000 to \$240,000	
15.	Number of members in your household including		Unase	
	yourself?		No comment.	
	Number of members in household			-
14	Number of household members under age 187		22. What is your zip code?	
	I II I Number of members under 18			
			Mahalo for taking the time to complete this survey.	
15.	Number of household members over age 65?	in saving an anna to surprise time and vey		
	Number of members over 65			
	The Department of	Parks	and Recreation's mission:	
			effective recreational opportunities	
	for the residents	or and	visitors to Maul County"	
18m	a County Parks and Recreation Community Needs Assessment	BUNEV	Confidential	c

# **SUMMARY REPORT**

# **Recreation Needs and Preferences**

A Snapshot of Key Survey Results

County of Maui / Department of Parks and Recreation



March 2017

# Acknowledgements

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**Photo Credit** 

Cover photo (top large) by Sara Asato, PALS Coordinator





# SUMMARY REPORT

# **Recreational Needs and Preferences**

A Snapshot of Key Survey Results

# **County of Maui**

Prepared by Department of Parks and Recreation March 2017

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	Interpreting the Data Methodology  Countywide Patterns and Needs Participation by Activity Use of Specific Facilities Participation in Programs Motivation for Participation Obstacles to Participation Satisfaction with Parks & Facilities  Appendix A: Survey Form

# Introduction

This document is a summary of key results from the Needs and Preferences Survey prepared by the Maui County Department of Parks and Recreation (DPR). It provides an overview of key findings for the county as a whole. More information for specific districts will be provided in future documents.

The survey focused on a few critical areas of inquiry, selected to provide a foundation of basic information on park use and preferences. These included:

- What recreational activities do people participate in?
- · What kinds of programs and events do people participate in?
- What places do people visit to recreate?
- What motivates people to participate in recreation?
- What obstacles prevent people from recreating?
- · How do people rate County parks and facilities?

This information will be used by the DPR in a variety of ways. One of the most important uses will be the preparation of an overall System Plan for the County and District Plans for the seven planning areas that are found in the County of Maui. The survey data will be augmented with discussions with DPR staff and discussions with community members.

# Interpreting the Data

A basic caveat should be noted when reviewing the report and the charts. First, the survey findings are best used to describe broad patterns and trends. Thee are many variables that affect how and why people recreate - where they live, how much discretionary time they have, how much equipment is needed, what motivates them, etc. While the survey included a range of questions, it addresses only sone of the factors that could fully explain behavior. As a result, the survey results should be seen as a starting point for any discussion of needs and preferences.

Relatedly, for some questions, it's often helfpul to look at the responses to several questions to gain a more holistic view or explanation. As an example, the popularity of beach parks, trails, and picnic areas (see page 8) appears to be linked to the most common motivations for recreation - enjoy the outdoors, be with family, and improving one's health (see page 10). By looking at the two questions together, a more complete picture of how and why people recreate the way they do begins to emerge.

# Methodology

The project was initiated in late 2014 with the selection of SMS Research (SMS) to conduct a scientific survey for the County of Maui. SMS worked with DPR staff over several months to prepare and refine the survey questions, including a pre-test of the survey instrument.

The survey was conducted as a mail survey that was mailed in March 2017 to 12,450 households selected at random. Surveys were divided among seven districts (see map below) to allow for a more detailed analysis. Four weeks later, a second group of surveys was sent to households that had not responded. Participants were also given the option to complete the survey online.

At the end of the survey period, about 2,600 surveys were returned by mail and an additional 137 surveys were submitted online, for a total of 2,754 completions. The rate of return exceeded the expected target by 19 percent. The margin of error for the survey is +/- 1.9 percent.

The survey questions were prepared by SMS with the active participation of staff from the County of Maui Department of Parks and Recreation. The survey was a four-page document with eight questions on a variety of parks and recreation use and attitudes. Demographic questions were also asked. The survey form is included as Appendix A.

The five survey districts on Maui are shown on this map. The islands of Lana'i and Molokai are considered their own survey districts.



# **Countywide Patterns and Needs**

The list below is a summary of some of the key trends in the survey. More information about these trends is provided on pages 7-13.

- Walking is the most popular activity on a county-wide basis, consistent
  with national trends. Participation is lower for Molokai and Hana. The
  popularity of walking is likely linked to a highly ranked motivation exercise to improve health.
- Picnicking and parties/celebrations also are popular activities. This also
  is probably related to one of the top three motivations for recreation --to
  be with family and friends.
- Community events, farmer's markets, and cultural events are the most popular "programs". These are the top three for all of the districts, with some districts exhibiting higher rates for cultural programs and community events.
- Recreation participation is motivated by three reasons --to enjoy the
  outdoors and nature, to be with family and friends, and to exercise to
  improve health. Over 80% of respondents agreed with these reasons.
- The most cited reason in all districts for non-participation is lack of time. For some districts, the distance to recreation sites is a factor as well.
- People appear to be generally satisified with the quality of parks. About half of respondents rate the quality of parks as good to excellent. The quality of recreation centers is slightly lower.
- The cleanliness of parks is the highest rated attribute. About one-third
  of respondents rated this quality as either four or five (with five as the
  highest). Conversely, the condition of restrooms is the lowest rated
  quality, with 17% of respondents rating it as "very dissatisfied" (rating
  one).

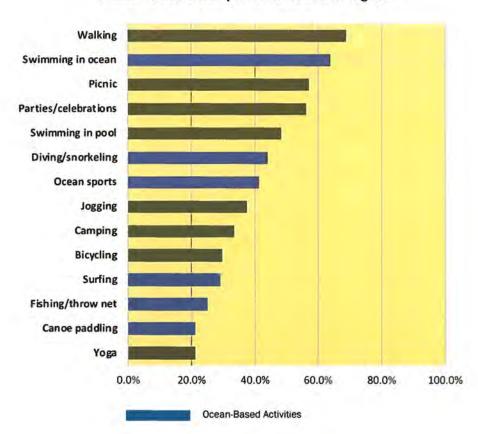
# Participation by Activity

The survey asked respondents to review 40 activities and indicate whether anyone in their household participated in them over the last year. The responses also are keyed to whether the person engaging in the activity was a youth, adult, or senior. A chart with all of the activities is on page 20.

Key findings of the results are as follows:

- Walking and swimming in the ocean are the two most popular activities. Between 65 and 70% of respondents said household members participated at at least once in the previous year in those two activities.
- Picnicking and parties/celebrations were the next most popular activities, with about 55% of respondents.
- Ocean-based activities are very popular and account for almost half of those that are in the top tier (see chart below).

#### Activities with Participation Rates 20% or Higher



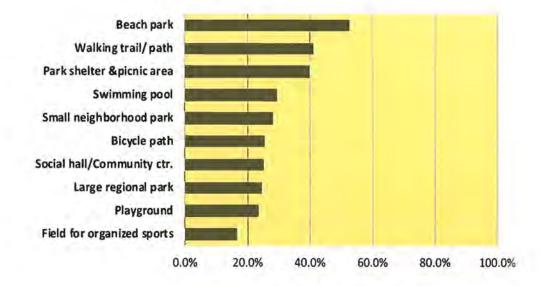
# Use of Specific Facilities & Sites

The survey asked respondents to review 32 sites and indicate how often someone in their household visited specific sites in an average month. The question also asked about the frequency of visitation and the potential for future use. A chart with all of te sites is on page 21.

Key findings of the results include:

- More than 50% of respondents said someone in their household visits a beach park in an average month, highest for all recreation sites.
- Other popular destinations are walking trails/paths and park shelters/ picnic areas, both with about 40% of respondents.
- Both beach parks and walking trails/paths and park shelters/ picnic areas exhibited a median visitation rate of four times/month, considerably higher than any of the other sites.
- When asked which of the sites they are likely to use in the future (see chart on page 22), three sites had higher responses than others
   beach parks, walking trails/paths, and park shelter/picnic areas. All three exhibit percentages between 80 - 87%.

# Use of Specific Sites or Facilities



9

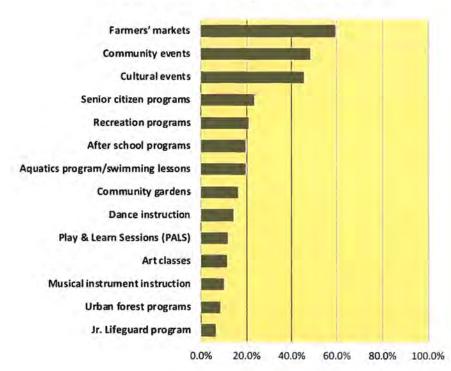
# Participation in Programs

The survey asked respondents to review 14 programs and indicate how often someone in their household participated in them over the last year.

Key findings of the results include:

- The top three programs are farmers markets, community events, and cultural events, with participation rates above 45%.
- Participation in cultural events and community events are considerably higher (between 50 - 70%) for Molokai and Hana.
- Participation in farmers markets is highest (over 60%) in the east and south districts, where they are significantly higher than other programs.

# Participation in Programs & Events



# Motivations for Recreating

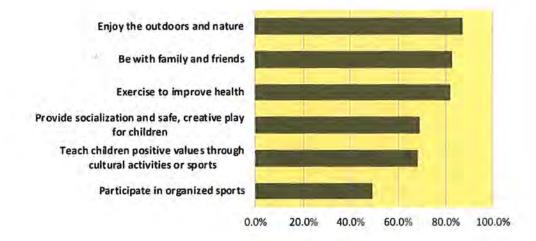
Knowing why people engage in certain recreational activities is a critical factor in meeting existing and future demands. Some activities -- exercise to improve health for example -- require specific kinds of park features suh as trails, trees for shade, and a safe environment.

For this survey, the question about motivation included six general responses. Key findings of the question include:

- The top three motivations are generally consistent for all of the districts - enjoy the outdoors and nature, be with family and friends, and exercise to improve health.
- Enjoying the outdoors and nature is cited most often for all of the districts.
- Molokai exhibited the highest percentage for participate in organized sports (55.1% compared to a countywide percentage of 49%).

# **Motivations for Participation**

% who "strongly agree"



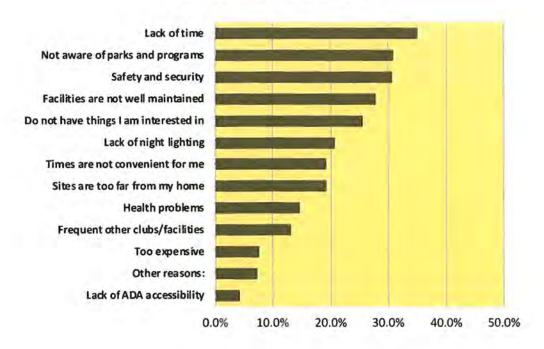
# Obstacles to Participation

A lack of time is the reason cited by most county households (35%) for not visiting parks and recreation facilities or participating in County programs. Relatively few residents indicated that inconvenient facility program hours or location were barriers to greater participation.

Other reasons cited most often are **not aware of parks and programs** and safety and security, each with about 30% of respondents. Responses for this question are generally consistent for all of the discricts with two exceptions.

- For the Hana, Molokai, West, and East districts, sites too farm from home are noticeably higher (25.4 - 29.2%). For other districts, the importance of distance ranged from 9.5% to 19.1 %.
- Safety and security concens are considerably lower in Hana (8.3%) and on Lana'i and Molokai (17.1 and 19.1 % respectively). Other districts exhibited response rates that ranged from 22.4% to 39.7 %.

# **Obstacles to Participation**

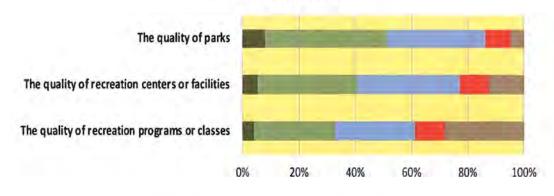


# Satisfaction with Parks, Facilities & Programs

For this survey, the question about motivation included six general responses. Key findings of the question include:

- Respondents appear to be generally satisfiefd with the quality of parks in Maui County. Over half of respondents noted that parks were good or excellent.
- The quality of recreation centers or facilities scored slightly lower, with about 40% of respondents saying they were good or excellent.
- Respondents on Molokai and in the South and West districts gave higher percentages (about 45%) for the quality of recreation centers. For other districts, the percentage of good/excellent rating is about 35%.
- The awareness of recreation programs is significantly lower than it is for parks and recreation programs. About 30% of respondents indicated that they did not know about recreation programs.

# **Overall Satisfaction**



Excellent Good Fair Poor Don't Know

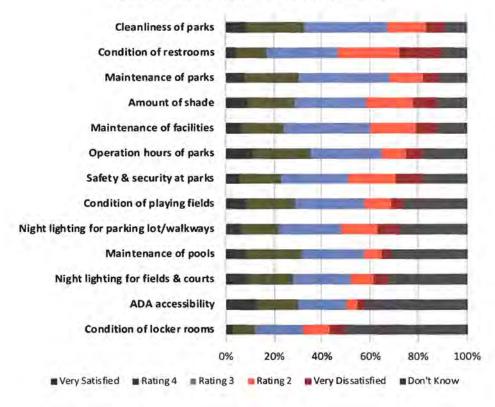
# Satisfaction with Specific Features

Survey respondents were asked about their satisfaction with 13 specific aspects of parks and facilities. As seen in the chart below, the question generated a relatively high number of "don't know" responses. As a result, the chart is organized with the lowest percentage of "don't know" responses at the top, increasing towards the bottom.

#### Key findings of the question include:

- Satisfaction (as measured by Rating 5 or Very Satisfied) appears to be relatively higher for cleanliness of parks, operation hours of parks, and maintenance of pools.
- Features that have relatively lower ratings are condition of restrooms, safety and security at parks, amount of shade, and maintenance of facilities.

# Satisfaction with Specific Features



# Appendix A: Survey Form

#### MAUI COUNTY PARKS AND RECREATION COMMUNITY NEEDS ASSESSMENT SURVEY

The Maui County, Department of Parks and Recreation would like your input to help identify parks and recreation priorities. This survey will take 10-15 minutes to complete. All your answers are confidential. Please answer each question by completely shading in the bubbles or writing in the space provided with a pencil or pen. When you are finished, please return the survey in the enclosed postage-paid envelope. Mahalo for your time.

- 1. The following is a list of possible activities that residents may do at Maui County Parks and Recreation facilities. For each activity, please tell us:

  - a. Did you or other members of your household participate in this activity in the past year?
    b. If participated, please indicate your level of participation in the past year.
    c. Is the number of activities currently provided adequate or do we need more or less of these activities?

100	The state of the s	A		В			C			
Activity		Participated		Participation level (SELECT ALL THAT APPLY)			Should the County provide more or less of these activities?			
	Yes	No	Youth	Adult	Senior	More	Adequate	Less		
Basebal	0	0	0	0	0	0	0	0		
Basketball - men	0	0	0	0	0	0	0	0		
Basketball - women	0	0	0	0	0	0	0	0		
Bicycling	0	0	0	0	0	0	0	0		
Camping	0	0				0	0	0		
Canoe paddling	0	0	0	0	0	0	0	0		
Cricket	0	0	0	0	0	0	0	0		
Disc golf	0	0	0	0	0	0	0	0		
Diving/snorkeling	0	0	0	0	0	0	0	0		
Fishing/throw net	0	0	0	0	0	0	0	0		
Flag football	0	0	0	0	0	0	0	0		
Frisbee	0	0	0	0	0	0	0	0		
Futsal	0	0	0	0	0	0	0	0		
Hula	0	0	0	0	0	0	0	0		
Inline skating	0	0	0	0	0	0	0	0		
Jogging	0	0	0	0	0	0	0	0		
Kickball	0	0	0	. 0	0	0	0	0		
Martial arts	0	0	0	0	0	0	0	0		
Ocean sports	0	0	0	0	0	0	0	0		
Parties/celebrations	0	0								
Pionic	0	0				0	0	0		
Rugby	0	0	0	0	0	0	0	0		
Skateboarding	0	0	0	0	0	0	0	0		
Soccer - men	0	0	0	0	0	0	0	0		
Soccer - women	0	0	0	0	0	0	0	0		
Softball - men	0	0	0	0	0	0	0	0		
Softball - wom en	0	0	0	0	0	0	0	0		
Surfing	0	0	0	0	0	0	0	0		
Swimming in ocean	0	0	0	0	0	0	0	0		
Swimming in pool	0	0	0	0	0	0	0	0		
Tennis	0	0	0	0	0	0	0	0		
Track and field	0	0	0	0	0	0	0	0		
Volleyball - men	0	0	0	0	0	0	0	0		
Volleyball - women	0	0	0	0	0	0	0	0		
Wallding	0	0	0	0	0	0	0	0		
Water aerobics	0	0	0	0	0	0	0	0		
Weight lifting/training	0	0	0	0	0	0	0	0		
Westing	0	0	0	0	0	0	0	0		
	i o	0	o	0	0	0	0	0		
Yoga Zumba	0	0	0	0	0	0	0	0		
Other activities not listed:	0	0	0	0	0	0	0	0		
Curio advities not exect.						-		-		
	- 0	0	0	0	0	0	0	0		
	0	0	0	0	0	0	0	0		

Maui County Parks and Recreation Community Needs Assessment Survey - Confidential

Page 1 March, 2016

Please rate the following for Maul County Parks and Recreation facilities and programs as a whole. (FILL IN ONE RESPONSE PER LINE)

	Excellent	Good	Fair	Poor	Don't know
The quality of parks	0	0	0	0	0
The quality of recreation centers or facilities	0	0	0	0	0
The quality of recreation programs or classes	0	0	0	0	0

- The following is a list of programs and activities that are or could be offered in Maul County. For each program or activity

  - Did you or other members of your household participate in these programs in the past year? Is the number of programs/activities currently provided adequate or do we need more or less of these
  - programs/activities?
    c. If you do not currently participate in these programs or activities, would you participate in such programs in the future if they were offered?

	1 2 2 1		В	C			
Program/Activity	Partic	ipated	No	ed more or les	Would participate		
	Yes	No	Need	Adequate	Need less	Yes	No
After school programs	0	0	0	0	0	0	0
Aquatics program/swimming lessons	0	0	0	0	0	0	0
Art classes	0	0	0	0	0	0	0
Community events	0	0	0	0	0	0	0
Community gardens	0	0	0	0	0	0	0
Cultural events	0	0	0	0	0	0	0
Dance instruction	0	0	0	0	0	0	0
Farmers' markets	0	0	0	0	0	0	0
Jr. Lifeguard program	0	0	0	0	0	0	0
Musical instrument instruction	0	0	0	0	0	0	0
Play & Learn Sessions (PALS)	0	0	0	0	0	0	0
Recreation programs	0	0	0	0	0	0	0
Senior citizen programs	0	0	0	0	0	0	0
Urban forest programs	0	0	0	0	0	0	0
Others not listed:		0	0	0	0	0	0
	0	0	0	0	0	0	0
	0	0	0	0	0	0	0

How satisfied are you with each of the following aspects of the Maui County Parks and Recreation facilities? Using a scale of 5 to 1, where 5 is very satisfied, and 1 is very dissatisfied, please indicate your overall satisfaction with each of the following. (FILL IN ONE RESPONSE PER LINE)

	Very satisfied	-			Very dissatisfied	Don't Know
	5	4	3	2	1	
ADA accessibility	0	0	0	0	0	0
Amount of shade	0	0	0	0	0	0
Cleanliness of parks	0	0	0	0	0	0
Condition of locker rooms	0	0	0	0	0	0
Condition of playing fields	0	0	0	0	0	0
Condition of restrooms	0	0	0	0	0	0
Maintenance of facilities	0	0	0	0	0	0
Maintenance of parks	0	0	0	0	0	0
Maintenance of pools	0	0	0	0	0	0
Night lighting for fields & courts	0	0	0	0	0	0
Night lighting for parking lot/walkways	0	0	0	0	0	0
Operation hours of parks	0	0	0	0	0	0
Safety & security at parks	0	0	0	0	0	0
Overall satisfaction	0	0	0	0	0	0

5. How strongly do you agree with each of the following statements?

We visit parks or participate in recreational programs to	Strongly	Neither agree nor disagree	Strongly Disagree	
AND COME AND IN THE SERVICE OF THE PROPERTY OF	3	2	1	
Be with family and friends	0	0	0	
Enjoy the outdoors and nature	0	0	0	
Exercise to improve health	0	0	0	
Participate in organized sports	0	0	0	
Provide socialization and safe, creative play for children	0	0	0	
Teach children positive values through outtural activities or sports	0	0	0	

17

- 6. The following is a list of facilities that are or could be offered in Maui County. For each facility, please tell us:
  - a. How many times in an average month do you or other members of your household use each of the following facilities?
  - b. Do we have an adequate number of such facilities or do we need more or less?
  - c. Are you or other members of your household likely to use each facility in the future?

to the court open on the first	Α	В			C Likely to use	
Facility	# of times	Need Adequate		Need		
	used in an average month			less	Yes	No
Archery					0	0
Ballfield for organized sports		0	0	0	0	0
Beach park		0	0	0	0	0
Bicycle path		0	0	0	0	0
BMX track				-	0	0
Bowling alley					0	0
Climbing wall	Contract of the Contract of th		-		0	0
Firing range		0	0	0	0	0
Golf course		0	0	0	0	0
Heritage garden		0	0	0	0	0
Horseshoe pit	7				0	0
Indoor athletic court		0	0	0	0	0
Large regional park		0	0	0	0	0
Nature trail					0	0
Off-leash dog park		0	0	0	0	0
Outdoor basketball court		0	0	0	0	0
Outdoor fitness equipment					0	0
Park shelter and pionic area		0	0	0	0	0
Pickleball court			0-0-0		0	0
Playground		0	0	0	0	0
Racquetball court				-	0	0
Ropes course / Challenge course	-				0	0
Sand volleyball court		0	0	0	0	0
Skate park		0	0	0	0	0
Small neighborhood park		0	0	0	0	0
Soccer golf course	A CONTRACTOR				0	0
Social hall / Community center		0	0	0	0	0
Swimming pool		0	0	0	0	0
Tennis court		0	0	0	0	0
Walking trail/ path		0	0	0	0	0
Water park / splash pad					0	0
Weightroom		0	0	0	0	0

7.	What prevents you or other members of your household most often from visiting a park or participating in a recreational
	program? (SELECT UP TO FIVE)

Do not have things I am interested in	0
Facilities are not well maintained	
Frequent other clubs/facilities	
Health problems	0
Lack of ADA accessibility	
Lack of night lighting	o
Lack of time	
Not aware of parks and programs.	0
Safety and security	
Sites are too far from my home	0
Times are not convenient for me	
Too expensive	0
Other reasons (please specify below):	0
Control of the Contro	

8.	In your own words, what else should the administration consider doing at the Maul County Parks and Recreation facilities to improve the quality	16. What is your home ownership status?
	of life for you and your family?	Rent
	or mo tor you and your tarmy.	Occupy without payment
		Other (please specify).
		17. Are you a registered voter?
		Yes(
		No
		110 (2007)
		18. What is your current employment status?
_		Employed full-time
		Employed part-time
_		Not employed
		Student
		Retired
		Other (please specify):
Jus	t a few questions for classification purposes:	19. What ethnic group do you most identify with (SELEC)
9.	How old are you?	ONE)?
	18-25 O	African American
	26-35O	Caucasian
	36-45	Chinese
	46-55	Filipino
	56-65O	Guamanian/Chamorro
	66-75O	Hawaiian/Part-Hawaiian(
	75+O	Hispanic
		Japanese
10.	How long have you lived on Maui?	Korean
*	Not a full-time resident	Pacific Islander (not Hawaiian)
		Mixed, not Hawaiian
	Less than five years	Other (please specify):
	5-10 years	Other (piease specify).
	11-20 years	20. What is the highest level of education you have
	More than 20 years	completed?
	Lifetime residentO	
	West to the second second	High school, HS equivalent or less
11.	What is your gender?	Some college/Associates degree/technical school
	Male	Bachelor's degree
	FemaleO	Graduate degree or higher
12	What is your marital status?	21. What was the income of your household in 2015?
12.		Less than \$25,000
	Single, never married	\$25,000 to \$49,999
	Married	\$50,000 to \$74,999
	Divorced	\$75,000 to \$99,999
	SeparatedO	
	Widowed	\$100,000 to \$149,999
2	and a top and the property and the age of the second secon	\$150,000 to \$249,999
13.	Number of members in your household including	
	yourself?	Unsure
	Number of members in household	No comment
14.	Number of household members under age 18?	22. What is your zip code?
	L  Number of members under 18	
45	Number of household members over age 65?	Mahalo for taking the time to complete this survey.
15.		
15.	Number of members over 65	

The Department of Parks and Recreation's mission:

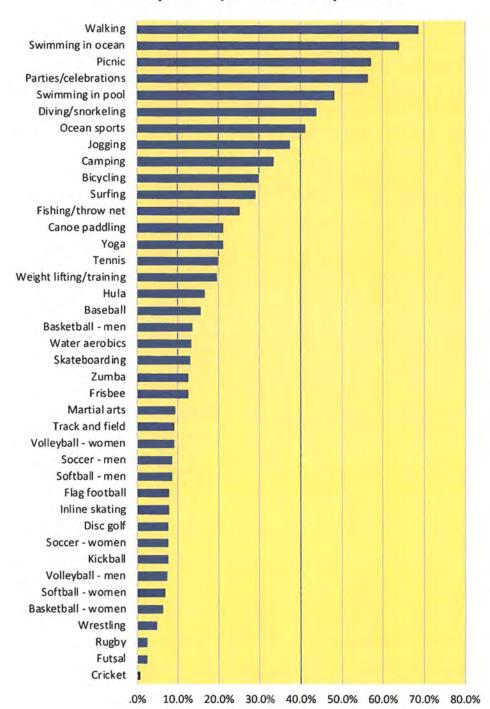
"Provide safe, satisfying and cost effective recreational opportunities for the residents of and visitors to Maul County"

Maui County Parks and Recreation Community Needs Assessment Survey - Confidential © SMS

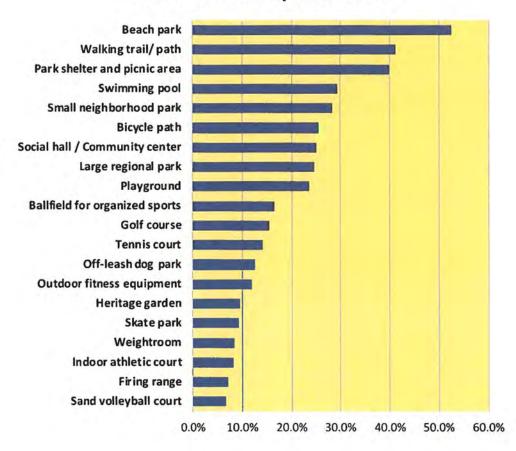
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## **Appendix B: Selected Charts**

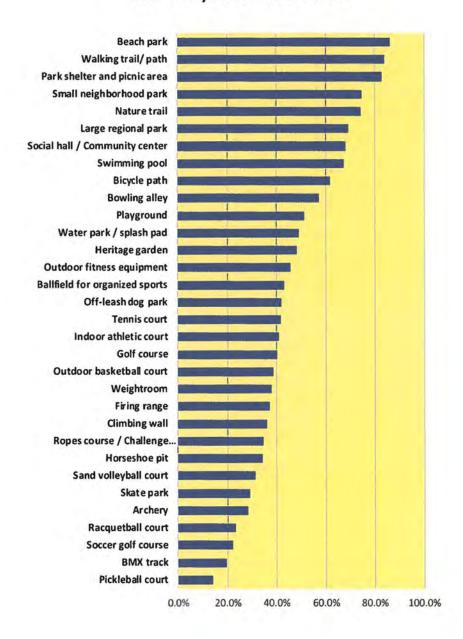
## **Activity Participation - County of Maui**



## **Use of Facilities by Households**



### Sites Likely to Use in the Future





## Youth League & Program Participant Evaluation

1. Did you have fun participating in this league or program? Yes No
Would you like to share why you had fun or did not have fun?
2. Did you learn anything from the league or program? Yes No
If yes, what did you learn?
3. Is there anything that would make this league or program better? Yes No
If yes, would you like to share what will make it better?
4. Would you recommend this league or program to a friend? Yes No
If no, why not?
5. If this league or program were offered again, would you participate? Yes No
If no, why not?
6. Were you able to fully participate in this league or program? Yes No
If no, please explain.
7. Were the facilities safe and accessible for you? Yes No
If no, please explain.
8. On a scale of 1-10 (10 is the highest) how happy were you with the league or
program? (Check one)
100 90 80 70 60 50 40 30 20 10
Thank you for your participation!
The The





## Department of Parks & Recreation Youth League/Program & Facility Satisfaction Evaluation

Name of Recreational Program: Location of Program:

1.	How would you rate th	e recreation program that was just completed?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
2.		e professionalism of the recreation staff that conducted the program?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
3.		e facility where the recreation program was held?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
4.	How would you rate th	e facility access (ADA compliance)?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
5.	Recommendations for	the program or facility? No Yes O If yes please specify:
6.	Any other comments?	

The Department of Parks & Recreation thanks you for completing our program evaluation!



## Department of Parks & Recreation Adult League/Program & Facility Satisfaction Evaluation

Name of Recreational Program: Location of Program:

1.	How would you rate th	e recreation program that was just completed?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
2.	•	e professionalism of the recreation staff that conducted the program?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
3.		e facility where the recreation program was held?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
4.	How would you rate th	e facility access (ADA compliance)?
	O Excellent	(100%)
	O Very good	(90%)
	O Above average	(80%)
	O Average	(70%)
	O Needs Improving	(60%)
5.	Recommendations for	the program or facility? No Ves O If yes please specify:
6.	Any other comments?	

The Department of Parks & Recreation thanks you for participating in our survey!



# Department of Parks & Recreation Youth League & Program Summary Report

Name of Program & Facilities Used: Months & Days Program Ran: Total Number of Program Participants: Ages of Program Participants: Total Number of Program Staff:

#### **Participant Evaluations**

Number of Participant Evaluations Collected:

Question #1 - Total for Yes

/ Total for No

Question #5 - Total for Yes

/ Total for No

Question #8 - Average of Participant Satisfaction

Specific participant comments to note?

#### **Program & Facility Evaluations**

Number of Program & Facility Evaluations Collected:

Question #1 - Average

Question #2 - Average

Question #3 - Average

Any program, facility or ADA issues or concerns that need to be addressed?

Specific recommendations or comments to note?



## Department of Parks & Recreation Adult League & Program Summary Report

Name of League/Program & Facilities Used:

Months & Days Program Ran:

**Total Number of Program Participants:** 

Ages of Program Participants:

Total Number of Program Staff:

### **Program & Facility Evaluations**

Number of Program & Facility Evaluations Collected:

Question #1 - Average

Question #2 - Average

Question #3 - Average

Question #4 - Average

Any program, facility or ADA issues or concerns that need to be addressed?

Specific recommendations or comments to note?

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

#### 1. EXECUTIVE SUMMARY

The Bowers + Kubota team reviewed the information provided by the Maui County Department of Parks and Recreation (DPR), Planning and Development Division and has provided this Accessibility Transition Plan, including the analysis, solutions, and cost estimates for (134) parks as cited in Appendix A and broken down in the following districts:

- 1. Central Maui: thirty-four (34) sites;
- 2. South Maui: thirty-one (31) sites;
- 3. West Maui: twenty-six (26) sites;
- 4. East Maui: twenty-two (22) sites;
- Hana: seven (7) sites;
- 6. Lanai: four (4) sites;
- 7. Molokai: ten (10) sites.

#### Purpose of Analysis:

- Review information as provided by DPR of items not in compliance with the 1991 Americans with Disabilities Act Accessibility Guidelines (ADAAG);
- Provide specific narrative corrective measures, not buildable design documents, to comply with 2010 Americans with Disabilities Act Accessibility Guidelines for each item;
- Provide budgetary estimates for probable design and construction costs of corrective measures for each facility prioritized, respectively, based on the ADAAG priority for Path of Travel.

#### Additional Analysis Provided (Based on significant corrective measures required):

Provide budgetary estimates for probable design and construction costs of corrective measures
for each facility prioritized, respectively, based on the Hawaii Outdoor Developed Areas
Accessibility Guidelines (HODAAG) Design and Construction Requirements as required under
§103-50, Hawaii Revised Statutes (HRS) and limited to significant items requiring attention by the
County as called out by Disability and Communication Access Board (DCAB) as a result of their
inquiry meeting with Bowers + Kubota.

#### II. PRIORITY CLASSIFICATIONS:

#### A. Priorities 1-4 and Other Recreational Areas:

The checklists used to conduct the site surveys followed four priorities and pertinent recreational areas that are listed in the Department of Justice ADA Title III regulations. These priorities are equally applicable to state and local government facilities and are listed as follows:

- Priority 1 Accessible approach and entrance;
- Priority 2 Access to goods and services;
- Priority 3 Access to public toilet rooms;
- Priority 4 Access to other items such as water fountains and public telephones;
- Golf Facilities;
- Play Areas;
- Swimming Pools, Wading Pools & Spas;
- Miscellaneous Areas of sports activities, team or player seating, exercise machines & equipment, bowling lanes, saunas & steam rooms, shooting facilities.

#### B. Priority 5:

This checklist was created and added to communicate additional requirements not established in the original scope of work per the HODAAG Design and Construction Requirements as required under HRS §103-50 and as cited by DCAB as a result of an inquiry meeting with Bowers + Kubota. Information provided in this section is compressed and based on data extrapolated from existing surveys. It does not include the full extent of this Priority, potential variances or waivers, and/or other clarifications.

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

#### III. HISTORICAL SITES:

A report for each park facility has been prepared and, overall, sites are characterized by
varying types of usage and unique amenities for both public park users and private tenants
that hold leases with DPR. Included in this may be historic sites which will need to be
confirmed and verified according to the State of Hawaii Register of Historic Places, the
National Register of Historic Places, and the Maui County Historic Districts I, II, and III as
listed in Title 19, Article III, Chapter 19.50.

Prior to commencement of any work, the County must determine if the park facility is registered to any of the above to assure compliance.

- Any renovation or additional work may need to be reviewed by and/or comply with the
  State Historic Preservation Division (SHPD), an officer under the State of Hawaii Department
  of Land and Natural Resources (DLNR). Under Hawaii Revised Statutes Chapter 6E, an
  historic property is an object, district, structure, site, or building that is 50 years or older.
  Historic properties that meet the significance criteria and retain historic integrity may be
  eligible for, or listed to, the Hawaii or National Register of Historic Places.
- IV. TENANTS: Private tenants that operate independently and/or under their own lease agreement are not included in this report per instruction from County of Maui Department of Parks and Recreation.
- V. SUMMARY OF PROBABLY DESIGN AND CONSTRUCTION COST The following is an overview total for all districts. For details by district and by park please refer to subsequent reports.

TOTAL ALL DISTRICTS:	\$32,862,035.60		
MOLOKAI DISTRICT	2,532,494.15		
LANAI DISTRICT	1,033,899.40		
HANA DISTRICT	1,104,760.40		
EAST DISTRICT	7,517,908.80		
WEST DISTRICT	5,443,438.80		
SOUTH DISTRICT	5,845,105.25		
CENTRAL DISTRICT	\$9,384,428.80		

#### County of Maui – Department of Parks and Recreation ACCESSIBILITY TRANSITION PLAN

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

#### APPENDIX A

#### Central Maui: thirty-four (34) sites;

- 1. Hoaloha Park
- 2. Honolii Park
- 3. Kahului Community Park
- 4. Kahului School Park
- 5. Kamalii Park
- 6. Kehalani Mauka Park
- 7. Keopuolani Regional Park
- 8. Kepaniwai Heritage Gardens
- 9. Leisure Estates Park
- 10. Lihikai School Park
- 11. Maui High School Park (Luana Gardens)
- 12. Maui Lani Park
- 13. Mokuhau Park
- 14. Paukukalo Beach Park
- 15. Paukukalo Park
- 16. Pomaikai Park
- 17. Puuohala Park
- 18. Richard "Pablo" Caldito Sr. Park
- 19. Spencer Shiraishi Swimming Pool
- 20. Velma McWayne Santos Center (Papohaku Park)
- 21. Waiale Park
- 22. Waiehu Beach Park
- 23. Waiehu Heights Park
- 24. Waiehu Terrace Park
- 25. Waihee Beach Park
- 26. Waikapu Park
- 27. Wailuku Elementary School Park
- 28. Wailuku Gym (Including Wailuku Pools)
- 29. Wailuku Heights Park
- 30. War Memorial Complex
- 31. Wells Park Complex

#### South Maui: thirty-one (31) sites;

- 1. Alii Village Subdivision Park
- 2. Charlie Young Park
- 3. Cove Park
- 4. Hale Pillani Park
- 5. Haycraft Park
- 6. Kalama Park
- 7. Kalepolepo Park
- Kamaole I

#### County of Maul – Department of Parks and Recreation ACCESSIBILITY TRANSITION PLAN

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

- 9. Kamaole II
- 10. Kamaole III
- 11. Kamaole Point
- 12. Kaonoulu Park
- 13. Keawakapu Beach Park Parking Lot
- 14. Kenolio Recreational Complex
- 15. Keonekai Park (Kauhale Kai Subdivision)
- 16. Kihei Community Center
- 17. Kilohana Park
- 18. Liloa Drive Bike Trail
- 19. Mai Poina Oe Lau
- 20. Maui Raceway Park
- 21. Moana Estates Park
- 22. Palauea Beach Park
- 23. Piikea Park
- 24. Polo Beach Park
- 25. Poolenalena Park
- 26. South Maluaka Beach Park
- 27. South Maui Community Park
- 28. Ulua-Mokapu Beach Park
- 29. VFW Hall (Paul Kenolio Hall)
- 30. Wailea Beach Park
- 31. Waipulani Park

#### West Maui: twenty six (26) sites;

- 1. Ainakea Park
- 2. D. T. Fleming Park
- 3. Front Street Park
- 4. Hale Aloha Church
- Hale Paahao
- 6. Hanakaoo Park
- 7. Honokawai Park (Honokawai Beach Park)
- 8. Kahananui Village Park
- 9. Kamehameha Brick Palace (The Brick Palace of Kamehameha I)
- 10. Kamehameha Iki
- 11. Kauhale Mahinahina Park
- 12. Kelawea Mauka Park (Kelawea Mauka Makai Park)
- 13. Lahaina Banyan Court & Lahaina Courthouse Park (Old Lahaina Courthouse)
- 14. Lahaina Civic Center
- 15. Lahaina Recreation Center
- Lahaina Recreation Center II
- 17. Launiupoko Park
- 18. Napili Park
- 19. Papalaua Wayside Park
- 20. Paunau Park

#### County of Maui – Department of Parks and Recreation ACCESSIBILITY TRANSITION PLAN

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

- 21. Pohaku Park
- 22. Puamana Park
- 23. Ukumehame Firing Range
- 24. Wahikuli Terrace Park
- 25. Wahikuli Wayside Park

#### East Maui: twenty two (22) sites;

- 1. 4th Marine Division Memorial Park
- 2. Eddie Tam Memorial Park
- 3. HA Baldwin Beach Park
- 4. Haiku Park
- 5. Haliimaile Park
- 6. Hannibal Tavares Community Center
- 7. Harold Rice Memorial Park
- 8. Hookipa Beach Park
- 9. Keokea Park
- 10. Kuau Bay Beach Park
- 11. Kula Ballfield
- 12. Kula Community Center
- 13. Kula Malu
- 14. Lower Paia Park
- 15. Makana Park
- 16. Paia Community Center
- 17. Paia Gym & Ball Park
- 18. Paia Parking Lot
- 19. Rainbow Park
- 20. Sun Yat Sen
- 21. Ulumalu Arena
- 22. Waiakoa Gym

#### Hana: seven (7) sites;

- 1. Hana Ball Park
- 2. Hana Beach Park (Hana Bay Beach Park)
- 3. Hana Community Center
- 4. Helene Hall
- 5. Keanae Park
- 6. Kipahulu Point Light Station (Kipahulu Point Park)
- 7. Paani Mai Park

#### Lanai: four (4) sites;

- 1. Fraser Ave. Park
- 2. Lanai 5th Street Courts
- 3. Lanai Community Center
- 4. Lanai Park Complex

#### Molokai: ten (10) sites.

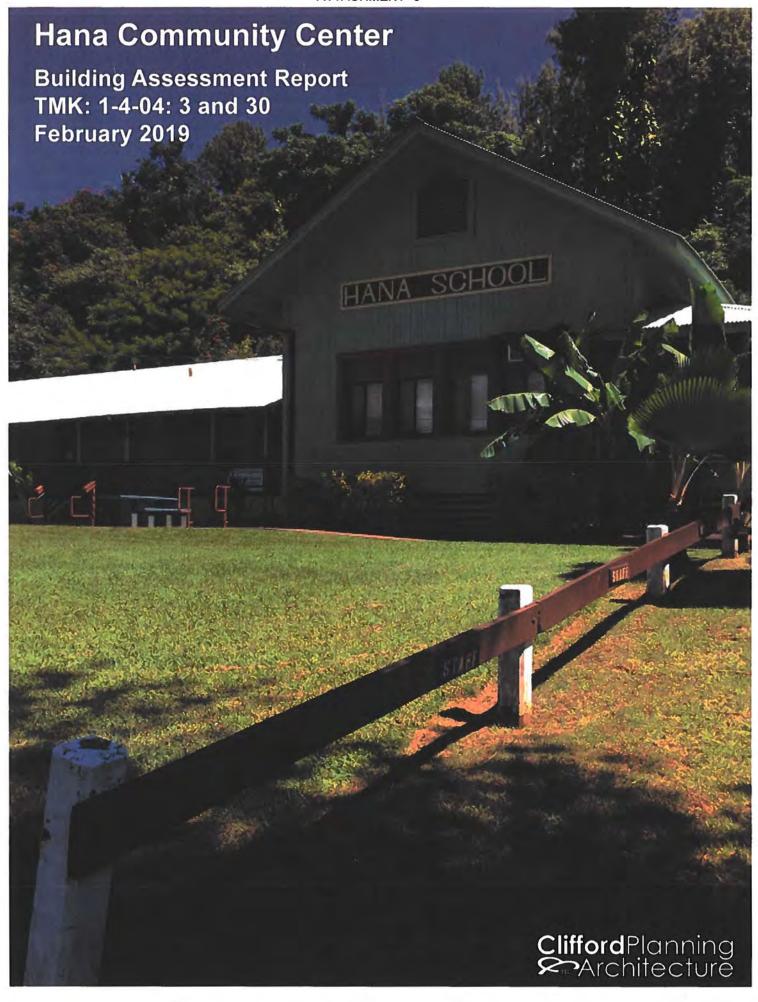
- 1. Duke Maliu Regional Park
- 2. Halawa Park

Job No.: P17/023

Prepared by: Bowers + Kubota Consulting

- 3. Kilohana Community Center
- 4. Kualapuu Community Center
- 5. Maunaloa Community Center
- 6. Mitchell Pauole Center
- 7. Molokai Yacht Club, Kaunakakai Lighthouse Park
- 8. One Alii Park I & II
- 9. Papohaku Beach Park
- 10. Puu Hauole Park

**END OF ATTACHMENT "5"** 





February 05, 2019 Hana Community Center Assessment Report TMK 1-4-04: 3 and 30

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Note: Random paint samples were taken at the facility from fallen paint chips on the floor and/or walls and ceiling at the Park's offices, and the community center exterior walls and corridors. The paint sampling was not in the CP&A scope but CP&A took random samples as a courtesy and were given to EMET to evaluate the chips at no cost to the Owner. Samples taken were not intended to be a scientific, or follow HAZMAT procedures but only to determine if further forensic/HAZMAT investigation should be undertaken for the entire facility.

\*\*\*\*\*\*



November 21, 2018

## Hana Community Center Building Assessment Report TMK 1-4-04: 3 and 30

### Scope of Work:

Clifford Planning & Architecture, LLC was contracted to provide an assessment of the condition of three existing buildings, Buildings A, D and E, with respect to architectural finishes, mechanical, electrical and structural systems and provide recommendations to extend the life of the building for 20 years along with a high level cost estimate for recommended improvements.

Clifford Planning and Architecture, Douglas Engineering Pacific, KAI Hawaii and Cumming Corporation conducted a visual survey on the condition of the buildings and interior spaces on Oct 3, 2018. Not every room was opened for viewing and no destructive forensic investigation was conducted on the buildings. Random paint samples either peeling from walls and ceilings or found on the floor of interior and exterior spaces were taken for analysis. A detail building code analysis was not part of this assessment but items observed during our site visit that appear to be non-compliant and or non-conforming are noted on our photo log. Building, mechanical, electrical and life safety codes have changed since the buildings were constructed in the 1930s. We did not have any information on the building code(s) that were in effect at that time the buildings were constructed. Infrastructure capacity and below grade electrical, water, wastewater and drainage conditions were not part of our scope of work. Our assumptions, exclusions and disclaimer are on Attachment B.

The drawings by Maui Architectural Group, Inc. for the roof repair and other improvements in August 1994 show Construction Type V-N and Group Occupancy B-2 but did not reference which code UBC or IBC (Uniform Building Code) or the year. Improvements included the replacement of the corrugated metal roof, added hurricane clips, addition of new railings, doors, repaired windows and replaced limited amount of wood decks, ceilings and walkway and repainted of some walls and ceilings to match existing. MAG Inc. drawings are shown on Appendix A.

A description of the different classes and standard of office buildings by BOMA, Quebec (Building Owners and Managers Association International), is attached as a reference on Appendix B.

November 21, 2018 Hana Community Center Assessment Report TMK 1-4-04; 3 and 30

## Executive Summary:

The property has a total of 6 buildings. This assessment covers only Buildings A, D, and E. The Art Barn, Senior Center and the Parks & Recreation Maintenance Garage were not part of the scope and not surveyed. Our research indicates that the three buildings were built in 1930. The buildings are most likely to be or can qualify as historic structures but this has not been confirmed by the Parks Department whether it is on the Federal or State Register of Historic Places. The buildings were once the home of Hana School. Photos of the interior and exterior condition of the buildings and finishes with recommended improvements are included as part of this report.

In general, the single wall, wood framed structures is in fair condition. The metal roof was replaced and some structural repairs and ADA access improvements were made in 1994. Various improvements have made to the exterior and interior of the buildings over the last 20 or 30 years to adapt to the changes in tenants, occupancy, uses and the location of demising walls of the interior space.

The buildings have stood for over 60 years and will probably stand for another 20 years if nothing was done, however, this is not recommended.

- The buildings are showing signs of deterioration, disrepair and what appears to be extensive, dry termite damage. Repair and maintenance are urgently needed as a first step to stop further deterioration of the structures.
- Renovation of interior spaces to improve the quality of the workplace environment is also recommended as a long range project.
- 3. A comprehensive exterior design guide should be provided for future renovation and/or restoration work to ensure a consistent and cohesive appearance for the campus as well as complement the spirit of the original design intent of the buildings. Some of these elements include window and door types, insect and security and screens, AC wall and window units, signage and graphics, building and parking illumination, interior and exterior light fixtures and building materials and colors.
- 4. Loose paint samples were taken from the floor in the Park's Dept. Office and from paint that were peeling on the exterior wood siding and/or ceiling above the exterior walkway. The attached report from EMET indicates that the samples

evaluated is positive and contain lead based paint. While our samples taken were random and not scientific, our intent was to determine whether there was any evidenced of lead-based paint to warrant further forensic investigation. In this case, the samples were positive. We therefore **strongly recommend** that additional paint and dust samples for both interior and exterior of the buildings be conducted immediately by a certified Industrial Hygienist and provide recommendations to mitigate and/or abate this condition.

The architectural portion of this report is grouped into exterior and interior improvements. Priority of improvements is marked on the attached photos log.

Improvements which impact health life, safety, welfare and code related items have the highest priority and are designated with an R&M #1(repair and maintenance). Items that require maintenance and repairs that are not immediate and could be deferred are designated with an R&M #2. Qualitative items effecting non-structural/cosmetic repairs and/or improving workplace environment will be designated with LR#3 (long range).

The improvements could be grouped into exterior and interior improvements and three CIP (Capital Improvement Project) categories. We recommend the following improvements to stabilize the deterioration of the buildings:

- Repair and provide maintenance to stabilize structures from further deteriorations.
  - a. Tent structures
  - Repair and or replace termite or dry rot damaged wood soffits, ceiling, walls and floors.
  - Remove vegetation on roof and replace rusted corrugated roof panels and flashing.
  - d. Abate and stabilize the existing lead -based paint throughout the facility. Repaint exterior building including walkways and corridors.
- Building codes and health, life and safety issues:
  - Structural improvements to meet hurricane force winds (105 mph) prescribed in the 2006 IBC.
  - Remove and replace non-structural office partitions that do not meet code and ADA access.
  - c. Renovate public bathrooms.
  - d. Correct non-code compliant electrical wiring, panels and fixtures.

November 21, 2018

Hana Community Center Assessment Report

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- Improve workplace environment and comfort level of tenants and users and bring the facility to a "Class B" office building- see attached.
  - Install spilt AC system throughout to office spaces.
  - b. Install acoustical tile grid ceiling and new light fixtures.
  - Install insulation above the new grid ceiling tile to meet current energy code.
  - d. Install new (LVT) vinyl plank flooring on interior spaces.
  - e. Repaint interior walls and ceilings.
  - f. Provide a design pallet for interior and exterior finishes and colors.
  - g. Provide comprehensive signage and wayfinding package

#### Cost Estimate:

A cost estimate has been prepared by Cumming Corporation and included as part of this report. The cost is grouped into eight major cost categories and listed on Attachment - A. The estimate is rough order of magnitude and prepared based on field observations and recommended improvements without the benefit of detailed design drawings.

It has been our pleasure to provide you with this assessment report. We would like to thank Laurie Ann Smith-Kaukini and Brian Shimokawa and the Parks Department staff who was generous of their time to assist our team during the site visit. Should you have any questions or would like a presentation of our findings and recommendations please call my cell phone 808 391-6634 or email <a href="mailto:ben.lee@cliffordplanning.com">ben.lee@cliffordplanning.com</a>.

Sincerely, CLIFFORD PLANNING & ARCHITECTURE, LLC

Benjamin B. Lee, FAIA, LEED AP Principal

Encl;

November 21, 2018 Hana Community Center Assessment Report TMK 1-4-04: 3 and 30

#### Attachment - A

The following repair and maintenance, and recommended improvement cost items are cross referenced to the interior and exterior photo logs and the Hana Community Center Property Condition Assessment Report dated November 19, 2018 by Cumming:

- 1. Tent structure and repair termite damage, floors, walls wood soffits.
- Paint abatement and stabilization. The few samples we took are positive for lead based paint. They will have to repaint interior and exterior of all three bldgs.to stabilize paint and provide a safe working environment.
- 3. Structural improvements to meet IBC hurricane force winds (attached from KAI)
- Insulate roof to meet energy code.
- Renovate public bathrooms. Existing bathrooms are in poor condition and do not meet IBC, ADA and DOH standards.
- General repair and maintenance High Priority (e.g roof leaks, ADA railing, grind and repaint or replace rusty railing brackets supports and rusty base palate connections, replace damaged walls, install fire extinguishers. Remove non-code compliant, non-structural office partitions, review exit requirements per occupant load, etc.).
- General repair and maintenance Lower Priority (e.g. crawl space lattice work, ADA drinking fountains, replace rusty corrugated roof panels, replace rusty grilles).
- Long range improvements for Bldgs. A, D & E to improve work space environment:
  - a. Install new 2x2 grid ceiling and 2x2 light fixtures.
  - b. Install AC split system for all spaces cost /sf.
  - Install LVT (luxury vinyl tile/simulated wood vinyl plank flooring) or Karndean flooring all interior spaces.
  - d. Provide design guidelines for future exterior renovation work.
  - Replace glass jalousie or wood framed sliding windows with vinyl, single hung or sliding window (Milgard or Jeld Wen commercial vinyl windows for cost purposes) with "Crimsafe" security screens.

November 21, 2018 Hana Community Center Assessment Report TMK 1-4-04: 3 and 30

#### Attachment - B

### Assumptions:

Parks Department has informed us that there will be no change in use, tenants and/or addition of County Services contemplated at this time. The structure may be historic but there is no evidence provided to us that the site and/or structures are on the Federal or State Historic Registers.

#### Exclusions:

Our site observation was limited to spaces that we were provided access. It was not intended to view every space and not in our scope to conduct detailed or destructive forensic investigation. The many spaces that were viewed are assumed to be representative of the general condition of the structure and architectural elements and finishes.

#### Disclaimer:

Recommendations made are intended to stop further deterioration of the buildings. Immediate repair and maintenance and compliance with current building, life safety and structural codes are required and recommended and if implemented should extend the life of buildings A, D and E for another 20 years with the exception of any damage to the structures caused by natural disasters. The opinions and comments in this report are based on visual observation and the documentation provided only; no warranty expressed or implied as to the condition of the structures mechanical, electrical plumbing systems and architectural elements and finishes is intended. Cost estimates are provided at a high level without the benefit of detail drawings.

\*\*\*\*\*



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
1.		Some windows are screened and some are not.	Replace screen with a wood framed screen and paint same color as window frame	6	LR #3



	BUILDING D - EXTERIOR			COST	
	PICTURE	DESCRIPTION	RECOMMENDATIONS	ESTIMATE	PRIORITY
2.	4	Termite damage soffit.	Tent structure and replace damaged boards to match existing.  Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint soffit	1	R&M #1
3.		Blistered and cracked exterior paint. Paint may contain red lead	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint soffit. Replace damaged boards to match existing.	2	R&M #1



	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
4.		Blistered and cracked exterior paint.	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint soffit.	2	R&M #1
5.		Blistered and cracked exterior paint. Paint may contain red lead	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint soffit. Replace damaged boards to match existing.	2	R&M #1



	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
6.		Rusted screws on security screen over jalousie windows.	Remove and replace with SS screws. Alternate replace jalousie windows with vinyl awning windows and delete security screens. Sample paint and abate and stabilize if it is positive for lead based paint. Repaint window frame.	7	R&M #2
7.		Rust on handrail- typical.	Remove rust and repaint. Alternate remove and replace with galvanized pipe railing.	6	R&M #1



	BUILDING D - EXTERIOR	(a			775
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
8.		Rust on handrail bracket support.	Replace bracket.	6	R&M #1
9.		Rust on pipe railing supports.	Remove and replace with galvanized pipes and brackets.	6	R&M #1



	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
10.		Electrical and communication wires. Correct to meet electrical code. See DEP comments. Lattice to crawl space should match lattice on each side.	Replace door and place lattice over door to match lattice on both sides of the door.	7	R&M #2
11.		Various sized AC units at jalousie windows.	Consider replacement of window AC units with a split system.	8b	LR #3
			Consider replacing all existing jalousie and wood framed, single hung windows with vinyl sliding or single hung windows to improve security.	8e	LR #3



	BUILDING D - EXTERIOR	₹			
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
12.		Paint peeling and blister along walkway soffit.	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint soffit. Replace damaged boards to match existing.	1	R&M #1
13.		DF would not meet ADA.	Add ADA DF.	7	R&M #2



	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
14.		Exterior paint peeling and there is vegetation on roof. DEOP to comment on electrical and communication wires.	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Repaint building.	1	R&M #1
15.		Rusted corrugated metal roof.	Replace metal roof and flashing	7	R&M 2



	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
16.		ADA railing design.	Provide ADA railing if this is the primary access to the office	6	R&M #1
17.		Half security screen, full screen, window AC unit, jalousie window and blanked out double hung windowsappears to be several things going on at this window opening.	Simplify the exterior appearance of this elevation. Consider split system AC along this entire wall and remove rusty AC window units.	8b	LR #3



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
18.		Termite damaged board at ceiling.	Tent structure for termites. Replace or repair damaged boards to match existing.  Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended	1	R&M #1
19.	s	Various AC wall units, some rusted, some need to have better structural	Consider replacement of window AC units with a split system.	8b	LR#3
		support.	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Paint exterior all	1	R&M#1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
20.		Termite damage floor boards and framing.	Tent structure and termite treat.	1	R&M #1
21.		Termite damage floor boards and framing.	Tent structure and termite treat. Repair structural members with epoxy injection.	1	R&M #1



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		O

	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
22.		Termite damage floor boards and framing.	Tent structure and termite treat. Repair structural members with epoxy injection.	1	R&M #1
23.		Rusty grill and adjacent wood siding. Unclear if the grille is for security or ventilation for men's public bathroom.	Replace existing with SS or galvanized grille, replace wood siding with T&G material to match lower siding.	7	R&M #2
			Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended	1	R&M #1



Exterior

	BUILDING E - EXTERIOR	?			
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
24.		Rusty grill and adjacent wood siding. Unclear if the grille is for security or ventilation for Youth Center. Note hinge is on the exterior door swings out.	Replace existing with SS or galvanized grille, replace wood siding with T&G material to match lower siding.	7	R&M #2
			Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended	1	R&M #1
25.		As renovations occurred over time by various users and tenants, the original design of the building have been altered. Wood jalousie windows with aluminum sliding glass windows Window AC units with condensate pipe of glass jalousie windows.	Develop a comprehensive plan for the exterior design appearance of the building in order to provide a unified consistent appearance for the historic structures.	8d	LR #3



	BUILDING A - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
1.		Building A Kitchen	Check and repair roof leaks.  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	6	R&M #1
			Install new 2x2 grid ceiling, new light fixtures and LVT or Karndean floor	8a,b,c,	LR #3
2.		Building A Kitchen	Install fire extinguishers in all spaces to meet NFPA 101	6	



BUILDING A - INTERIOR				
PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
	Building A Cafeteria Meeting Room	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	1	R&M #1
4		Install LVT or Karndean floor.	8c	LR #3
4.	Building A Cafeteria Meeting Room	Repaint floors, walls and ceiling	7	R&M #2
		Install LVT or Karndean floor.	8c	LR #3
		PICTURE DESCRIPTION  Building A Cafeteria Meeting Room	PICTURE  Building A Cafeteria Meeting Room  Building A Cafeteria Meeting Room  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.  Install LVT or Karndean floor.  Building A Cafeteria Meeting Room  Repaint floors, walls and ceiling	PICTURE  DESCRIPTION  RECOMMENDATIONS  ESTIMATE ITEM  Building A Cafeteria Meeting Room  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.  Install LVT or Karndean floor.  Building A Cafeteria Meeting Room  Repaint floors, walls and ceiling  7



	BUILDING A - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
5.		Hana Council Offices	Repair roof leaks.  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	1	R&M #1
6.		Hana Council Offices	Repair roof leaks  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	1	R&M #1



1. 1	BUILDING A - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
7.		Hana City Council Exec. Assistant's Offices	Check and repair roof leaks  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls, floors and ceiling	2	R&M #1
8.		Hana Council Office Bathroom	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize paint as required by DOH and follow HZMAT procedure repaint ceiling and walls.  Confirm that the existing bathroom is ADA and DOH code compliant	6	R&M #2



	BUILDING A - INTERIOR	?			
U	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
9.		Hana Council Offices Termite damaged trim at window sill	Repair or replace and damaged trim around window	6	R&M #2
10.		Hana Council Offices Opening in ceiling	Repair and seal opening in ceiling repaint ceilings and walls. Seal opening in attic space to prevent birds and rodents from entering the office by way of the attic space.  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint wall and ceiling.	1	R&M #1



	BUILDING A - INTERIOR	8			
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
11.		Hana Council Offices Bird droppings on bookshelves from opening in ceiling. Bird access to attic space above ceiling	Clean, and repaint walls and shelves	1	R&M #1
12.		Hana Council Offices Floor board damage	Further sampling of paint by a certified Industrial Hygienist is recommended. Abate and stabilize paint as require by DOH. Follow HZMAT procedures. Replace damaged boards and repaint floor	6	R&M #2
			Install LVT or Karndean floor.	8c	LR #3



VI	BUILDING A - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
13.		Hana Council Offices Floor board damage	Replace damaged board and repaint	7	R&M #2
			Install LVT or Karndean floor.	8c	LR #3
14.		Bldg A Kitchen two stoves No visible fire extinguishers	Install SS or stones backsplash behind stove. Install easily accessible fire extinguishers per NFPA 101	6	R&M #1
15.		Bldg- A Kitchen Sink and dishwashing area Opening under sink should be screened to prevent access by rodents	Seal opening to the exterior under sink. Paint ceiling and walls.	6	R&M #2



	BUILDING A - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
			Install new 2x2 grid ceiling, new light fixtures and LVT or Karndean floor.	8a,b,c	LR #3
16.		Extensive termite or dry rot damage	Tent structure for termites. Repair and/or replace damaged boards. Seal around pipe. Termite treatment isolate areas and inspect structure below may be required.	1	R&M #1



	BUILDING D - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
17.		Maui Economic Office			
18.		Maui Economic Office	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures.  Repaint walls and ceiling.	2	R&M #1



	BUILDING D - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
19.		Hana Education Center - UH Maui College  Space appears to be recently renovated with new interior gyp bd. walls, insulated 2 x4 grid ceiling and fixtures, new vinyl flooring and relatively new AC wall units			
20.		Hana Education Center - UH Maui College			



	BUILDING D - INTERIOR				
Į	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
21.		Hana Education Center - UH Maui College. Water stain on ceiling tiles. Possible roof leak	Repair roof leak and water damaged ACT tiles	6	R&M #2
22.		PALS Meeting Room Wood furred celling Vinyl floor tile should be checked for asbestos adhesive. Some ceiling panels were damaged by water.	Check f or roof leaks and repair Replace damaged wood ceiling panels R Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	2	R&M #1



	BUILDING D - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
			Install LVT or Karndean flooring and new 2x2 ceiling grid and light fixtures. Typical all interior spaces.	8a,b,c	LR #3
23.		PALS Meeting Room Depending on number of occupancy (over 50) may need panic hardware No visible fire extinguishers	Install required exit hardware Install fire extinguishers  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint walls and ceiling.	1	R&M #1
24.		Hui No Keola Offices Partition to the office may not meet Code.  Water damage to ceiling and paint is peeling	Install code compliant gyp board partitions. Install fire extinguisher as required by code  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint ceiling.	1	R&M #1



	BUILDING D - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
25.	B		Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint ceiling	1	
26.		Fire extinguisher is on the floor. Exit doors swing out	Mount top of fire extinguisher 48" from finish floor	1	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
27.		Hui No Keola Offices Water damage to ceiling and paint is peeling	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint ceiling	1	R&M #1
28.		Hui No Keola Offices Water damage to ceiling and paint is peeling.	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint ceiling	1	R&M #1



	BUILDING D - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
29.		Liliuokalani Trust Office Office partition may not meet code	Remove office partition to comply with IBC 2006	6	R&M #1
30.		Lilioukalani Trust Offices	Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedure. Repaint walls and ceiling	1	



	BUILDING D - INTERIOR	₹			
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
31.		Lilioukalani Trust Offices Paint peeling on ceiling Office partition may not meet code	Remove office partition to comply with IBC 2006.  Check and repair roof leaks.  Further sampling by a certified Industrial Hygienist is recommended. Abate and stabilize lead based paint as required by DOH and follow HZMAT procedures. Repaint ceiling Repaint walls and ceiling.	1	R&M #1

	BUILDING E - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
32.		Hana Youth Center - Interior space Wall switch is broken with note attached caution shock.	Repair wall switch immediately. Paint walls and ceilings remove temporary decorative lights. Check occupant load and install exit hardware. Exit doors should swing out.	6	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
			Install new 2x2 ceiling grid and light fixtures, new LVT or Karndean flooring and split AC system and insulate above acoustic tile clg. (ACT).	8a,b,c	LR #3
33.	i i i i a	Hana Youth Center - Interior space No fire extinguisher Exits may need panic hardware depending on occupancy. Several hanging, decorative string of light fixtures.	Comply with IBC exit requirements based on 2006 IBC occupant load.	6	R&M #1
34.		Hana Youth Interior space Access to Office does not meet ADA Center - Partitions may not meet IBC code and fire code.	Remove and replace partitions at elevated Director's office to meet code and ADA accessibility.	7	R&M#2



	BUILDING E - INTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
35.		Hana Youth Center - Interior space.	Abate and stabilize paint as required by DOH and repaint exterior. Further sampling by a certified Industrial Hygienist is recommended. Follow HZMAT procedures if paint is positive for lead based paint and repaint walls and ceiling.	1	R&M #1
36.		Hana Youth Center - Interior space Access to attic	Further sampling by a certified Industrial Hygienist is recommended. Follow HZMAT procedures if paint is positive for lead based paint and repaint walls ceiling.	1	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
37.		Hana Youth Center - Attic space No insulation Energy code Debris above ceiling	Comply with local and State energy codes	4	R&M #2
38.		Women's Bathroom ADA Issues Wood walls (IBC and DOH Issues) Lav sinks rusted	Renovate bathroom in its entirety with new floors, walls, toilet partitions plumbing and light fixtures to comply with 2006 IBC and DOH codes.	5	R&M #1



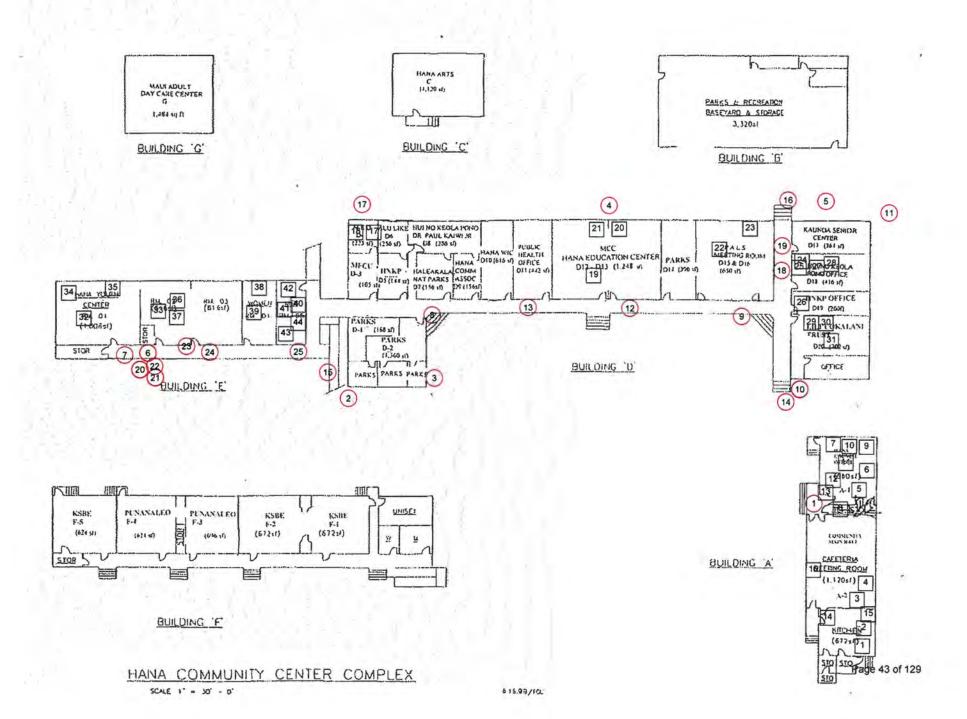
	BUILDING E - INTERIOR			LOCOT	
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
39.		Women's Bathroom Wood Toilet partitions Code Issues Check if ventilation is adequate for size of space	Renovate bathroom in its entirety with new floors, walls, toilet partitions plumbing and light fixtures.	5	R&M #1
40.		Men's Bathroom One urinal Wall and floor finish-IBC issue	Renovate bathroom in its entirety with new floors, walls, toilet partitions plumbing and light fixtures to comply with 2006 IBC, ADAG and DOH codes.	5	R&M #1

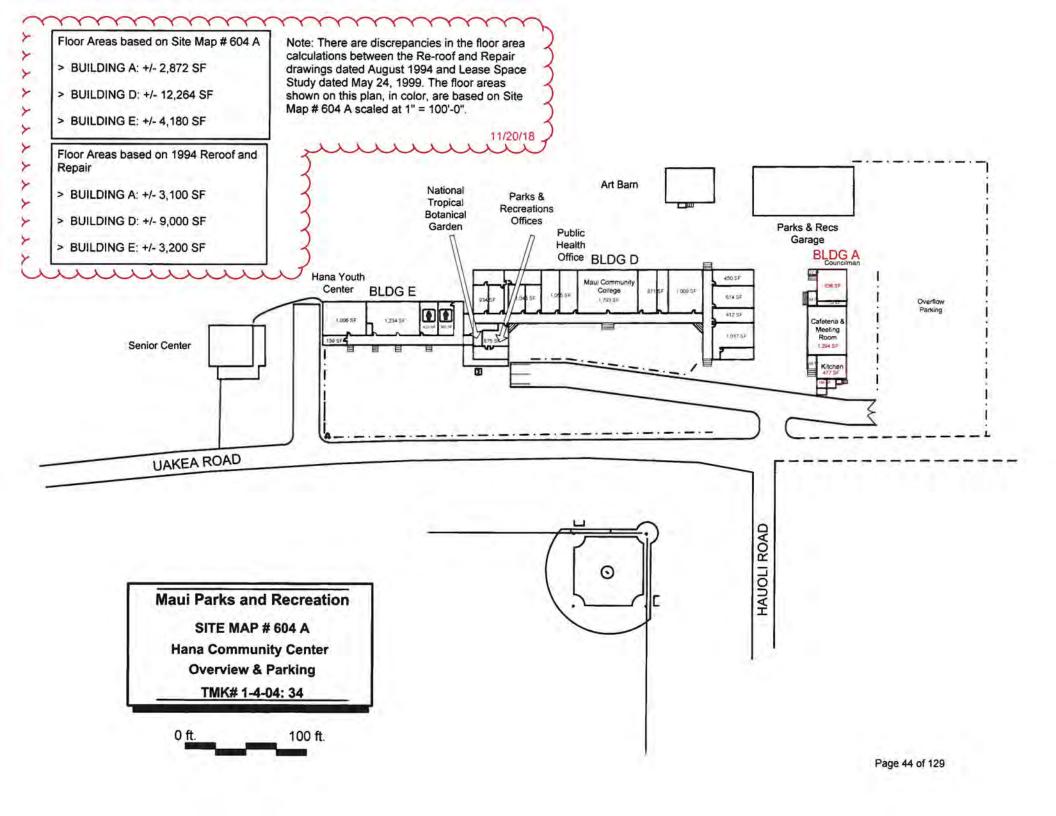


	BUILDING E - INTERIOR	₹			1
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
41.	1 S	Men's Bathroom Typical water closet wood partition Unsanitary floor and wall finishes DOH issues	Renovate bathroom in its entirety with new floors, walls, toilet partitions plumbing and light fixtures to comply with 2006 IBC, ADAG and DOH codes.	5	R&M #1
42.		Men's Bathroom Staff shower stalls ADA issues	Renovate bathroom in its entirety with new floors, walls, shower partitions plumbing and light fixtures to comply with 2006 IBC, ADAG and DOH codes.	5	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
43.		Men's Bathroom One urinal Wall and floor finish-IBC issue	Renovate bathroom in its entirety with new floors, walls, plumbing and light fixtures to comply with 2006 IBC, ADA and DOH codes.	5	R&M #1
44.		Men's Bathroom Laundry sink and storage closet	Renovate bathroom in its entirety with new floors, walls, shower partitions plumbing and light fixtures to comply with 2006 IBC, ADA and DOH codes.	5	R&M #1







Hana Community Center Structural Building Assessment TMK 1-4-04:3 and 30

## Scope of Work:

Field surveys of the exposed structural building elements which consisted of nondestructive visual observations at the interior, exterior and select office spaces. This survey did not include any physical testing of the structural elements.

The scope of work consists of the following items:

- · Review of available building documents.
- Field survey of the buildings consisting of non-destructive visual observations of exposed building elements at the interior and exterior of the structure that is readily accessible and permitted by the owner. Hidden or concealed conditions such as those covered by floor, ceiling, or coverings were not reviewed.
- Structural assessment of the buildings based on the documents reviewed and field survey. Deficiencies that are readily apparent will be noted. Quantitative structural analysis of the structural system is not included.
- Written report stating the results and identifying structural repairs and deficiencies.

## List of Record Drawings Reviewed:

There are no existing structural drawings for the original construction of Buildings A, D, and E. Renovation drawings for the reroof and repair dated August 1994 were available for review. The following sheets were reviewed

- A-1: Roof Repair Plan Building D, Roof Repair Plan Building E
- . A-2: Roof Repair Building A, roof Repair Building B, Roofing Details
- A-3: Foundation Repair Building D, Foundation Repair Building E, Footing Detail
- . A-4: Foundation Repair Plan Building A, Details
- A-5: Floor Plan Building D, Floor Plan Building E
- . A-6: Floor Plan Building A, Floor Plan Building B, Stair and Guardrail Details

# Structural Description of Buildings:

It is unknown when Buildings A, D, and E were originally constructed. The buildings are single story structures with single wall construction.

## Vertical Gravity System:

The gravity framing consists of the following

- · Wood posts sitting on rocks
- Wood girders
- Wood joists
- Straight sheathing
- · Wood trusses and purlins



Photo 1 - Post on rock from original construction



Photo 2 – Beams, girders, and sheathing from original construction

A 1994 renovation replaced several existing posts and rock foundation with new posts and tofu block foundation. The renovation also replaced the existing roof with new corrugated metal roofing. Select wood purlins with termite and rot damage were also replaced.



Photo 3 – Post and tofu block added during 1994 renovation



Photo 4 – Corrugated metal roofing added during 1994 renovation

## Lateral System for Wind and Seismic Resistance:

There is no apparent code compliant lateral system to resist wind and seismic forces. However, the single wall construction will act as shear walls for wind and seismic in plane lateral loads. Minimal hurricane strapping is installed. Posts are not anchored and footings are minimal.

#### Field Observations:

A site visit was performed by KAI Hawaii on October 3, 2018. The purpose of this visit was to access the general condition of Buildings A, D, and E.

The structures have a complete gravity system however, it likely does not meet current code allowable stresses and deflections. It is not uncommon for older structures to not meet code for gravity analysis since the codes have become more stringent over the years.

The current code, International Building Code (IBC) 2006, requires a continuous load path to transfer lateral and uplift wind forces from the roof down into the foundation. The buildings were constructed with single wall construction which is not a lateral system defined by ASCE 7. In addition, the posts are sitting on rocks and tofu blocks which do not allow the forces to be resolved into the ground.

Although wind likely governs, it does not appear that the structures were designed for seismic. During the 1994 renovation galvanized metal straps were installed connecting the top chord of the roof members to the top plate. This provides minimal resistance to uplift forces caused during a hurricane. Due to limited access installation of the metal straps was only confirmed in Building E.





Photo 5 – Metal strap Photo 6 – Single Wall Construction

Termite damage was observed in the flooring and wall members. Based on the replacing of termite damaged purlins during the 1994 renovation it appears that termites have been an ongoing issue for a long time.

Damages from rusting connections was observed in a few locations including railings and post bases.

# Structural Code Analysis:

There are no record drawings of the original buildings therefore it is unknown which code was used for the design and construction. Due to the age of the structure requirements were minimal for wind and seismic.

The current building code is the 2006 International Building Code (IBC) with Maui County Amendments. The current code has detailed requirements for existing building alterations, repairs, additions and changes of occupancies. Any alterations to the existing structure will need to meet current code. Repairs may or may not need to meet current code.

### Structural Recommendations:

The buildings should be termite treated. Structural members with excessive termite damage should be removed and replaced. Items to be removed and replaced include:

- a. Termite damaged roof purlins
- b. Termite damaged floor boards
- c. Termite damaged siding
- d. Termite damaged sill beams
- e. Termite damaged posts

Rust was observed in a few locations. Rusting elements should be ground and prime painted. Rusting elements include the following items:

- a. Post bases
- b. Railings
- c. Corrugated metal roof

Stair framing members are in contact with the concrete slab and appear to be rotting. It is recommended to replace the damaged members and to have the new members not sitting on the concrete surface.

Bringing the structure up to meet current code to resist wind level forces would entail supplementing some existing walls with plywood shear walls, adding helical piles at select locations, providing a complete load path, and adding hurricane ties. See attached Figures 1 to 4 for concept sketch and plans indicating potential shear wall and helical pile locations.

## Disclaimer:

No representations are being expressed or implied as to the expected or useful life of the main structural elements of the building. The opinions and comments in this report are based on visual observation and the documentation provided only; no warranty expressed or implied as to the condition of the structure is intended.

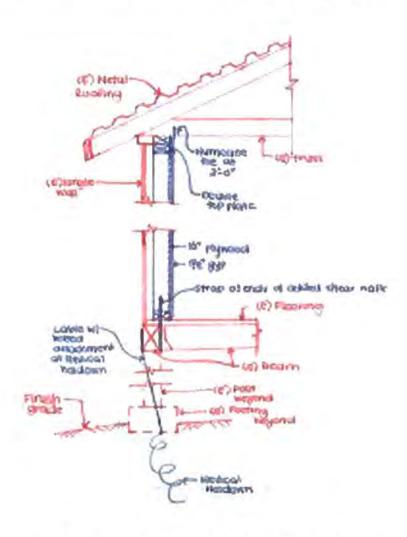


Figure 1: Section at Typical New Shear Wall

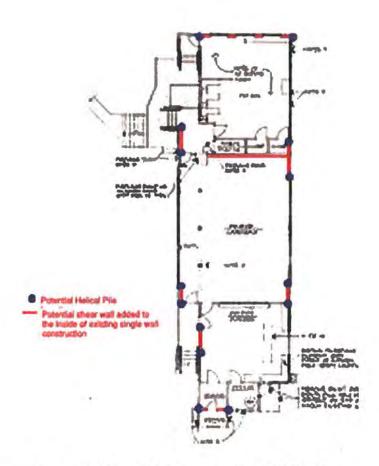


Figure 2: Shear Wall Concept for Building A

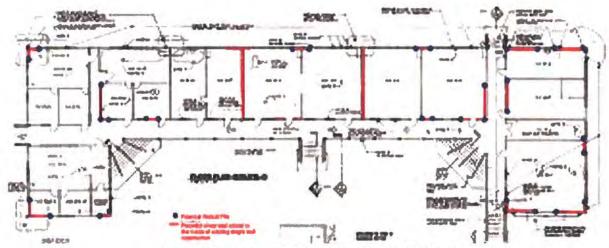


Figure 3: Shear Wall Concept for Building D

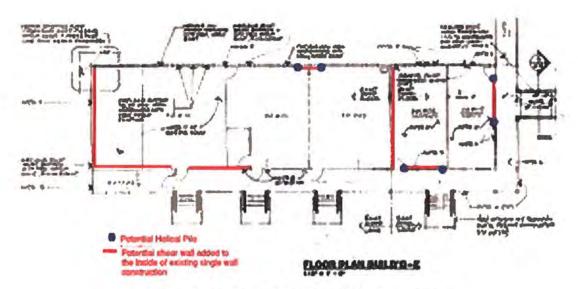


Figure 4: Shear Wall Concept for Building E



# November 09, 2018 Hana Community Center

	BUILDING A - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
1.		There is evidence of termite damage.	Remove and replace damaged elements.	1	R&M #1
2.		There is evidence of termite damage and/or rot to the siding and sill beam. It appears that the damaged sill beams are compressing and causing other members to shift.	Remove and replace damaged siding and sill plates.	1	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
3.		Rot damage at stair members.	Remove and replace damaged members. It is recommended that the new members not sit on the concrete surface.	7	R&M #2
4.		Rusting railings.	Grind off rust and prime paint.	6	R&M #1
5.		Birds nest inside framing.	Remove and replace damaged members. Close off to prevent future birds nests.	6	R&M #1



	BUILDING D - EXTERIOR PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
6.		Damaged boards.	Remove and replace damaged boards.	1	R&M #1
7.		Damaged siding.	Remove and replace damaged siding to match existing.	1	R&M #1
8.		There is moss and mold growing on the metal roofing.	Clean the metal roofing and reroute the gutter to drain closer to the ground.	7	R&M #2



15	BUILDING D - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
9.		Damaged floor board.	Remove and replace damaged boards. New boards should match existing.	1	R&M #1



	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
10.		Rusting railings.	Grind off rust and prime paint.	6	R&M #1
11.		Termite damage floor boards and framing.	Remove and replace damaged members. New members should match existing.	1	R&M #1
12.		Rusting post base.	Grind off rust and prime paint. If post is damaged remove and replace post and post base.	1	R&M #1



	BUILDING E - EXTERIOR				
	PICTURE	DESCRIPTION	RECOMMENDATIONS	COST ESTIMATE ITEM	PRIORITY
13.		Termite damage and rot is pushing the post base outward. The post base also appears to have rust damage.	Remove and replace the post and post base.	1	R&M #1



# **American Earth Anchors**

The best screw you will have in the dirt ™

PE46Guy

**Specifications** 

# 46" Penetrator™ with guying head

- · Aircraft-quality cast aluminum 356 alloy
- Heat-treated to T6 specification
- Install with 2" or 51 mm socket
- Removable

46"

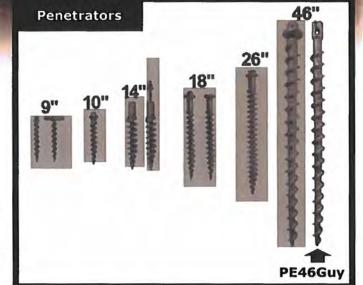
(1.2 m)



10 lb (4.6 kg)

Neck diameter 13/4" (45 mm)

> Flight diameter 3" (77 mm)





21/4" (58 mm) I.D. pipe fits over



Socket size 2" (51 mm)

Slot for cable or other attachment up to 1/2" (13 mm)



Pullout strength with flight fully embedded

Hardpan or asphalt	Soil Class 1 Dense sand or gravel	Soil Class 2 Medium sandy gravel	Soil Class 3 Loose medium- to-fine sand	Soil Class 4 Loose fine un- compacted sand	
14,000 lb	9,500 lb	3,300 lb	2,000	1,100	
62.3 kN	42.3 kN	14.7 kN	8.90 kN	4.89 kN	



**American Earth Anchors** info@americanea.com

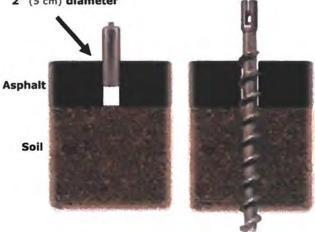
americanea.com

Contact us for CUSTOM WORK Size, length, shape, material, prototypes, cable assemblies

# Through asphalt

**Drill PILOT HOLE** through asphalt

2" (5 cm) diameter



Non-vertical load

comments of the state of the st

Install at same angle as load for maximum pullout strength



## Installation methods



**Impact wrench** Watch the video at aeavideo.com



ASA Hydraulic installer



Power take-off



# **Executive Summary**

The building systems require major updating in order to be used for the next twenty years. The electrical service has been recently upgraded but the branch circuit wiring requires immediate repair. The lighting and emergency lighting are outdated and in disrepair. Complete replacement is recommended.

The building does not have an air conditioning system and is cooled using incremental (window) units. These units are corroded and in disrepair. The plumbing has been maintained with various types of products and is in need of total replacement.

# Electrical

Power is brought to the building through an overhead service from pole mounted transformers. The electrical service equipment has been recently replaced and is in good condition. The power is distributed to branch circuit panels located throughout the building.





Branch circuit wiring is non-metallic sheathed cable. There is some of the original knob and tube wiring located in the attic. It is unknown if any of the original knob and tube wiring is energized. .







With the exception of one panel that was in a closet and the type NM cable under the building that was not secured, the electrical distribution system is in good condition and should be serviceable with minor repairs for the next 20 years. The NM cable can be secured to the wood frame with wire staples.



The branch circuit wiring located under the building is not secured to the building. This could be due to the staples rusting away, or due to improper installation.







The interior lighting is F40 fluorescent. The ballasts and lamps in use are very old technology that has not been manufactured since the 1980s. The exit and emergency lighting is contained in battery/electric fixtures. The units we tested were not functional in emergency mode. Most of the lighting is outdated and barely functional. The lighting will not be serviceable for the next 20 years.





# Mechanical

The building does not have an air conditioning system. Cooling is accomplished with incremental (window) units. Most units are old and in various states of disrepair. Window units are not a suitable way to provide cooling to the building because no outside air is being brought in to satisfy the department of health. If replacement AC is being considered, the system must include the ability to provide ventilation rates in accordance with ASHRAE 62.1.







The water supply piping is a combination of galvanized iron pipe, PVC and copper. The entire system will most likely need to be replaced. The waste piping for the water closets is located underground an cannot be observed. There were, however, no negative reports about the plumbing from the users of the building.

The drain and waste piping is a mixture of cast iron, ABS and PVC. The pipes are installed exposed on the outside of the single wall construction. When the roof was replaced, the vent piping was cut off and not replaced; therefore, the plumbing vents do not penetrate the roof except at the bathrooms.











The plumbing fixtures are not low flow and are in poor condition. They should be completely replaced when the bathrooms are redone.



November 21, 2018

# Hana Community Center Building Assessment Mechanical- Electrical -Plumbing

- Electrical wiring no improvements needed Estimate cost: 0.00
   F40 luminaires Replace fixtures- Estimate cost: cost included in item #4.
- 2. Re-attach wiring in crawl space- Estimate cost: \$10,000.00 (R&M #1)
- Exit and emergency lights non-functional in emergency mode Repair or replace battery or exit light fixture - Estimate cost: \$10,000.00 (R&M #1)
- Inadequate illuminations of the working space to meet IES guideline. Replace existing and add new fixtures - Estimate cost: \$120,000.00 (LR #3)
- Mechanical Air-conditioning Add split system: Estimate cost: \$330,000.00 (LR#3)

Spaces that are not air conditioned are warm and uncomfortable. Many of the window units are old, and in variuous stages of disrepair. The Clifford Planning & Architecture recommends replacing these units with a split system with ducted outside air in the attic space as a long range project. This would improve the indoor air quality, working environment and remove the unsightly wall or window units.

# 6. Plumbing

As a result of the roof repair vent pipes do not penetrate roof except in bathroom and does not meet plumbing code. Correct and provide pipe penetrations; repair roof. Estimate cost: \$25,000.00 (R&M #1)

Water supply piping is a combination of galvanized, PVC and copper. Replace entire system: Estimate cost: \$45,000.00 (R&M #2)

Bathroom room plumbing fixture short term fix replace fixtures and comply with ADA requirements. Estimate cost: \$25,000 (R&M #1)

Renovate Men's and Women's public bathrooms with new fixtures, toilet partitions, floor and ceiling tiles, new light fixtures and ADA accessories (see architecture recommendations and photos). Estimate cost: \$75,000.00 for plumbing (LR #3)

# Summary

Electrical \$140,000
Mechanical \$330,000
Plumbing \$170,000
Total \$640,000

\*\*\*\*\*



# Hana Community Center Hana, Hawaii Property Condition Assessment

Preliminary Order of Magnitude Estimate November 28, 2018

Rev 1

Prepared for Clifford Planning & Architecture

1132 BISHOP STREET, SUITE 1570 • HONOLULU • HAWAII • 96813 PHONE: 808-947-4525 • FAX: 808-440-3833

# **CUMMING COST STATEMENT INTRODUCTION**

#### Purpose

The purpose of this property condition assessment estimate is to provide a preliminary order of magnitude twenty year capital facilities improvement plan. Based upon the limited information provided, Cumming has used our best judgement and assumptive approach to assign values to the items listed.

The cost included in this assessment report should not be used to assign specific project budget costs until the limited information provided in the assessment can be thoroughly vetted through additional verification, exploratory work, more refined scope, schedule and the procurement methodology assumptions are determined.

#### **Basis of Cost Estimates**

The cost estimate was based on the following documents:

Hana Civic Center Final Report Exterior R-2 dated 11/12/18
Hana Civic Center Final Report Interior R-2 dated 11/12/18
Hana Community Center Floor Plan Reference (Interior & Exterior) dated 11/9/18
Hana Community Center Building Structural Assessment dated 11/9/18
with associated drawings and quantities provided by Kai Engineering

#### **Basis for Quantities**

Wherever possible, this estimate has been based upon the actual measurement provided by documents provided by Clifford Planning. For the remaining items Cumming has made quantity assumptions which are indicated in the "Note on Cost" of the detail sheets.

#### **Estimated Cost Assumptions and Qualifications:**

- A Construction Costs General Assumptions:
  - 1 Exterior work, other than that requiring MEP system shut-down, is executed during normal working hours.
  - 2 For interior work, other than that in non-public areas, is performed on an off-hours work schedule.
- B Markups for Construction Costs:

General Conditions/GRs	12.00%
Bonds & Insurance	1.80%
GC Fee	5.50%
Design / Estimating Contingency	12.00%
GET	4.71%
Escalation	see below
Total Markups without Escalation	36.01%

C Escalation, applied as a percentage of the Construction:

Priority Level	Compounded Escalation Rate
1	6.74%
2	17.95%
3	30.16%
4	30.16%

## **CUMMING COST STATEMENT INTRODUCTION**

#### **Items Excluded from the Cost Estimates**

- A Other Project Soft-Cost, not specifically identified above.
- B Hazardous material survey, testing or abatement.
- C Construction Contingency, assumes a Design-Bid-Build procurement method.
- D LEED Certification Cost.
- E Building Code upgrades, unless specifically identified, which may be required as a result of building corrective items included in this assessment.
- F Pre-design investigative, exploratory, or cost management fees.
- G Off-hours work for exterior scope items.
- H Relative to roof repair items, we have not included additional roof or overflow drains unless specifically noted.

#### **Items Affecting the Cost Estimate**

Items which may change the estimated construction cost include, but are not limited to:

- A Construction procurement approach:
  - 1 As stated, the assumption is that the construction procurement is design-bid-build. Any non-bid, Negotiated, GMP, NTE, or Subcontractor direct procurement will effect the final cost of project implementation.
  - 2 How many and which items are packaged together or not packaged together as bid packages will effect the final cost of project implementation.
- B Modifications to the scope of work included in the cost estimates.
- C Restrictive technical specifications or excessive contract conditions.
- D Any specified item of equipment, material, or product that cannot be obtained from at least 3 different sources.
- E Construction delayed beyond the stated budget year.
- F Unusual phasing, sequencing or logistical considerations.

#### Statement of Probable Cost

Cumming has no control over the cost of labor and materials, the general contractor's or any subcontractor's method of determining prices, or competitive bidding and market conditions. This opinion of the probable cost of construction is made on the basis of the experience, qualifications, and best judgment of a professional consultant familiar with the construction industry. Cumming, however, cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from this or subsequent cost estimates.

Cumming has no control over the quality, completeness, intricacy, constructability, or coordination of the current assessment documents. Cumming also has no control over the amount of funds that will ultimately be available for the scope. We, therefore, cannot be responsible for any design revision costs incurred in the event that final cost are in excess of the estimates provided.

Cumming's staff of professional cost consultants has prepared the estimated in accordance with generally accepted principles and practices. This staff is available to discuss its contents with any interested party within the scope of our agreement with the client.

#### **Recommendations for Cost Control**

Cumming recommends that QHS and the Consultants carefully review the cost statement including notes, and this document to insure that it reflects their assessment intent. Requests for modifications of any apparent errors or omissions to this document must be made to Cumming within ten days of receipt of this estimate. Otherwise, it will be understood that the contents have been concurred with and accepted.



	Priority 1	Priority 2	Priority 3	Total
	1-2 years	5-10 years	10+ years	10141
1 Tent Structure and Repair Termite Damage	437,245		•	437,245
2 Paint, Abatement and Stabilization	394,253	161,005		555,258
3 Structural Improvments	1,602,786	•	•	1,602,786
4 Insulate Roof		6,208		6,208
5 Renovate Bathrooms	101,066			101,066
6 General Repair and Maintenance - High Priority	94,939	59,311	1,496	155,745
7 General Repair and Maintenance - Low Priority	13,670	389,373		403,043
8a Long Range: New Ceiling and Light Fixtures	64,751	-	399,762	464,513
8b Install AC Split System	-	•	389,987	389,987
8c Install New Flooring	8,633	64,764	52,883	126,280
8e Replace Existing Windows	*	•	(385,853)	385,853
Total	\$2,717,342	\$680,661	\$458,274	\$4,627,984

November 28, 2018

1 Tent Structure and Repair Termite Damage

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior		154,706			154,706	
Exterior		282,539			282,539	
Structural						
	Total	\$437,245	\$0	50	\$437,245	

D#	Priority		Description	Quantity	Units	Unit \$	-	Hard Total	Total w/Markups	Construction Cost	Comments
Torn Straige	ure and Repair	Term	III Damaze	-	-					5437,244,77	
terior	and district to the same	-			_		_	_		\$154,706	
em 3	Priority 1	A	Abate and stabilize paint as required by DOH and repaint	1.1	20 sf		15	16,800	\$23,982	The state of the s	
	Tionity 1	-	exterior.		- E . E			-0,000	525,502		
em 3	Priority 1	A	Further sampling by a certified Industrial Hygienist is							Fur	ther investigation needed
2	, morning a		recommended.								and the same of th
tem 3	Priority 1	A	Repaint floors, walls and ceiling.	1.1	20 sf		3	3,360	\$4,796		
tem 3	Priority 1	A	Subto					7,000		\$28,778	
										2-000	
tem 5	Priority 1	A	Abate and stabilize paint as required by DOH and repaint	91	50 sf		15	14,400	\$20,556		
			exterior								
em S	Priority 1	A	Further sampling by a certified Industrial Hygienist is							Fun	ther investigation needed
			recommended								
em 5	Priority 1	A	Repair roof leaks and repaint ceiling.	21	88 sf		20	5,760	\$8,222		
em 5	Priority 1	A	Subto	otal						\$28,778	
											ward as a market of
em 6	Priority 1	A	Abate and stabilize paint as required by DOH and repaint					1		Cos	t included in item 5 above
			exterior								
em 6	Priority 1	A	Further sampling by a certified Industrial Hygienist is					1			
	400000		recommended							Q7.	and the second second
em 6	Priority 1	A	Repair roof leaks and repaint ceiling.	4.7							t included in item 5 above
em 6	Priority 1	A	Subto	ital						50	
11	Delevitor 1		Class and contrat walls and shall no	n	60 sf		3	2,880	64.111		
em 11	Priority 1	A	Clean, and repaint walls and shelves Subto		00 31		3	2,000	\$4,111	\$4,111	
em 11	Priority 1	A	Subto	PLAT						\$4,111	
em 16	Priority 1	A	Tent structure for termites		1 15		2.000	2,000	\$2,855		
em 16	Priority 1	A	Repair and/or replace damaged boards. Seal around pipe		00 sf		20	18,000	\$25,695	Asc	ume 30% termite damage repairs
20	Filotity 2	-	Tropan and or replace damaged boards oddrarous pipe		20 31		***	10,000	\$23,033		une 30% termite damage repairs
em 16	Priority 1	A	Termite treatment isolate areas and inspect structure beld	w	1 15			10.0		Fun	ther investigation needed
			may be required.								
em 16	Priority 1	A	Subto	otal						\$28,550	
em 23	Priority 1	D	Install required panic hardware		2 ea		1,200	2,400	\$3,426		
em 23	Priority 1	D	install fire extinguishers		1 ea		550	550	\$785		
m 23	Priority 1	D	Abate lead based paint	53	16 sf		10	5,160	\$7,366		
em 23	Priority 1	D	Repaint walls and ceiling		16 Is		3	1,548	\$2,210		
em 23	Priority 1	D	Subto	ital						\$13,787	
0.00	A.300.2						- 3				
em 24	Priority 1	D	Remove office partition to comply with IBC 2006		30 sf		4	720	\$1,028		entract rest
em 24	Priority 1	D	New gyp board partition		52 sf		18	4,536	\$6,475	MEI	P priced by others
24 am 24	Priority 1	0	New ACT ceiling		30 sf		15	1,200	\$1,713		
em 24 em 24	Priority 1 Priority 1	D	New sc wood door frame and hardware Paint new office partions and door		1 ea 10 sf		2,700	2,700	\$3,854 \$343		
em 24 em 24	Priority 1	D	Install fire extinguisher as required by code		1 ea		550	550	\$343 \$785		
em 24	Priority 1	D	Abate and stabilize paint as required by DOH.		1 ea		10	4,160	\$5,938		
em 24	Priority 1	D	Repaint ceiling and exterior		16 sf		5	2,080	\$2,969		
m 24	Priority 1	D	Subto		- ai		3	2,000	32,369	\$23,105	
	Thomas I		Subto							223,203	
em 27	Priority 1	0	Abate and stabilize paint as required by DOH and repaint							Cos	t in item 24 above
			exterior							Cos	
em 27	Priority 1	D	Further sampling by a certified industrial Hygienist is							Furt	ther investigation needed
	and a		recommended							,	
m 27	Priority 1	D	Follow HZMAT if paint is positive for lead based paint and	0.						Cos	t in Item 24 above
127 L	2000	177	repaint ceiling							400	
m 27	Priority 1	D	Subto	26.						so	

ID N	Priority		Description	Quantity	Units	UnitS	Hard		Total	Construction Cost	Comments
20	Maria de Ca	-	About and materials are an analysis and a solution of the solu			_	_	_	w/Markups		Cost in item 24 above
Item 28	Priority 1	D	Abate and stabilize paint as required by DOH and repaint exterior								Cost in item 24 above
Item 28	Priority 1	D	Further sampling by a certified Industrial Hygienist is								Further investigation needed
A	1,000,000	1.94	recommended								( P - NET /II ) 351 ( P 3 - C ) 7 - 3 - 5 - 5
Item 28	Priority 1	D	Follow HZMAT if paint is positive for lead based paint and								Cost in item 24 above
	53 m 4		repaint ceiling.							1.0	Jan Carlotte Control
Item 28	Priority 1	D	Subtot	al.						50	0.
Item 30	Priority 1	D	Check and repair roof leaks		211 st		20	4,212	\$6,01	13	Assume 30% roof repair
Item 30	Priority 1	D	Further sampling by a certified Industrial Hygienist is		er o		45				Further investigation needed
			recommended								
Item 30	Priority 1	D	Follow HZMAT if paint is positive for lead based paint and								Further investigation needed
	Service .	- 2	repaint walls and ceiling							25.50	The state of the s
Item 30	Priority 1	D	Subtot	al						\$6,01	
Item 31	Priority I	D	Check and repair roof leaks					- 1			Cost in item 30 above
Item 31	Priority 1	D	Further sampling by a certified Industrial Hygienist is					1			Further investigation needed
			recommended								
Item 31	Priority 1	D	Follow HZMAT if paint is positive for lead based paint and					-			Further investigation needed
item 31	Priority 1	D	repaint walls and ceiling	al.							
item 31	Priority 1	U	Subtot	ai						SC	,
Item 35	Priority 1	E	Abate and stabilize paint as required by DOH and repaint.	1,	008 sf		15	15,120	521,58	34	
			exterior					7.171	100		
Item 35	Priority 1	E	Further sampling by a certified industrial Hygienist is					T			Further investigation needed
77.7.2	20000	-6	recommended								- NO. 0000 / 100 A
Item 35	Priority 1	E	Follow HZMAT if paint is positive for lead based paint and repaint walls and ceiling								Further investigation needed
item 35	Priority 1	E	Subtot	al						\$21,584	
	3.00m										
Item 36	Priority 1	E	Further sampling by a certified industrial Hygienist is								Further investigation needed
			recommended								
Item 36	Priority 1	E	Follow HZMAT if paint is positive for lead based paint and								Further investigation needed
Isom 26	Desert 1	-	repaint walls and ceiling	-1						- 24	
Item 36	Priority 1	E	Subtot	al						SC	

ID #	Priority		Description	Q	uantity	Units	Unit \$	-	lard Total	Total w/Markups	Construction Cost	Comments
Exterior		_		_	_	_	-	_	_	sal institution	5282,539	) is
Ext Item 2	Priority 1	D	Tent structure (Building D)		6,58	2 sf		1	8,228	\$11.7		
Ext Item 2	Priority 1	D	Repair termite damaged soffit		918	3 sf		33	30,294	\$43,2	44	Assume 50% replacement
Ext Item 2		D	Paint soffit			s sf		5				
ext item 2	Priority 1		Famil Som		916	) àI		3	4,590	30,3	32	
Ext Item 2	Priority 1	D	Abatement allowance		918	s sf		10	9,180	\$13,1	04	
Ext Item 2	Priority 1	D		Subtotal							\$74,646	
Ext Item 12	Priority 1	D	Repair termite damaged soffit at exterior walkway		593	sf		33	19,553	\$27,9	11	Assume 50% replacement
Ext Item 12	Priority 1	D	Paint soffit at exterior walkway		593	sf		5	2,963	\$4,2	29	
Ext Item 12	Priority 1	D	Abatement allowance		593	sf		10	5,925	\$8,4	58	
Ext Item 12	Priority 1	D		Subtotal							\$40,598	
Ext Item 14	Priority 1	D	Paint exterior		6,582	2 RSf		6	39,492	\$56,3	74	
Ext Item 14	Priority 1	D	Abatement allowance		6,587	2 gsf		3	19,746	528,1	37	
Ext Item 14	Priority 1	D		Subtotal							\$84,562	
Ext Item 18	Priority 1	D	Tent building and repair termite damaged soffit.									Priced above in Ext Items 2 & 12
Ext Item 18	Priority 1	D		Subtotal							50	
Ext Item 19b	Priority 2	D	Paint exterior of building									Priced above in Ext Item 14
Ext Item 19b	Priority 2	D		Subtotal							50	
Ext Items 20 & 21	Priority 1	D	Repair/replace termite damaged floor boards and framing	ng	593	sf		42	24,885	\$35,5	23	Assume 50% replacement. Tent structure priced in Ex
Ext Items 20 & 21	Priority 1	D	Repair structural members with epoxy injection - allowa	nce	1	ls	1	0,000	10,000	\$14,2	75	item 2
Ext Items 20 & 21	Priority 1	D		Subtotal							\$49,798	
Ext Item 22	Priority 1	E	Tent structure (Building E)		2,251	sf		1	2,814	\$4,0	17	
Ext Item 22	Priority 1	E	Repair/replace termite damaged floor boards and framile									
Ext Item 22	Priority 1	E	Repair structural members with epoxy injection - allowa	nce								
Ext Item 22	Priority 1	E										
Ext Item 22	Priority 1	E		Subtotal							\$4,017	
Ext Items 23b & 24b	Priority 1	E	Paint exterior of building		2,251			6	13,506	\$19,28		
Ext Items 23b & 24b	Priority 1	E	Abatement allowance		2,251	gsf		3	6,753	\$9,64	10	
Ext Items 23b & 24b	Priority 1	E		Subtotal							\$28,920	
Structural											\$0	
											-	

2 Paint, Abatement and Stabilization

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior		86,737	161,005		247,742	
Exterior		307,516			307,516	
Structural					•	
	Total	\$394,253	\$161,005	\$0	\$555,258	

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ID #	Priority	Bldg	Description	Quantity	Units	Unit \$	- 0	Hard Total	Total w/Markups	Construction Cost	Comments
2 Paint, Abater	ment and Stal	bilizati	on		5	- 4		1000		\$555,256	
Interior										\$247,742	V.
Item 7	Priority 2	A	Further sampling by a certified Industrial Hygienist is recommended	3	1 Is			1	\$2		Further investigation needed
Item 7	Priority 2	A	Repair roof leaks and repaint ceiling.	2,75	2 sf		25	68,800	\$105,923		Assume total reroof of building A
Item 7	Priority 2	A	Abate and stabilize paint as required by DOH.	2,75	2 sf		10	27,520	\$42,369		Assume entire building A interior
Item 7	Priority 2	A	repaint walls, floors and ceiling	2,75	2 sf		3	8,256	\$12,711		Assume entire building A interior
Item 7	Priority 2	Α	Subt	otal						\$161,005	
Item 18	Priority 1	D	Further sampling by a certified Industrial Hygienist is recommended. Follow HZMAT procedures if paint is positive for lead based paint.					. (*)			Further investigation needed
item 18	Priority 1	D	Abate lead paint. Repaint walls and ceilings	4,67	4 sf		13	60,762	\$86,737		Assume entire building D interior
Item 18	Priority 1	D	Subt	otal						\$86,737	
Exterior										\$307,516	
Ext Item 3	Priority 1	D	Repair/replaced damaged exterior boards	2,44	8 sf		28	68,544	\$97,846		Assume 20% replacement
Ext Item 3	Priority 1	D	Paint exterior walls	12,240	sf sf		2	24,480	\$34,945		
Ext Item 3	Priority 1	D	Abatement allowance	12,240	) sf		10	122,400	\$174,725		
Ext Item 3	Priority 1	D	Sub	total						\$307,516	
Ext Item 4 & 5	Priority 1	D	Repair exterior boards, paint and abate					-			Priced in Ext Item 3 above
Ext Item 4 & 5	Priority 1	D	Sub	total						\$0	
Structural										\$0	

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# 3 Structural Improvments

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total
		1-2 years	5-10 years	10+ years	
Interior		801,393			801,393
Exterior				- 3	
Structural		801,393			801,393
	Total	\$1,602,786	\$0	\$0	\$1,602,786

D#	Priority	Bldg	Description	Qu	antity Units	Unit \$		otal Con /Markups	struction Cost	Comments
Structural I	mprovments			-					\$1,602,786	
nterior									\$801,393	
Building A	Priority 1	Α	Cut/patch & repair finishes allowance		4,000 sf	12	48,000	\$68,520		
uilding A	Priority 1	A		Subtotal					\$154,169	
Building D	Priority 1	D	Cut/patch & repair finishes allowance		11,000 sf	12	132,000	\$188,429		
uilding D	Priority 1	D		Subtotal					\$436,669	
Building E	Priority 1	E	Cut/patch & repair finishes allowance		6,000 sf	12	72,000	\$102,779		
Building E	Priority 1	E		Subtotal					\$210,555	
xterior									\$0	
xterior									30	
No work										
tructural									\$801,393	
uilding A	Priority 1	A	New shear walls		2,000 sf	15	30,000	\$42,825		
uilding A	Priority 1	A	Helical holdowns		15 ea	1,000	15,000	521,412		
Building A	Priority 1	A	Hurricane ties		50 ea	300	15,000	\$21,412		
building A	Priority 1	A		Subtotal					\$154,169	
uilding D	Priority 1	D	New shear walls		5,500 sf	15	82,500	\$117,768		
uilding D	Priority 1	D	Helical holdowns		50 ea	1,000	50,000	\$71,374		
uilding D	Priority 1	D	Hurricane ties		138 ea	300	41,400	\$59,098		
uilding D	Priority 1	D		Subtotal					\$436,669	
uilding E	Priority 1	E	New shear walls		3,000 sf	15	45,000	\$64,237		
uilding E	Priority 1	E	Helical holdowns		8 ea	1,000	8,000	\$11,420		
uilding E	Priority 1	E	Hurricane ties		75 ea	300	22,500	\$32,119		
Building E	Priority 1	E		Subtotal					\$210,555	

# 4 Insulate Roof

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior			6,208		6,208	
Exterior				•		
Structural		-				
	Total	\$0	\$6,208	\$0	\$6,208	

ID#	Priority	Bldg	Description	Quantity	Units	Unit \$	Hard		Total w/Markups	Construction Cost	Comments
4 Insulate Roof					F 30			36		\$6,208	
Interior										\$6,208	
Item 37	Priority 2	E	Comply with local and state energy codes add insulation in attic space	1,0	08 sf		4	4,032	\$6,208		
Item 37	Priority 2	E	Subtotal	ı						\$6,208	
Exterior										\$0	
No work											
Structural										\$0	

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## 5 Renovate Bathrooms

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior		101,066	4		101,066	
Exterior					*	
Structural						
	Total	\$101,066	\$0	\$0	\$101,066	209

ID#	Priority	Bldg	Description	Quantity	Units	Unit \$	Hard Total	Total w/Markups	Construction Cost	Comments
S Renovate Ba	throoms								\$101,066	
nterior									\$101,066	
tem 38 & 39	Priority 1	E	Renovate bathroom in its entirety, demo existing flooring walls and toilet partitions	4	00 sf		4 1,60	\$2,28	4	
tem 38 & 39	Priority 1	E	New ceramic tile floors	4	00 sf		24 9,60	\$13,70	4	
tem 38 & 39	Priority 1	E	New ceramic tile wainscot 5' high	2	00 sf		25 5,00	\$7,13	7	
tem 38 & 39	Priority 1	E	New toilet partitions with ADA stall, and new toilet accessories		1 ls	15,0	000 15,00	\$21,41	2	
tem 38 & 39	Priority 1	E	Paint bathroom	4	00 sf		3 1,20	\$1,71	3	
tem 38 & 39	Priority 1	E	Subtota	1					\$46,251	
tem 40-44	Priority 1	E	Renovate bathroom in its entirety, demo existing flooring walls and toilet partitions	4	00 sf		4 1,60	\$2,28	4	
tem 40-44	Priority 1	E	New staff shower stalls		2 ea	3,0	000 6,00	\$8,56	5	
tem 40-44	Priority 1	E	New ceramic tile floors	4	00 sf		24 9,60	\$13,70	4	
tem 40-44	Priority 1	E	New ceramic tile wainscot 5' high	2	00 sf		25 5,00	\$7,13	7	
tem 40-44	Priority 1	ε	New toilet partitions with ADA stall, and new toilet accessories		1 ls	15,0	000 15,00	\$21,41	2	
tem 40-44	Priority 1	E	Paint bathroom	4	00 sf		3 1,20	\$1,71	3	
tem 40-44	Priority 1	E	Subtota	ı					\$54,816	
Exterior									\$0	

Structural 50

No work

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6 General Repair and Maintenance - High Priority Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
	11	1-2 years	5-10 years	10+ years		
Interior		93,226	59,311		152,537	
Exterior		1,713	-	1,496	3,209	
Structural						
	Total	\$94,939	\$59,311	\$1,496	\$155,745	

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D W	Priority	Bldg	Description	Quantity	Units	Unit 5		Hard Total	Total w/Markups	Construction Cost	Comments
									m) total trains		
General Re	pair and Maint	enance	- High Priority							\$172,51	8
nterior										\$152,53	
em 1	Priority 1	A	Check and repair roof leaks	20	02 sf		25	5,040	\$7,19	5	Assume repair to 30% of roof area
em 1	Priority 1	A	Further sampling by a certified Industrial Hygienist is recommended				,				Further investigation needed
em 1	Priority 1	A	Follow HZMAT if paint is positive for lead based paint and repaint walls and ceiling	6	72 sf		16	10,752	\$15,34	8	
em 1	Priority 1	A	Subtota	d.						\$22,54	3
em 2	Priority 1	A	Install fire extinguishers in all spaces to meet NFPA 101		1 es		550	550	\$78	5	
m 2	Priority 1	A	Subtota	t.						\$78	5
m 8	Priority 2	A	Repaint ceiling and walls	- 1	00 sf		31	300	\$46	1	
em 8	Priority 2	A	Confirm that the existing bathroom is ADA and DOH code				-	300	340	•	Further investigation needed
m 8	Priority 2	A	compliant Subtota	t .						\$46.	2
- a	Dalania S		Density or control and damped the second distribution				1.0	100	1400	•	
m 9	Priority 2	A	Repair or replace and damaged trim around window		14 11		12	168	\$25		
m 9	Priority 2	A	Subtota							\$25	9
m 10	Priority 1	A	Repair and seal opening in ceiling		S sf		20	100	\$14		
m 10	Priority 1	A	Repaint ceilings and walls	98	50 sf		3	2,880	\$4,11	1	
m 10	Priority 1	A	Seal opening in attic space to prevent birds and animals from entering the attic space		4 sf		8	32	\$4	6	
m 10	Priority 1	A	Further sampling by a certified Industrial Hygienist is recommended		1 ls						Further investigation needed
m 10	Priority 1	A	Abate lead based paint	96	50 ls		10	9,600	\$13,70	4	
m 10	Priority 1	A	Subtota	1						\$18,00	4
m 12	Priority 2	A	Further sampling by a certified Industrial Hygienist is recommended		2 15						Further investigation needed
em 12	Priority 2	A	Abate and stabilize paint as required by DOH Follow HZMAT procedures		1 ls						See item 10
m 12	Priority 2	A	Replace damaged board and repaint floor	96	o sf		3.50	3,360	\$5,17	3	
m 12	Priority 2	A	Subtota				Con	3,000		\$5,17	3
m 14	Priority 1	A	Install SS or stones backsplash behind stove		O sf		25	1,250	\$1,78	4	
m 14	Priority 1	A	Install easily accessible fire extinguishers per NFPA 101		1 ea		550	550	578		
m 14	Priority 1	A	Subtota					200	270	\$2,569	9
m 15	Priority 2	A	Seal opening to the exterior under sink	1	0 sf		18	180	\$27	7	
m 15	Priority 2	A	Paint ceilings and walls	67	2 sf		3	2,016	\$3,10		
n 15	Priority 2	A	Subtota							\$3,38	t .
m 21	Priority 2	D	Repair roof leak		18 pf		25	31,200	\$48,03	5	Assume re-roof all of building D
m 21	Priority 2	D	Repair water damaged ACT tiles		10 st		13	1,300	\$2,00		Assume 100sf
m 21	Priority 2	D	Subtota							\$50,037	
m 22	Priority 1	D	Check for roof leaks and repair		1 sf						See item21
m 22	Priority 1	D	Replace damaged wood ceiling panels	15	5 sf		35	6,825	\$9,74	3	
m 22	Priority 1	D	Paint walls and ceiling	65	O sf		3	1,950	\$2,78	4	
m.22	Priority 1	D	Subtota	1						\$12,526	5

DW	Priority	Bldg	Description	Quantity	Units	Unit \$	Hard Total	Total w/Markups	Construction Cost	Comments
tem 29	Priority 1	D	Remove office partition to comply with IBC 2006		180 sf	4	720			
tem 29	Priority 1	D	New gyp board partition		252 sf	18				MEP priced by others
tem 29	Priority 1	D	New ACT ceiling		80 sf	15				mer prices by others
em 29	Priority 1	D	New sc wood door, frame and hardware		1 ea	2,700		1,000,000		
em 29	Priority 1	D	New window assume 3' x 2'-6"		8 sf	95		\$1,017		
em 29		D	Paint new office partions and door		80 sf	3		\$343		
em 29	Priority 1	D		Subtotal	90 71	3	240	\$343	\$14,430	
m 29	Priority 1	D		Suptotal					3,4,430	
em 31	Priority 1	D	Remove office partition to comply with IBC 2006		180 sf	4	720	\$1,028		
m 31	Priority 1	D	New gyp board partition		252 sf	18	4,536	\$6,475		MEP priced by others
m 31	Priority 1	D	New ACT ceiling		80 sf	15	1,200	\$1,713		
m 31	Priority 1	D	New sc wood door, frame and hardware		1 ea	2,700	2,700	\$3,854		
m 31	Priority 1	D	Paint new office partions and door		80 sf	3	240	\$343		
m 31	Priority 1	D	Remove office partition to comply with IBC 2006		1 is					
m 31	Priority 1	D		Subtotal					\$13,413	in v
m 22	Delman, 4	E	Palat walls and collings		008 sf	3	3,024	\$4,317		
m 32	Priority 1		Paint walls and ceilings							
m 32	Priority 1	E	Install exit hardware. Reverse door swing so it swings ou	it.	1 ea	1,500	1,500	\$2,141		
em 32	Priority 1	E		Subtotal					\$6,458	10
m 33	Priority 1	Ε	Add panic hardware to exit doors		1 ea	1,200	1,200	\$1,713		
m 33	Priority 1	E	Install fire extinguishers		1 ea	550	550	\$785		
em 33	Priority 1	E		Subtotal					52,498	r .
									200	
terior									\$3,20	
Item 1	Priority 3	A	Replace screen with a wood framed screen		100 sf	5	500	\$831		
t Item 1	Priority 3	A	Paint screen same color as window frame		100 sf	4	400	\$665		
t Item 1	Priority 3	A	A	Subtotal	28.01.27		1.54	100	\$1,496	
Item 7	Priority 1	D	Remove rust on hand rails and repaint - allowance	1	000 If	15	15,000	\$21,412		
item 7	Priority 1	D	the transport of the tenth of the takents, the takents	Subtotal		.00			\$21,412	
									4-474	
Item 8	Priority 1	D	Replace handrail brackets - allowance		1 8	2,500	2,500	\$3,569		
t Item 8	Priority 1	D	A STATE OF THE PROPERTY OF THE	Subtotal		100		111111111111111111111111111111111111111	\$3,569	10
t Item 9	Priority 1	D	Remove and replace pipe railing brackets with galvanize	d pipes	200 If	30	6,000	\$8,565		
200	F 20.07.5		and supports.		3 A					
t Item 9	Priority 1		Demolition & remove, roof curb		16 hr					
Item 9	Priority 1		Curb, rooftop equipment		1 ea		-			
Item 9	Priority 1		Crane and rigging		1 15		1			
Item 9	Priority 1		Roof Patch		1 ls		100			
Item 9	Priority 1	D		Subtotal					\$8,565	
Item 16	Priority 1	D	Provide ADA railing at main office access		10 11	120	1,200	\$1,713		
kt Item 16	Priority 1	D	200 72 0 0000	Subtotal	40.00	- 659	9.47.7		\$1,713	the second secon

November 28, 2018

7 General Repair and Maintenance - Low Priority

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior		13,670	5,912	•	19,582	
Exterior		-	383,461		383,461	
Structural						
	Total	\$13,670	\$389,373	\$0	\$403,043	

ID #	Priority	Bldg	Description		Quantity L	Units	Unit \$	Hard Total	Total w/Markups	Construction Cost	Comments
General Repa	air and Maint	enance	- Low Priority				X TO			5403,043	
nterior										\$19,582	
Item 4	Priority 1	A	Repaint floors, walls and ceiling		1,120 ls	s		*			
Item 4	Priority 1	A		Subtotal						\$0	
Item 13	Priority 2	A	Replace damaged board and repaint		192 s	if	20	3,840	\$5,912		
tem 13	Priority 2	A		Subtotal						\$5,912	
tem 34	Priority 1	E	Remove office partition to comply with IBC 2006		180 s	if	5	900	\$1,285		
tem 34	Priority 1	E	New gyp board partition		252 s		18	4,536	\$6,475	MEP price	ed by others
tem 34	Priority 1	E	New ACT ceiling		80 s		15	1,200	\$1,713		
tem 34	Priority 1	E	New sc wood door, frame and hardware		1 e		2,700	2,700	\$3,854		
item 34	Priority 1	E	Paint new office partions and door		80 s	f	3	240	\$343		
tem 34	Priority 1	E		Subtotal						\$13,670	
Exterior										\$383,461	THE RESERVE TO THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TO THE PERSON NA
Ext Item 6	Priority 2	D	Replace jalousie windows screen screws with galvanize	ed.	2,000 s	if	110	220,000	\$338,709	Assume fo	or all of Building D
Ext Item 6	Priority 2	D	Repaint window frames		1,224 1	f	4	4,896	\$7,538		
ext Item 6	Priority 2	D	Abatement allowance		1,224	f	8	9,792	\$15,076		
Ext Item 6	Priority 2	D		Subtotal						\$361,322	
ext Item 10	Priority 2	D	Replace door and lattice over door at exterior		1 16		1,000	1,000	\$1,540		
Ext Item 10	Priority 2	D	Replace door old lattice over door of exterior	Subtotal			1,000	2,000	02,540	\$1,540	
xt Item 13	Priority 2	D	Replace drinking fountain with ADA drinking fountain		1 ls	5	1,500	1,500	\$2,309		
Ext Item 13	Priority 2	D		Subtotal						\$2,309	
xt Item 15	Priority 2	D	Replace metal roofing		400 s	f	24	9,600	\$14,780		
xt Item 15	Priority 2	D	Flashing		40 H	f	32	1,280	\$1,971		
xt Item 15	Priority 2	D		Subtotal						\$16,751	
xt Item 23a	Priority 2	ε	Replace metal grille with galvanized		1 e	a	500	500	5770		
xt Item 23a	Priority 2	Ε	Replace wood siding		1 15	5	500	500	\$770		
d Item 23a	Priority 2	E									
kt Item 24a	Priority 2	Ε	Replace metal grille with galvanized		1 e	a	500	500	\$770		
xt Item 24a	Priority 2	E	Replace wood siding		1 is	5	500	500	\$770		
ext Item 24a	Priority 2	E		Subtotal						\$1,540	
tructural										\$0	

8a Long Range: New Ceiling and Light Fixtures

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total	
		1-2 years	5-10 years	10+ years		
Interior		64,751		399,762	464,513	
Exterior						
Structural				•	•	
	Total	\$64,751	\$0	\$399,762	\$464,513	1

Page 88 of 129

ID#	Priority	Bldg	Description	Qua	ntity	Units	Unit \$	,	Hard Total	Total w/Markups	Construction Cost	Comments
8a Long Range	: New Celling	and Lig	ht Fixtures								\$464,513	
Interior											\$464,513	
Item 1	Priority 3	A	Install new 2x2 grid ceiling, new light fixtures		672	sf		45	30,240	\$50,	251	
Item 1	Priority 3	A	Su	btotal							\$50,251	
Item 15	Priority 3	A	Install new 2x2 grid ceiling, new light fixtures									See item 1 above
Item 15	Priority 3	A	Sc	btotal							\$0	
Item 22	Priority 3	D	Install new 2x2 grid ceiling, new light fixtures. Typ. al interior spaces in building D	P	4,674	sf		45	210,330	\$349,	511	
Item 22	Priority 3	D		btotal							\$349,511	
tem 32	Priority 1	E	Install new 2x2 grid ceiling, new light fixtures		1,008	sf		45	45,360	\$64,	751	
Item 32	Priority 1	E	Su	btotal							\$64,751	
Exterior											\$0	
Ext Item 19a	Priority 3	D	Replace window AC units with split system									Priced by others
Ext Item 19a	Priority 3	D		ubtotal							\$0	
Structural											\$0	

November 28, 2018

## 8b Install AC Split System

Improvement Cost by Priority

		Priority 1	Priority 2	Priority 3	Total
		1-2 years	5-10 years	10+ years	
Interior		1.	-	•	
Exterior				389,987	389,987
Structural			•		•
	Total	\$0	\$0	\$389,987	\$389,987

ID#	Priority	Bldg	Description	Quantity	Units	Unit \$	Hard		Total w/Markups	Construction Cost	Comments
8b Install AC	Split System			- 1						\$389,987	
Interior										\$0	
No work											
Exterior										\$389,987	
Ext Item 11	Priority 3	D	Replace jalousie windows with vinyl awning windows to improve security.	e 2,0	000 sf		110 2	220,000	\$365,580		
Ext Item 11	Priority 3	D	Repaint window frames	1,2	224 If		4	4,896	\$8,136		
Ext Item 11	Priority 3	D	Abatement allowance	1,2	224 If		8	9,792	\$16,272		
Ext Item 11	Priority 3	D	Subtota	al						\$389,987	
Ext Item 17	Priority 3	D	Replace window AC units with split system							Priced b	by others
Ext Item 17	Priority 3	D	Subtota	al						\$0	
Structural										\$0	

No work

Prepared by Cumming Corporation

#### Hana Community Center - PCA Report Estimate

November 28, 2018

#### 8c Install New Flooring

Improvement Cost by Priority

	Priority 1	Priority 2	Priority 3	Total	
	1-2 years	5-10 years	10+ years		
	8,633	64,764	52,883	126,280	
		- 1		-	
Total	\$8,633	\$64,764	\$52,883	\$126,280	
	Total	1-2 years 8,633 - -	1-2 years 5-10 years 8,633 64,764 	1-2 years 5-10 years 10+ years 8,633 64,764 52,883 	1-2 years 5-10 years 10+ years 8,633 64,764 52,883 126,280

Prepared by Cumming Corporation

ID W	Priority	Bldg	Description	Quantity	Units	Unit \$	Н	ard Total	Total w/Markups	Construction Cost	Comments
8c Install Ne	w Flooring				-	-	100	-		\$126,280	
Interior									-	\$126,280	
Item 1	Priority 1	A	Install LVT or Kamdean floor		672 sf		9	6,048	\$8,633	3	
Item 1	Priority 1	A	Subto	otal						\$8,633	
item 3	Priority 3	A	Install LVT or Karndean floor		1,120 sf		9	10,080	\$16,750	0	
Item 3	Priority 3	A	Subto	otal						\$16,750	
Item 4	Priority 3	A	Install LVT or Karndean floor.							See item 3 a	bove
Item 4	Priority 3	A	Subto	otal						\$0	
Item 12	Priority 3	A	Install LVT or Karndean floor.		960 sf		9	8,640	\$14,35	7	
Item 12	Priority 3	Α	Subto	otal						\$14,357	
tem 13	Priority 3	A	Install LVT or Karndean floor.					-		See item 3 a	bove
Item 13	Priority 3	A	Subto	otal						50	
tem 15	Priority 3	A	Install LVT or Karndean floor.					1.6		See item 1 a	bove
Item 15	Priority 3	A	Subto	otal						\$0	
Item 22	Priority 2	D	install LVT or Karndean floor. Typ, all interior spaces in bldg D		1,674 sf		9	42,066	\$64,764	4	
tem 22	Priority 2	D	Subto	otal						\$64,764	
tem 32	Priority 3	E	Install LVT or Karndean floor.	- 5	1,008 sf		9	9,072	\$15,075	5	
tem 32	Priority 3	E	Insulate above acoustic tile ceiling		,008 sf		4	4,032	\$6,700		
Item 32	Priority 3	E	Subto	otal						\$21,775	
xterior										\$0	

No work

Structural \$0

No work

#### **8e Replace Existing Windows**

#### Improvement Cost by Priority

		riority 1	Priority 2	Priority 3	Total	
		L-2 years	5-10 years	10+ years		
Interior						
Exterior				385,853	385,853	
Structural						
	Total	\$0	\$0	\$385,853	\$385,853	

Prepared by Cumming Corporation

ID#	Priority	Bldg	Description	Quantity	Units	Unit \$	Н	ard Total	Total w/Markups	Construction Cost	Comments
Be Replace Ex	sting Window	5			3					\$385,853	
Interior										\$0	
No work											
Exterior										\$385,853	
Building A	Priority 3	A	Replace existing jalousie and single hung windows with vinyl awning windows and re-frame opening	•	530 sf		120	75,600	\$125,6		
Building A	Priority 3	A	Subto	tal						\$125,627	
Building D	Priority 3	D	Replace existing jalousie and single hung windows with vinyl awning windows and re-frame opening	5	945 sf		120	113,400	\$188,4	40	
Building D	Priority 3	D	Subtor	tal						\$188,440	
Building E	Priority 3	E	Replace existing jalousie and single hung windows with vinyl awning windows and re-frame opening	.3	860 sf		120	43,200	\$71,7	37	
Building E	Priority 3	Ε	Subtol	tal						\$71,787	
Structural										\$0	

No work

Prepared by Cumming Corporation

## **APPENDIX A**

### REQUEST FOR PROPOSAL FOR A FACILITY ANALYSIS OF THE HANA COMMUNITY CENTER COMPLEX JOB NO. P17/030

June 7, 2018

The County of Maui, Department of Parks and Recreation, Planning and Development Division, is requesting a detailed proposal for a complete facility analysis of existing Buildings "A", "D" and "E" of the Hana Community Center, 5101 Uakea Road, Hana, Maui, Hawaii 96713. TMK: (2) 1-4-004:003, 030 & 033.

#### PROGRAM ELEMENTS

The major components of the project shall include the following:

- A detailed multi-disciplinary analysis of existing Buildings "A", "D" and "E" including, but not limited to, the following disciplinary areas:
  - a) Architectural
  - b) Structural
  - c) Mechanical/Plumbing
  - d) Hazardous Materials
  - e) Safety/Fire Code
- Estimated functional life expectancy of the existing buildings and recommendations for cost effective measures that will provide a projected extended life expectancy.

#### SCOPE OF SERVICES

The consultant shall prepare and provide a detailed evaluation of the facility, including all building code requirements and a cost estimate for probable construction costs to include all improvements.

### TIME OF PERFORMANCE

The time of performance on this project is SIXTY (60) DAYS after the Notice To Proceed for a complete written report.

#### SUBMITTAL OF PROPOSALS

- Proposal shall include a listing of sub-consultants, including their scope and rates and fees.
- Proposal shall include a detailed schedule, in estimated days, through project receivables.

All products and other materials developed from or for the design of this project shall become the sole property of the County of Maui.

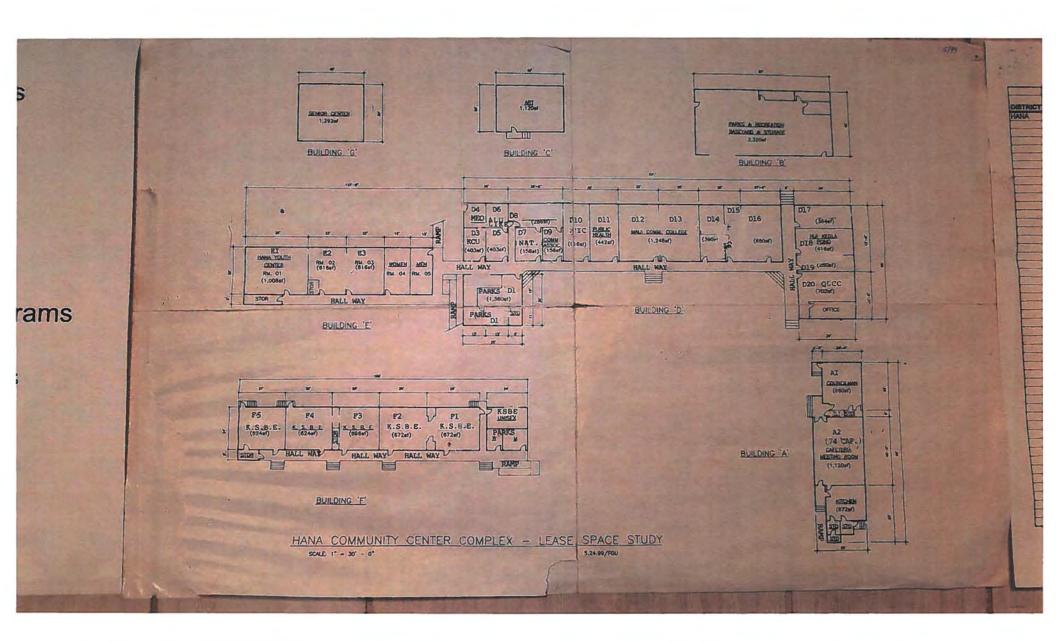
Please submit proposal in electronic format only (as a .pdf) to <a href="mailto:brian.shimomura@co.maui.hi.us">brian.shimomura@co.maui.hi.us</a> by 4:30 P.M., Friday, June 15, 2018. Please contact Mr. Brian Shimomura, Capital Improvements Project Coordinator, Department of Parks and Recreation at 808-270-7981 or brian.shimomura@co.maui.hi.us, should there be

Request For Proposal Hana Civic Center Concept Plan/ Hana Community Center Complex Analysis, P16/021

any questions regarding this matter.

ATTACHMENT: Photo of site

# APPENDIX B





### HANA COMMUNITY CENTER REROOF AND REPAIR

HANA MAUI HAWAII

JOB NO: 91-92/P-60



Hada Page

HANA COMMUNITY CENTER



LOCATION MAP

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Tort. Steffen alle and the control of the control o

CONSULTANTS

PROJECT DATA:

TMK: 1-4-04:3 AND 30

LOCATION: HANA MAUI HAWAII

BUILDING TYPE: V-N

OCCUPANCY GROUP: 8-2

BUILDING AREAS:

BUILDING "A": +/- 3,100 S.F. BUILDING "B": +/- 2,900 S.F.

BUILDING "D": +/- 9,000 S.F.

BUILDING "E": +/- 3,200 S.F.

- and determines whill be vertical as the design are shall brong to the estentions of the Archain office opinion which will also as assumed the and so these discusses before great with

SHEET INDEX CO COVER SHEET

A-1 ROOF REPAIR PLANS BLDG'S. "D" & "E"
A-2 ROOF REPAIR PLANS BLDG'S "A" & "B"
A-3 FOUNDATION REPAIR PLANS BLDG'S. "D" & "E"
A-4 FOUNDATION REPAIR PLAN BLD'G. "A"
A-5 FLOOR PLANS BLD'G. "D" & "E"

A-6 FLOOR PLANS BLDG'S. "A" & "B"







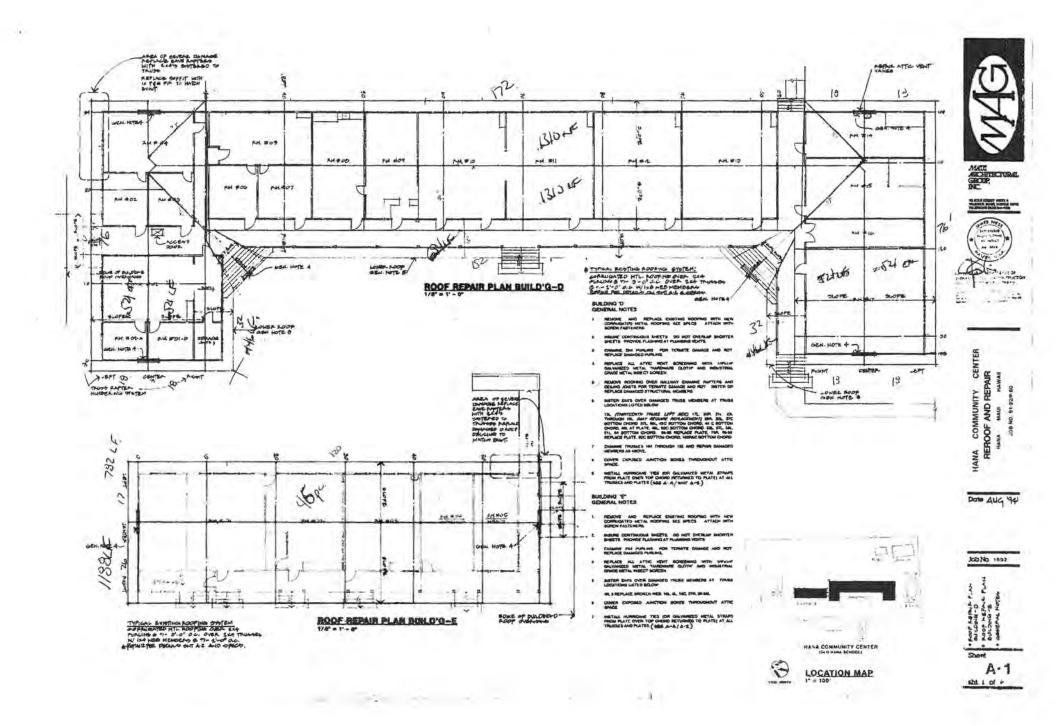
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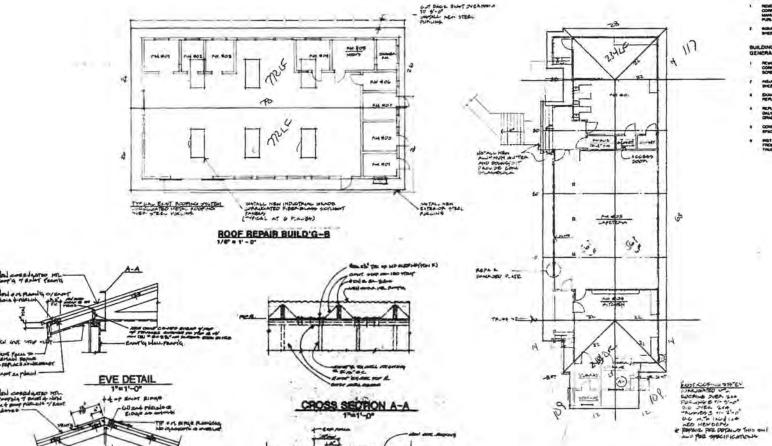
Date 8-15-94

Job No. 46-92

COVER SHEET

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VALLEY DETAIL





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200

NA COMMUNITY CENTER REROOF AND REPAIR

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JOSNO. 1632

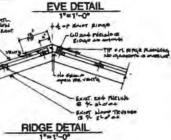
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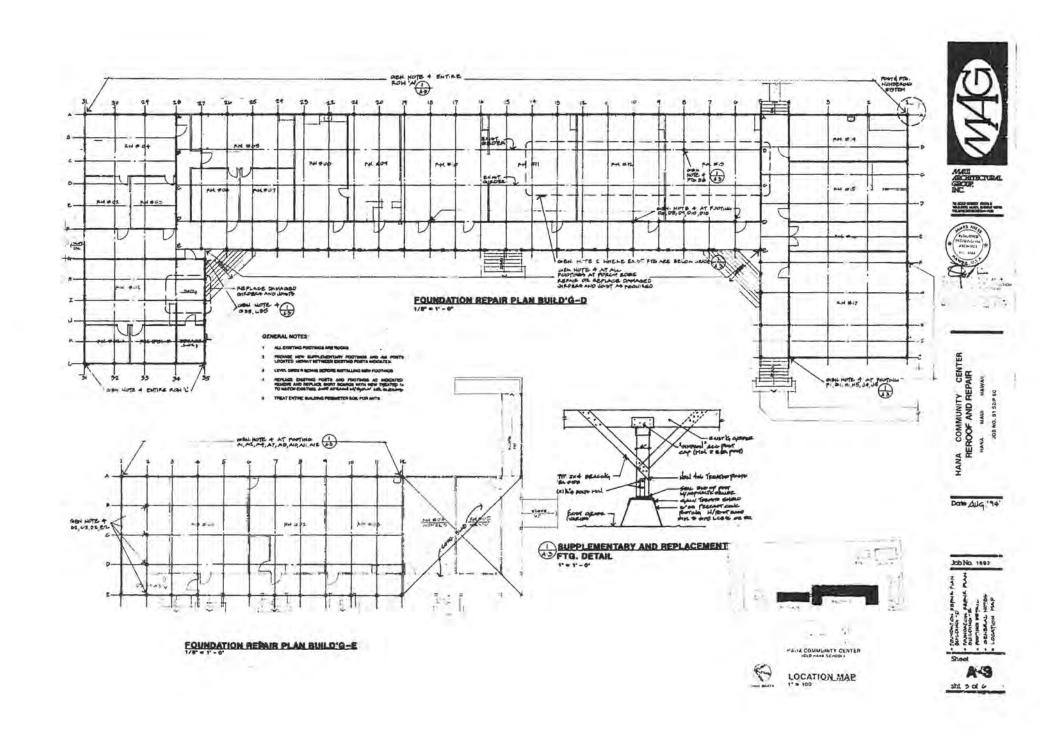
ROOF REPAIR PLAN BUILD'G-A

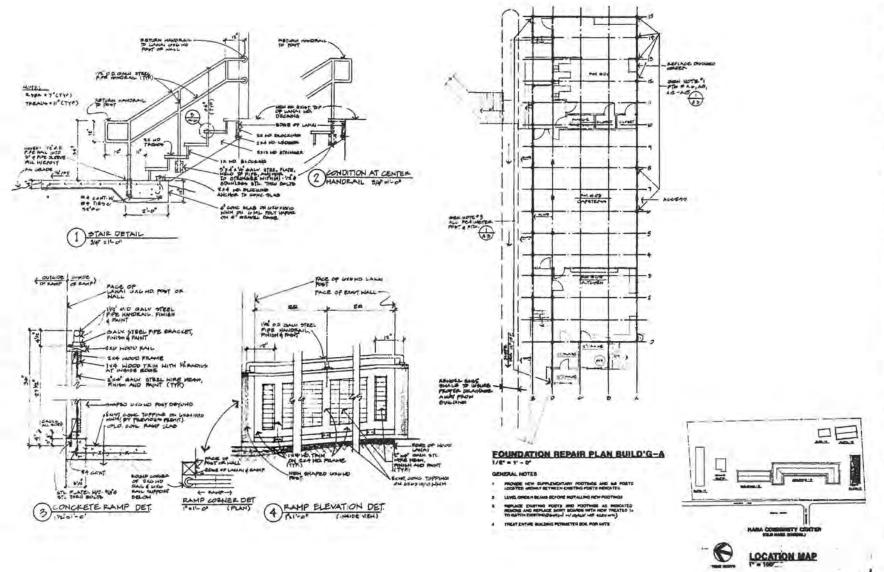




LOCATION MAP







WAG.

ARCHITECTURA GROUP, INC.

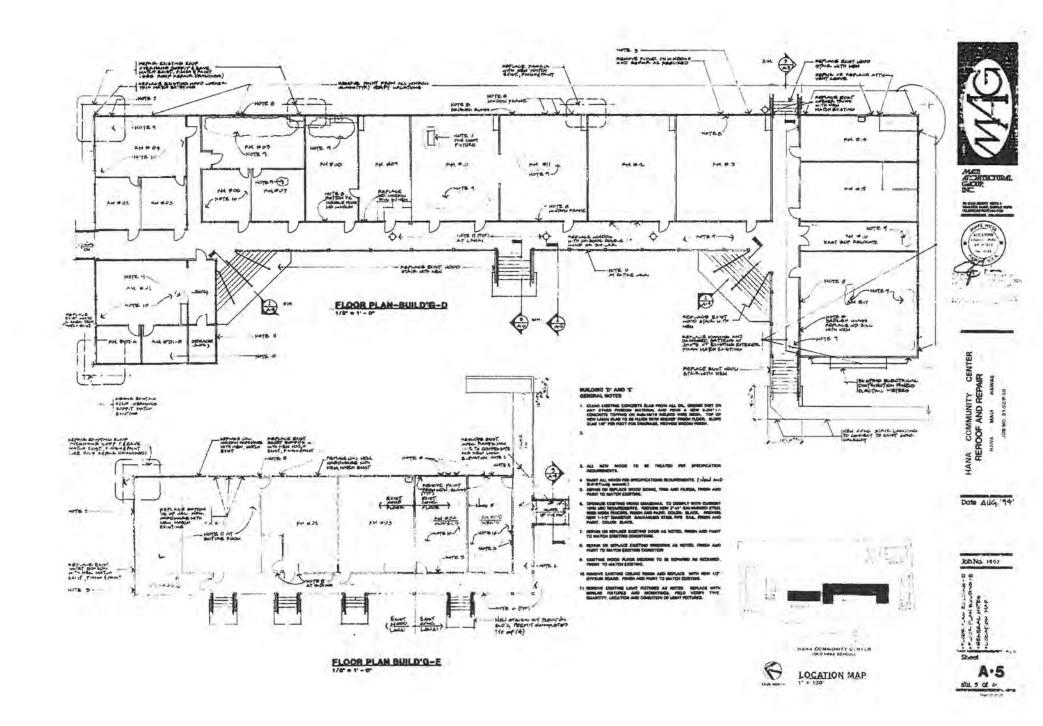


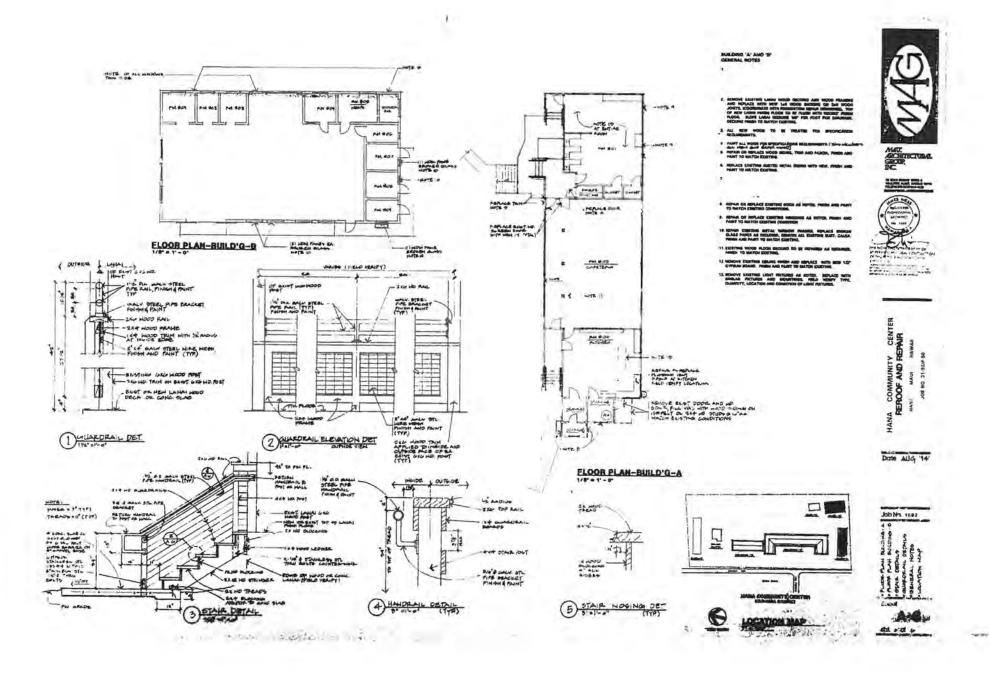


REPOOF AND REPAIR
HANA MANI HAWAII

Date Alle 194

A-M





## HANA COMMUNITY CENTER

### 5091 UAKEA ROAD HANA, MAUI, HI

Location: At the old Hana School campus across from Hana Ball Park

Rooms Available Max Capacity (140)	Size	Type of Floor	Seating Available	Other Info	ADA Accessible
Cafeteria Meeting Room (Bldg A): 100	1,120 sf.	Wood	Chairs: 74	Tables: 15	Yes
Cafeteria Kitchen		Wood		Stove and refrigerator	No
Center Meeting Room (Bldg D): 40	650 sf.	Wood	Chairs: 40	Tables: 10	Yes
Restrooms (2)		Wood			Yes
Parking	Unmarked	Paved		Overflow back of center	Yes (4)



Hana Community Center

#### Community Organizations located at Center:

Alu Like, Inc.

Hui No Ke Ola Pono

County Council Office, Parks Office,

Kamehameha Schools

& Baseyard

Kaunoa Senior Center Kula FCU

DLNR, DOH (Public Health, WIC) Haleakala National Park

Maui Aids Foundation

Hana Art Barn

Maui Community College

Hana Canoe Club

Maui Economic Opportunity

Hana Community Assoc. Hana Day Care/Senior Center - National Botanical Garden

"Hale Hulu Mamo"

QLCC

Hana Youth Center

Hina Malailena Home Based Business

#### Hana Ball Park 5.1 Acres

Additional Facilities:

Baseball/Soccer Field

Basketball/Volleyball Court

Playground Equipment

Preschool

Restrooms

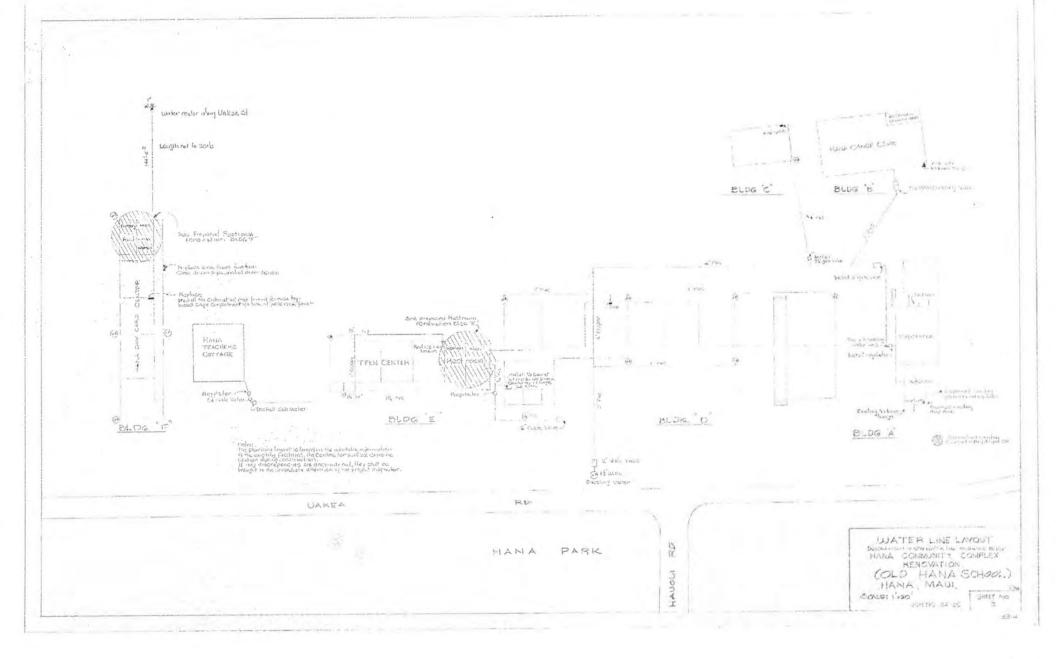
Tennis Courts (2)

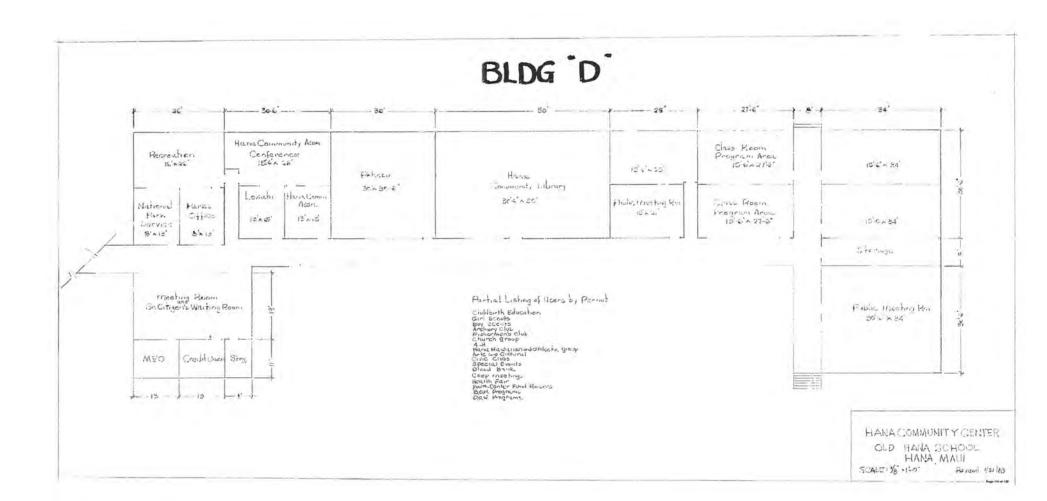


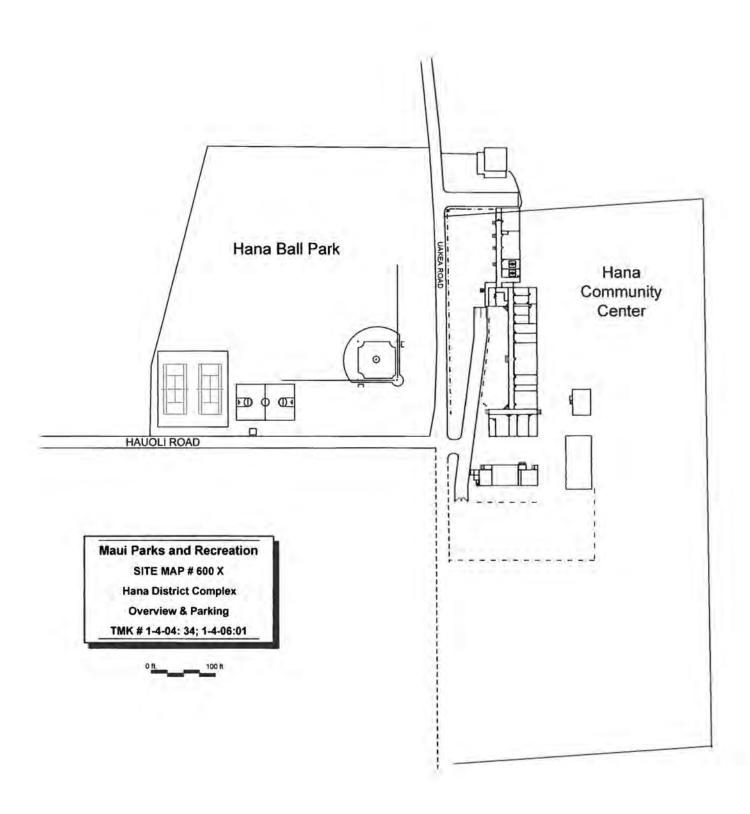
Hana Ball Park

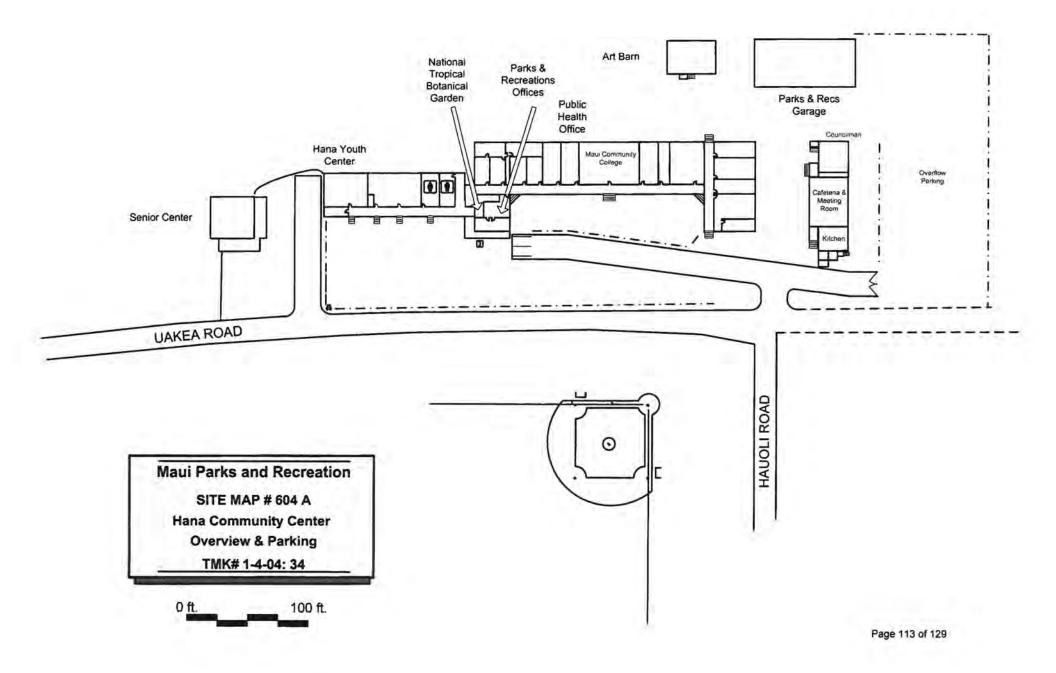


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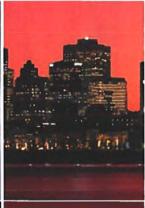
## **APPENDIX C**



Leader in property management

# Office Building Classification Guide











# Index

3	Project Approach

- 4 Introduction
- 5 A Guide for Class A, B or C Office Buildings
- 8 Conclusion
- 9 References

MM SHEEL

Special thanks

10 SCHEDULE A – Support Grid For Office Building Classification

# Project Approach

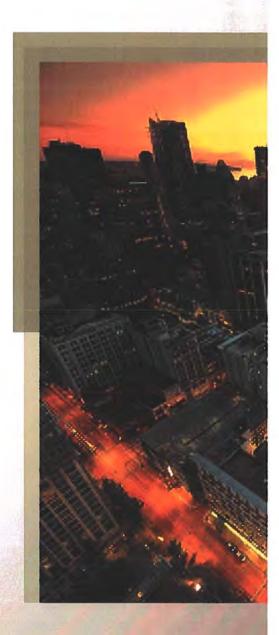
The discussion on the need for clarification on office building classification originated within the **BOMA Quebec Property Management** Committee. This committee's mission is to find new ways to improve BOMA's service offer to its members. Thus in the fall of 2012 a multidisciplinary working group composed of experts from various Quebec-based real estate firms was formed to study this issue in depth.

The working group included the following experts:

Marie-France Benoit, AltusInSite
Christian Charbonneau, CBRE
Sylvain Leclair, Altus Group
Linda Plante, Ivanhoe Cambridge
Linda Rigg, Oxford Properties Group
Dominic Saucier, Avison Young

The main objective of this task force of real estate owners, brokers and appraisers was to come up with an office building classification framework that could eventually be published on the BOMA Québec website for the benefit of its members.

The following document describes in a very simple manner the committee's findings.



## Introduction

Building class definitions categorize office buildings as Class A, Class B and Class C. In many markets, Class A can be subdivided into sub-categories such as Prestige, AAA, AA and A. New categories have even started to emerge, such as Class I (industrial converted to office). Commercial real estate agents, owners and managers determine the class of each building. The groups consider several factors when determining the different classes.

The evaluation criteria used to determine a building's classification allow the various actors in the commercial office building sector to share a common language and to identify market conditions per category, in an organized and readily comparable manner.

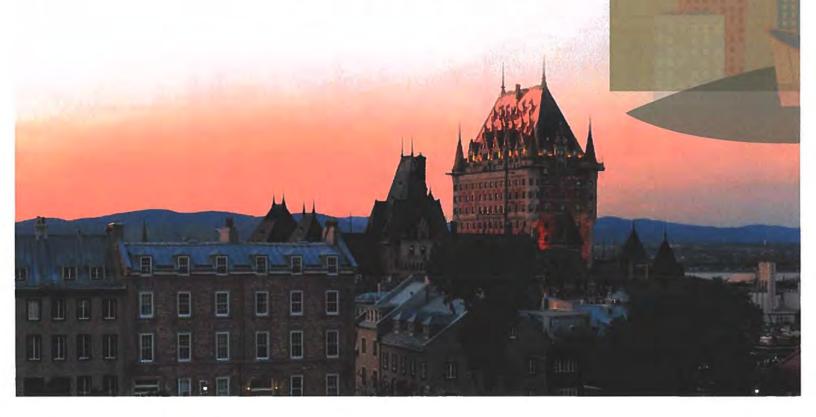
Keep in mind that class definition is not a science, as there are no formal or international standards established. However, the ratings refer to building specifics. The inventory of office space in a metropolitan market makes a distinction between Class A, B, and C buildings.

Class B and Class C definitions are based on Class A definitions. A building's classification is relative to other properties in a given market. Thus a Class A building in a small town will not share the same characteristics as a Class A building in the heart of Manhattan.



# A Guide for Class A, B or C Office Buildings

What does a Class A Building mean? What are the differences between Class A, B and C buildings? When looking for new office space, a tenant will quickly realize most buildings are classified in one of those three categories. The factors that determine a building's class vary in each market, so a Class A office building in a major urban city will be much different than a Class A office building in a small rural town of 30,000 people. There are no definitive formulas used to classify a building, but a general definition for each class is provided in the following.



### **CLASS A BUILDINGS:**

The most prestigious buildings with the most amenities in the best locations. They generally are the most attractive buildings built with the highest quality materials and construction methods. Additionally, these buildings usually have a professional manager, good access, and are typically located in highly visible areas on high traffic streets. Due to their exceptional quality, Class A Buildings are usually leased to reputable tenants at the highest rental rates in the market.

#### Criteria:

- High-rise building in prime central business district.
- A flagship building in its market.
- Architecture Concrete and steel construction, distinctive design, attractive look, superior exterior finishes on the curtain wall, superior interior quality finishes in main lobby and common areas, including elevators and washrooms. Fairly recent construction or very well maintained and/or recently renovated building. Well designed and good-size layout to accommodate one or several tenants on the same floor.
- Strong identifiable location (well known address) - Convenient access (public transportation, etc.).
- · Managed by a professional firm.
- Premier tenants.
- Highest rental rates.
- Strong market presence.
- State-of-the-art systems that meet industry standards - automated mechanical, electrical and safety and security systems. High capacity back-up power system.
- Elevators Sufficient number of elevators for the number of floors and building population.
- Environmental Certification (BOMA BESt, LEED). Responsable sustainability practices in place.

- Security 24/7 controlled access system, camera monitored. For smaller buildings or those located in a outlying areas, access control system in place as well as alarm system with off-site monitoring.
- Built by reputable developer and contractor.
- Parking Sufficient private and public parking to accommodate tenants and visitors. 24/7 access for building tenants with security controls in place. Bike stands and electric vehicle charging stations have become the norm.
- Tenant services Experienced and professional manager providing centralized tenant service call system, including maximum response time, concierge services, tenant relationship program, regular tenant activities such as barbecues and holiday breakfasts, new tenant welcome committee, etc.
- Amenities Enclosed weather protected walkway connection, conference centre, fitness centre, service oriented retail such as convenience store, cafeteria/ food court type restaurants, dry cleaning services, ATM and Wi-Fi. For stand-alone buildings not located downtown, cafeteria/food court restaurants and coffee shops provide above-average services to tenants.



### CLASS B BUILDINGS:

These buildings are a grade below Class A. Generally, they are slightly older buildings with good management and quality tenants. It is not uncommon for value-added investors to target these buildings with the intention of renovating them back into Class A buildings. Class B buildings are well maintained overall and quite functional. Class B office buildings commonly have an acceptable curtain wall finish, adequate (but not state of the art) mechanical, electrical and safety and security systems, and a mid-quality level of interior finish. Class B buildings compete for a wide range of users at average rental rates for their market area.

#### Criteria:

- A grade below Class A.
- Slightly older buildings
   Good management, quality tenants.
- Building finishes
   Fair to good.
- Good quality systems
  - Not at Class A level.
- Can be targeted by investors planning renovations to restore them to Class A.
- Well maintained Functional.
- Average rental rates.

### CLASS C BUILDINGS:

This is the lowest grade for useable office buildings. These office buildings are generally older and may be located on less desirable streets in older sections of the city, for example. Many of these buildings usually have higher than average vacancy rates for their market. Older, less desirable architecture, limited infrastructure and antiquated technology define these buildings. For these reasons, Class C buildings offer lower rental rates and can be more difficult to lease. Many times these buildings are targeted for re-development. The curtain walls and the mechanical, electrical and safety and security systems of Class C building are generally dated, and the quality of finish is often below average. These buildings attract tenants who sign short-term leases for functional space at below average rental rates.

#### Criteria:

- Lowest grade for useable office buildings.
- Older office buildings.
- Located on less desirable streets in older sections of the city.
- Higher than average vacancy rates for their market.
- Less impressive architecture.
- Limited infrastructure.
- In need of extensive renovations.
- Obsolete technology.
- Lower rental rates
  - may be difficult to lease.
- Often targeted for re-development.
- Tenants requiring functional space.



# Conclusion

The above descriptions are general guidelines for building classifications, although no formal standard exists. Probably the most important point to remember is that buildings are classified relative to other buildings within their market. A typical commercial real estate specialist will first determine the Class A buildings in a market by their highly desirable locations and amenities, and then classify other buildings in the market in relation to the Class A buildings.

#### Additional Factors to consider:

- Floor load capacity.
- Ceiling height.
- Improvements to common areas.
- Nearby services (restaurants, business clusters, dry cleaning, banks, ATM, etc.).
- Access (freeway, public transportation).

A summary grid including all above-mentioned criteria for each class can be consulted in Schedule A.

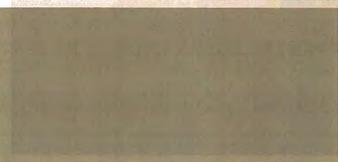
This office building classification guide may be reviewed in the future as needed.



### References

- http://www.squarefeetblog.com/commercial-real-estate-blog/2008/07/06/a-guide-to-office-buildingclassifications-class-a-class-b-class-c/
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### Special thanks

#### Project Leader, drafting of report and grid design

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### Co-Project Leader, drafting of report

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Benjamin Shinewald, President, BOMA Canada

Ninon Beaunoyer, coordinator - Programs & Events, BOMA Québec

## SCHEDULE A -

## Support Grid For Office Building Classification

	Class A	Class B	Class C
General Comment	Each building classification is relative to another. In specific markets, Class A ca A. In some cities, a category called Cla and starting to compete with the more to	in subdivide into categories suc ss I (industrial buildings convert	h as Prestige, AAA, AA and ted to office) is emerging
Classification Level	Higher Level	Mid Level	Lower Level
General Description	The most prestigious buildings with the most amenities in the best locations. They generally are the most attractive buildings built with highest quality materials and construction methods. Due to their exceptional quality, Class A buildings are usually leased to reputable tenants at the highest rental rates in the market.  High-rise building within prime central business district. Strong market presence.	Generally, they are slightly older buildings that still possess good management and quality tenants.	Older, less desirable architecture, limited infrastructure and obsolete technology define these buildings. They have higher than average vacancy rates for their market and leasing them can be a challenge.
Age	Recently built projects with the most advanced standards, and very well maintained older buildings renovated on a continuous basis with up-to-date security and comfort standards.	Recent construction projects with minimal required standards, and well maintained older buildings.	Older office buildings with minimal maintenance.
Location and Access	Generally located in the central business district (CBD) with strong identifiable location (well known business address) and convenient access (public transit facilities, etc.), offering striking views.	Can be located outside of the CBD or within the district of class A buildings. Their location is less identifiable.	Located on less desirable streets in older sections of the city.
Construction and Architecture	Distinctive and classic design, concrete and steel construction, landmark quality, superior exterior finishes for the curtain wall and superior interior quality finishes in main lobby and common areas, including elevators and washrooms. Well designed layout to accommodate one or several tenants on the same floor. Generally built by a reputable developer.	Generic architecture. Curtain wall is acceptable and in some cases the structure can be apparent. Interior finishes are of average quality. It is not uncommon for value-added investors to target these buildings with the intention of renovating them back into Class A buildings.	In need of extensive renovations, many times these buildings are targeted for redevelopment. The curtain walls, if any, and the mechanical, electrical and safety and security systems of Class C are generally dated and the quality of finish is often below average.

## SCHEDULE A -

## Support Grid For Office Building Classification

	Class A	Class B	Class C
Property Management	Best management practices in the industry, managed by a recognized professional providing on-site services such as security, HVAC, air quality, maintenance, tenant work coordination, local tenant services representative, environmental management, etc.	Well maintained with minimal required standards. Not necessarily on-site staff.	Maintenance often overlooked and deficient.
Tenants	Attract premier, prestigious and financially healthy tenants.	Compete for a wide range of quality tenants.	These buildings compete for tenants seeking short-term leases for functional space at below average rental rates.
Leasing rates	The highest rental rates in a given office market.	Normally get average rents for their market area.	Offer lower rental rates and can be more difficult to lease.
Building Systems	State-of-the-art systems that meet industry standards. Automated mechanical, electrical and safety and security systems. High capacity back-up power system.	Adequate (but not state of the art) mechanical, electrical and safety and security systems. Low to medium capacity back-up power system.	Limited systems and obsolete technologies.
Elevators	Fast elevators in sufficient number for the number of floors and building population.	Generally have slower elevators with older technology.	Obsolete or inexistant elevators.
Security	Security 24/7 – controlled access system, camera monitored.	Security services can be on-site, but generally during business hours only.	May not have security services at all.
Environmental	Generally hold at least one recognized environmental certification (BOMA BESt level 3 or 4, LEED). Responsible sustainability practices in place.	Could have a basic certification such as BOMA BESt level 1 or 2.	Generally, no environmental certification.

## SCHEDULE A -

## Support Grid For Office Building Classification

110	Class A	Class B	Class C
Parking	Sufficient private and public parking to accommodate tenants and visitors including VIP, monthly reserved and monthly non-reserved sections, car wash and automated payment services. 24/7 access for building tenants with security controls in place. Bike stands and EV charging stations have become the norm in the A category. Very clean and secure environment.	Generally offer a limited quantity of interior and/ or exterior parking spaces with a monthly non-reserved section. No public parking. Very basic installation.	May not have parking spaces.
Services	Professional and experienced manager providing a centralized tenant call service system including maximum response time, onsite staff (security, maintenance, mechanical, tenant coordination, administration), concierge services, tenant relationship program, regular tenant activities such as barbecues, holiday breakfasts, welcoming committee for new tenants, etc.  Additional services - Conference centre, fitness centre, service oriented retail such as convenience store, cafeteria/food court	Basic services much less sophisticated than in the class A category. Generally an off-site maintenance team.	Very limited services.

# APPENDIX D



y Kau	Date: 11/5/2018	Transmitt	al
Cilfford Planning Arch	nitecture	If enclosures are not as note	d,
Ben Lee		please notify EMET immediate	lely.
55 Merchant Street, Su	ite 3020		
Honolulu, HI 96813		If checked below, please:	
(808) 537-1200	Cel:	Acknowledge receipt of a	enclosures:
ben.lee@cliffordplannin	ig.com	Return enclosure	s to EMET:
		EMET Job No.:	1811451
Hana Community Cente	er - Pb Paint Chip Samples Co	ollected by Client	
Lead Paint Chip Labora	atory Results		
Attached Under Separate Cover via Email Approval	via USPS via FEDEX via UPS	No. of pages including Original to follow via mail: ow Blds due - date:	
_Use		Time,	
Proposal / Cost Estimate Sample Calibration Logs Drawings	Project Report  x Laboratory Reports Invoice	Preliminary Draft Marked-up Draft Final Draft	OTHERS
Date		Description / Title	
11/5/2018	Hana Community Center - I Paint Chip Laboratory Resu		Client - Lead
	Clifford Planning Arch Ben Lee 55 Merchant Street, Su Honolulu, HI 96813 (808) 537-1200 ben.lee@cliffordplannin  Hana Community Cente Lead Paint Chip Labora  As requested Attached Under Separate Cover via Email  Approval Review and Comment Use  Proposal / Cost Estimate Sample Calibration Logs Drawings	Clifford Planning Architecture  Ben Lee  55 Merchant Street, Suite 3020  Honolulu, HI 96813  (808) 537-1200  Cel:  ben.lee@cliffordplanning.com  Hana Community Center - Pb Paint Chip Samples Collead Paint Chip Laboratory Results  As requested via Delivery  Attached via USPS  Under Separate Cover via FEDEX  via Email via UPS  Approval Distribution to parties beling Review and Comment  Use  Proposal / Cost Estimate Sample Calibration Logs x Laboratory Reports  Date Hana Community Center -	Clifford Planning Architecture  Ben Lee  55 Merchant Street, Suite 3020  Honolulu, HI 96813  (808) 537-1200  Cel:  Cel:



Environmental / Industrial Health & Sofety

## LABORATORY REPORT

Lead in Bulk Sample Analyses by X-Ray Fluorescence

Client: Ben Lee

Clifford Planning & Architecture LLC 55 Merchant Street, Suite 3020

Honolulu, HI 96813

Report Date: 11/5/2018

Analysis Date: 1

11/5/2018

Reference: Hana Community Center - Pb Paint Chip Sample Collected by Client

Sample Number / Lab ID	Sample Date	Sample Description	Lead (ppm)	Confirmed Lead- containing Paint?	Lead-based Paint?
451-1L <i>LB180041</i>	10/25/2018	White Ceiling Paint	6541	Yes	Yes
451-2L <i>LB180042</i>	10/25/2018	Green Exterior Walls and Wood Overhang Paint	8487	Yes	Yes

< LOD = below method detection limit of 20 ppm

XRF Source: Cd109, Source Date 11/2017

Approved Signature:

The

NOTE: Consumer Product Safety Commission (CPSC) allows a maximum lead paint concentration of 0.06% by weight (600 parts per million or ppm). US Department of Housing and Urban Development (HUD) Regulations, 24 CFR Parts 35, 200, 881, and 886; and Lead-based Paint Interim Guidelines dated Wednesday, April 18, 1990, define lead-based paint as paint with content of 0.50% by weight (5000 ppm) or greater.

Laboratory test report relates to only item(s) tested.

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EMET ID: 1811451 Page 1 of 1

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## Department of Parks and Recreation Waiehu Municipal Golf Course - Rates and Fees Comparison



## WAIEHU GOLF COURSE

	FY 2019	FY 2020	FY 2021	FY 2022	FY 2023	Proposed FY 2024
Туре	Rate	Rate	Rate	Rate	Rate	Rate
Weekday - Resident	\$15	\$15	\$15	\$16	\$15	\$16
Weekday - Retiree	\$10	\$10	\$10	\$11	\$11	\$11
Weekday - Non Resident	\$58	\$63	\$53	\$55	\$65	\$65
Weekday - Hawaii State	\$23	\$35	\$35	\$28	\$28	\$28
Weekend/Holiday - Resident	\$22	\$22	\$22	\$23	\$20	\$21
Weekend/Holiday - Retiree	\$14	\$14	\$14	\$15	\$15	\$15
Weekend/Holiday - Non Resident	\$63	\$75	\$65	\$67	\$85	\$85
Weekend/Holiday - Hawaii State	\$28	\$40	\$40	\$35	\$35	\$35
Student Weekday	\$2	\$2	\$2	\$2	\$2	\$2
Student Weekend	\$3	\$3	\$3	\$3	\$3	\$3
Tournament	\$18	\$18	\$18	\$20	\$20	\$20
Military Weekday	\$23	\$23	\$23	\$24	\$24	\$24
Military Weekend	\$28	\$28	\$28	\$29	\$29	\$29

### FY 2023 Repair Maintenance Services/Contracts 915667B-6138

PROJECT 915667B-6138			TOTAL COST
Baseyard Air Conditioning Maintenance			380.21
Hana Ball Park Scoreboard Installation			11,458.26
Helene Hall Restroom Painting Improvements			24,998.00
Kahului Park Light Repair	\$	1,864.58	
Kalama Skate Park Lighting Fixture Replacement			4,400.00
Keokea Park Guardrail Insta	\$	24,000.00	
Keokea Park Parking Lot Re	\$	2,291.65	
Keopuolani Park Pump Repa	\$	1,764.31	
Kepuolani Park Playground I	\$	18,000.00	
Kula Community Center Parking Lot Light Fixture Repair			989.58
Pa'ani Mai Park Fencing Replacement			8,785.00
Papohaku Park Ballfield Lighting Improvements			9,613.52
Vehicle #1701 Repair, Parts and Labor			2,001.31
Velma McWayne Santos Community Center Sidewalk Replacement			8,100.00
Waiehu Golf Course Asphalt Access Replacement			12,430.00
Waikapu Community Center Flooring			13,832.20
Waikapu Park 25' Light Pole and Fixture Replacement			7,900.00
Waikapu Park Fencing Improvements			51,370.15
Waikapu Park/Community C	\$	49,800.00	
War Memorial Complex Offices - Keying System Improvements			1,714.87
War Memorial Little League Field Dugouts - Concrete Pumping			781.25
Wells Park Tennis Court Par	\$	22,950.00	
FY 2023 Expenditures (as of 4/4/2023)			279,424.89